

LT RANCH COMMUNITY DEVELOPMENT DISTRICT



MEETING AGENDA

JULY 9, 2024

PREPARED BY:

JPWARD & ASSOCIATES, LLC, 2301 NORTHEAST 37th STREET, FORT LAUDERDALE, FL 33308

T: 954-658-4900 E: JimWard@JPWardAssociates.com

LT RANCH COMMUNITY DEVELOPMENT DISTRICT

July 2, 2024

Board of Supervisors

LT Ranch Community Development District

Dear Board Members:

The regular meeting of the Board of Supervisors of the LT Ranch Community Development District will be held on **Tuesday, July 9, 2024**, at **1:00 P.M.** at the offices of Taylor Morrison, 551 Cattlemen Road, Suite 200, Sarasota, Florida 34232.

The following Webex link and telephone number are provided to join/watch the meeting remotely:

<https://districts.webex.com/districts/j.php?MTID=m62858f9887297f33e3b600a2cbff4f33>

Access Code: **2336 144 0255**, Event password: **Jpward**

Phone: **408-418-9388** and enter the access code **2336 144 0255**, password: **Jpward (579274** from phones) to join the meeting.

Agenda Item

1. Call to Order & Roll Call.
2. Notice of Advertisement for Public Hearing.
3. Consideration of Minutes:
 - I. May 14, 2024 –Regular Meeting Minutes.
4. **PUBLIC HEARINGS**
 - a) **FISCAL YEAR 2025 BUDGET**
 - I. Public Comment and Testimony.
 - II. Board Comment and Consideration.
 - III. Consideration of **Resolution 2024-14**, a Resolution of the Board of Supervisors adopting the annual appropriation and Budget for Fiscal Year 2025.
 - b) **FISCAL YEAR 2025 IMPOSING SPECIAL ASSESSMENTS; ADOPTING AN ASSESSMENT ROLL, SETTING AN OPERATION AND MAINTENANCE CAP FOR NOTICE PURPOSES ONLY.**
 - I. Public Comment and Testimony
 - II. Board Comment and Consideration.

- III. Consideration of **Resolution 2024-15**, a Resolution of the Board of Supervisors imposing special assessments, adopting an assessment roll.
 - IV. Consideration of **Resolution 2024-16**, a Resolution of the Board of Supervisors setting an operations and maintenance cap for notice purposes only.
5. Consideration of **Resolution 2024-17**, a resolution of the Board of Supervisors designating dates, time and location for regular meeting of the Board of Supervisor's for Fiscal Year 2025.
 6. Consideration of **Resolution 2024-18**, a Resolution Ratifying, Confirming, And Approving the sale of the LT Ranch Community Development District Capital Improvement Revenue Bonds, Series 2024; Ratifying, Confirming, and Approving the actions of the Chairman, Vice Chairman, Treasurer, Secretary, Assistant Secretaries, And All District staff regarding the sale and closing of the Bonds; Determining such actions as being in accordance with the authorization granted by the Board; Providing a severability clause; and providing an effective date.
 7. Consideration of **Resolution 2024-19**, a Resolution Confirming and Approving the actions of the Chairman and District staff regarding the acquisition of certain Neighborhood Four South, Neighborhood Five and Neighborhood Three Phase 5 Stormwater Improvements; and addressing severability and an effective date.
 8. Consideration of **Resolution 2024-20**, a Resolution Confirming and Approving the actions of the Chairman and District staff regarding the acquisition of certain Neighborhood Three Phase Four, Neighborhood Four South and Neighborhood Five Phase Two Utilities; and addressing severability and an effective date.
 9. Consideration of **Resolution 2024-21**, a Resolution Authorizing, Confirming, and Approving the acceptance of Improvements; and addressing severability and an effective date.
 10. Staff Reports.
 - I. District Attorney.
 - II. District Engineer.
 - III. District Asset Manager.
 - a) Field Operations Report June 1, 2024.
 - IV. District Manager.
 - a) ***Important Board Meeting Dates for Balance of Fiscal Year 2024.***
 - 1) Proposed Public Hearings – Approval of Budget Fiscal Year 2025, July 9, 2024.
 - 2) Last Landowners Election – November 12, 2024 (Seat 3).
 - b) Financial Statement for period ending April 30, 2024 (unaudited).
 - c) Financial Statement for period ending May 31, 2024 (unaudited).
 - d) Financial Statement for period ending June 30, 2024 (unaudited).
 11. Supervisor's Requests and Audience Comments.
 12. Public Comments: - Public comment period is for items NOT listed on the Agenda, and comments are limited to three (3) minutes per person and assignment of speaking time is not permitted; however, the Presiding Officer may extend or reduce the time for the public comment period consistent with Section 286.0114, Florida Statutes.
 13. Adjournment.

Staff Review

The first order of business is to call to order the meeting and conduct the roll call.

The second order of business is Notice of Advertisement of the Public Hearing.

The third order of business is the consideration of the Minutes from the May 14, 2024 Regular Meeting.

The fourth order of business deals with two (2) required Public Hearings to consider the adoption of the District’s Fiscal Year 2024 Budget, Assessments.

The first Public Hearing deals with the adoption of the Fiscal Year 2025 Budget which includes the General Fund (Operations) along with the Debt Service Funds (Capital Assessments). The General Fund Budget is subject to change at the Public Hearing. The Debt Service Funds collect the assessments and show the principal and interest due related to the Bond Issues of the District and are not subject to change as part of the adoption of the Budget.

At the conclusion of the first Public Hearing, will be the consideration of **Resolution 2024-14** which adopts the Fiscal Year 2025 Budget. The second Public Hearing deals with the adoption of the General Fund Assessments. At the conclusion of the second public hearing, will be the consideration of **Resolution 2024-15**, which will adopt the General Fund assessment for Fiscal Year 2025.

The final resolution, **Resolution 2024-16**, is an optional resolution for the Board to establish a cap rate for the general fund operations of the District. This resolution permits the District to establish an assessment rate which cannot be exceeded, without first sending mailed notice to the affected property owners in the District.

The fifth order of business is the consideration of **Resolution 2024-17**, a Resolution of the Board of Supervisors setting the proposed meeting schedule for Fiscal Year 2025. As you may re-call, to the extent that the District has a regular meeting schedule the District is required to advertise this schedule (legal advertisement) on a periodic basis at the beginning of the Fiscal Year.

The proposed meeting schedule is at **1:00 P.M.** at the offices of **Taylor Morrison, 551 Cattleman Road, Suite 200, Sarasota, Florida 34232.**

The Fiscal Year 2025 Meetings schedule is as follows:

October 8, 2024	November 12, 2024 – Landowners Election
December 10, 2024	January 14, 2025
February 11, 2025	March 11, 2025
April 8, 2025	May 13, 2025
June 10, 2025	July 8, 2025
August 12, 2025	September 9, 2025

The sixth order of business is the consideration of **Resolution 2024-18**, a Resolution Ratifying, Confirming, And Approving the sale of the LT Ranch Community Development District Capital Improvement Revenue Bonds, Series 2024; Ratifying, Confirming, and Approving the actions of the Chairman, Vice Chairman, Treasurer, Secretary, Assistant Secretaries, And All District staff regarding the sale and closing of the Bonds; Determining such actions as being in accordance with the authorization granted by the Board; Providing a severability clause; and providing an effective date.

The seventh order of business is the consideration of **Resolution 2024-19**, a Resolution Confirming and Approving the actions of the Chairman and District staff regarding the acquisition of certain Neighborhood Four South, Neighborhood Five and Neighborhood Three Phase 5 Stormwater Improvements; and addressing severability and an effective date.

The eighth order of business is the consideration of **Resolution 2024-20**, a Resolution Confirming and Approving the actions of the Chairman and District staff regarding the acquisition of certain Neighborhood Three Phase Four, Neighborhood Four South and Neighborhood Five Phase Two Utilities; and addressing severability and an effective date.

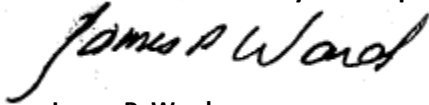
The ninth order of business is the consideration of **Resolution 2024-21**, a Resolution Authorizing, Confirming, and Approving the acceptance of Improvements; and addressing severability and an effective date.

The tenth order of business are staff reports by the District Attorney, District Engineer, and the District Manager will report on the Financial Statements for the period ending April 30, 2024, May 31, 2024, and June 30, 2024 (unaudited).

The remainder of the agenda is standard in nature, and I look forward to seeing you at the meeting. If you have any questions and/or comments before the meeting, please do not hesitate to contact me directly by phoning (954) 658-4900.

Sincerely,

LT Ranch Community Development District



James P. Ward
District Manager

The Fiscal Year 2024 Meetings schedule is as follows:

August 13, 2024

September 10, 2024

LOCALiQ

The Gainesville Sun | The Ledger
Daily Commercial | Ocala StarBanner
News Chief | Herald-Tribune

PO Box 631244 Cincinnati, OH 45263-1244

AFFIDAVIT OF PUBLICATION

Katey Selchan
Lt Ranches Cdd/Jp Ward &
2301 NE 37Th ST
Fort Lauderdale FL 33308-6242

STATE OF WISCONSIN, COUNTY OF BROWN

Before the undersigned authority personally appeared, who on oath says that he or she is the Legal Coordinator of the Herald-Tribune, published in Sarasota County, Florida; with circulation in Sarasota, Manatee and Charlotte Counties; that the attached copy of advertisement, being a Main Legal CLEGL, was published on the publicly accessible website of Sarasota, Manatee and Charlotte Counties, Florida, or in a newspaper by print in the issues of, on:

06/23/2024, 06/30/2024

Affiant further says that the website or newspaper complies with all legal requirements for publication in chapter 50, Florida Statutes.

Subscribed and sworn to before me, by the legal clerk, who is personally known to me, on 06/30/2024

Keegan Moran

Legal Clerk

Kaitlyn Felty

Notary, State of WI, County of Brown

3-7-27

My commission expires

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**MINUTES OF MEETING
LT RANCH
COMMUNITY DEVELOPMENT DISTRICT**

10 The Regular Meeting of the Board of Supervisors of the LT Ranch Community Development District was
11 held on Tuesday, May 14, 2024, at 1:00 P.M. at the offices of Taylor Morrison, 551 Cattlemen Road,
12 Suite 200, Sarasota Florida 34232.
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15 **Present and constituting a quorum:**

16 John Wollard Chairperson
17 Christy Zelaya Assistant Secretary
18 Karen Goldstein Assistant Secretary

19 **Absent:**

20 Christian Cotter Assistant Secretary
21 Scott Turner Assistant Secretary

22 **Also present were:**

23 James P. Ward District Manager
24 Jere Earlywine District Attorney

25 **Audience:**

26 None

27 All residents' names were not included with the minutes. If a resident did not identify
28 themselves or the audio file did not pick up the name, the name was not recorded in these
29 minutes.
30

31 **PORTIONS OF THIS MEETING WERE TRANSCRIBED VERBATIM. ALL VERBATIM PORTIONS WERE**
32 **TRANSCRIBED IN *ITALICS*.**
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35 **FIRST ORDER OF BUSINESS**

Call to Order/Roll Call

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37 Mr. James P. Ward called the meeting to order at approximately 1:40 p.m. He conducted roll call; all
38 Members of the Board were present, with the exception of Supervisor Cotter, constituting a quorum.
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41 **SECOND ORDER OF BUSINESS**

Consideration of Minutes

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43 **April 9, 2024 – Regular Meeting Minutes**
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45 Mr. Ward asked if there were any corrections or deletions to the Minutes; hearing none, he called for a
46 motion.
47

94 *Mr. Ward stated this year will be the last year for a landowner’s election that we will have in this District.*
95 *This Resolution sets the landowners election date for November 12, 2024, at 1:00 p.m. here at the offices*
96 *of Taylor Morrison. I believe the last seat that is up is John’s seat, Seat 3, a 4-year seat, and two of the*
97 *seats will turnover this year to qualified elector seats. If you have any questions, I would be happy to*
98 *handle them, otherwise this resolution is in order.*

99

100 Mr. John Wollard asked to clarify the date of the landowner’s election.

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102 Mr. Ward stated that it is November 12, 2024.

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104 He asked if there were any questions from the Board; hearing none, he called for a motion.

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On MOTION made by John Wollard, seconded by Karen Goldstein, and with all in favor, Resolution 2024-11 was adopted, and the Chair was authorized to sign.

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FIFTH ORDER OF BUSINESS

Consideration of Resolution 2024-12

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Mr. Ward stated that Statute requires the board to implement the requirements of chapter 190 that provide for the general elections or resolution 2024–12 simply does that it calls for the election. We transmit this resolution to the supervisor elections office so they know it’s an election coming up. We already have done that in any event to implement the requirements.

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On MOTION made by John Wollard, seconded by Christy Zelaya, and with all in favor, Resolution 2024-12 was adopted, and the Chair was authorized to sign.

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SIXTH ORDER OF BUSINESS

Consideration of Resolution 2024-13

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Consideration of Resolution 2024-13, a Resolution of the Board of Supervisors Authorizing, Confirming, and Approving the acceptance of Improvements; and addressing severability and an effective date.

THIS ITEM WAS DEFERRED

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SEVENTH ORDER OF BUSINESS

Consideration of Resolution 2024-14

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139 **Consideration of Resolution 2024-14, a Resolution of The Board of Supervisors of the LT Ranch**
140 **Community Development District Ratifying the Actions Of District Staff relative to the Acceptance of**
141 **responsibility for the perpetual operation and maintenance of certain portions of the Stormwater**
142 **Management System (Resolution to be provided prior to the meeting).**

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144 **THIS ITEM WAS DEFERRED**

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147 **EIGHTH ORDER OF BUSINESS** **Staff Reports**

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149 **I. District Attorney**
150 No report.

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152 **II. District Engineer**
153 No report.

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155 **III. District Asset Manager**
156 No report.

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158 **IV. District Manager**
159 a) Florida Law changes for Form 1 filings
160 b) Supervisor of Elections Qualified Elector Report dated April 15, 2024
161 c) Important Board Meeting Dates for Balance of Fiscal Year 2024
162 i. Candidate Qualifying period: June 10 through June 14, 2024 (Seats 4 & 5)
163 ii. Proposed Public Hearings – Approval of Budget Fiscal Year 2025, July 9, 2024
164 iii. Last Landowners Election – November 12, 2024 (Seat 3)
165 d) Financial Statement for period ending April 30, 2024 (unaudited)

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167
168 **TENTH ORDER OF BUSINESS** **Supervisor’s Requests and Audience Comments**

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170 Mr. Ward asked if there were any supervisor’s requests; there were none. He asked if there were any
171 audience members present in person or by audio or video with any questions or comments.

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174 **ELEVENTH ORDER OF BUSINESS** **Adjournment**

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176 Mr. Ward adjourned the meeting at approximately 1:45 p.m.

**On MOTION made by John Wollard, seconded by Karen Goldstein, and
with all in favor, the meeting was adjourned.**

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181 **LT Ranch Community Development District**

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185 _____
James P. Ward, Secretary

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John Wollard, Chairperson

RESOLUTION 2024-14

THE ANNUAL APPROPRIATION RESOLUTION OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT (THE “DISTRICT”) RELATING TO THE ANNUAL APPROPRIATIONS AND ADOPTING THE BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2024 AND ENDING SEPTEMBER 30, 2025.

RECITALS

WHEREAS, the District Manager has, submitted to the Board of Supervisors (the “Board”) a proposed budget for the next ensuing budget year along with an explanatory and complete financial plan for each fund of the LT Ranch Community Development District, pursuant to the provisions of Section 190.008(2)(a), *Florida Statutes*; and

WHEREAS, at least sixty (60) days prior to the adoption of the proposed annual budget (the “Proposed Budget”), the District filed a copy of the Proposed Budget with the local governing authorities having jurisdiction over the area included in the District pursuant to the provisions of Section 190.008(2)(b), *Florida Statutes*; and

WHEREAS, the Board set July 9, 2024, as the date for a public hearing thereon and caused notice of such public hearing to be given by publication pursuant to Section 190.008(2)(a), *Florida Statutes*; and

WHEREAS, Section 190.008(2)(a), *Florida Statutes*, requires that, prior to October 1st of each year, the District Board by passage of the Annual Appropriation Resolution shall adopt a budget for the ensuing fiscal year and appropriate such sums of money as the Board deems necessary to defray all expenditures of the District during the ensuing fiscal year; and

WHEREAS, the District Manager has prepared a Proposed Budget, whereby the budget shall project the cash receipts and disbursements anticipated during a given period, including reserves for contingencies for emergency or other unanticipated expenditures during the fiscal year.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF LT RANCH COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. BUDGET.

- a. That the Board of Supervisors has reviewed the District Manager’s Proposed Budget, and hereby approves the Proposed Budget, subject to certain amendments thereto, as shown in Section 2 below.
- b. That the District Manager’s Proposed Budget, attached hereto as Exhibit “A”, as amended by the Board pursuant to the adoption of this Resolution (and as amended by the District Manager, as permitted), is hereby adopted in accordance with the provisions of Section 190.008(2)(a), *Florida Statutes*, and incorporated herein by reference; provided, however, that the comparative figures contained in the adopted budget may be subsequently

RESOLUTION 2024-14

THE ANNUAL APPROPRIATION RESOLUTION OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT (THE “DISTRICT”) RELATING TO THE ANNUAL APPROPRIATIONS AND ADOPTING THE BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2024, AND ENDING SEPTEMBER 30, 2025.

revised as deemed necessary by the District Manager to reflect actual revenues and expenditures and/or revised projections.

- c. That the adopted budget, as amended, shall be maintained by the District Manager and identified as “The Budget for LT Ranch Community Development District for the Fiscal Year Ending September 30, 2025,” as adopted by the Board of Supervisors on July 9, 2024.

SECTION 2. APPROPRIATIONS. There is hereby appropriated out of the revenues of the LT Ranch Community Development District, for the fiscal year beginning October 1, 2024 and ending September 30, 2025, the sum of **\$5,073,159.00** to be raised by the levy of assessments and otherwise, which sum is deemed by the Board of Supervisors to be necessary to defray all expenditures of the District during said budget year, to be divided and appropriated in the following fashion:

Summary of Total Revenue	
General Fund	\$ 2,067,227
Series 2019	\$ 1,023,166
Series 2022 P1 Overlapping Debt	\$ 187,053
Series 2022 P2A	\$ 1,015,621
Series 2024	\$ 780,092
Total	\$ 5,073,159

SECTION 3. SUPPLEMENTAL APPROPRIATIONS. Pursuant to Section 189.016, *Florida Statutes*, the District at any time within Fiscal Year 2025 or within 60 days following the end of the Fiscal Year 2025 may amend its Adopted Budget for that fiscal year as follows:

- a. A line-item appropriation for expenditures within a fund may be decreased or increased by the Board approving the expenditure.
- b. The District Manager or Treasurer may approve an expenditure that would increase or decrease a line-item appropriation within a fund so long as it does not exceed \$20,000 previously approved transfers included, to the original budget appropriation for the receiving program.
- c. Any other budget amendments shall be adopted by resolution and consistent with Florida Law.

The District Manager or Treasurer must ensure that any amendments to the budget under paragraph c. above are posted on the District’s website within 5 days after adoption and remain on the website for at least 2 years.

RESOLUTION 2024-14

THE ANNUAL APPROPRIATION RESOLUTION OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT (THE “DISTRICT”) RELATING TO THE ANNUAL APPROPRIATIONS AND ADOPTING THE BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2024, AND ENDING SEPTEMBER 30, 2025.

SECTION 4. SEVERABILITY. The invalidity or unenforceability of any one or more provisions of this Resolution shall not affect the validity or enforceability of the remaining portions of this Resolution, or any part thereof.

SECTION 5. CONFLICT. That all Sections or parts of Sections of any Resolutions, Agreements or actions of the Board of Supervisors in conflict are hereby repealed to the extent of such conflict.

SECTION 6. EFFECTIVE DATE. This Resolution shall take effect upon the passage and adoption of this Resolution by the Board of Supervisors of the LT Ranch Community Development District.

PASSED AND ADOPTED by the Board of Supervisors of the LT Ranch Community Development District, Sarasota County, Florida, this 9th day of July 2024.

ATTEST:

**LT RANCH COMMUNITY DEVELOPMENT
DISTRICT**

James P. Ward, Secretary

John Wollard, Chairperson

Exhibit A: Fiscal Year 2025 Proposed Budget

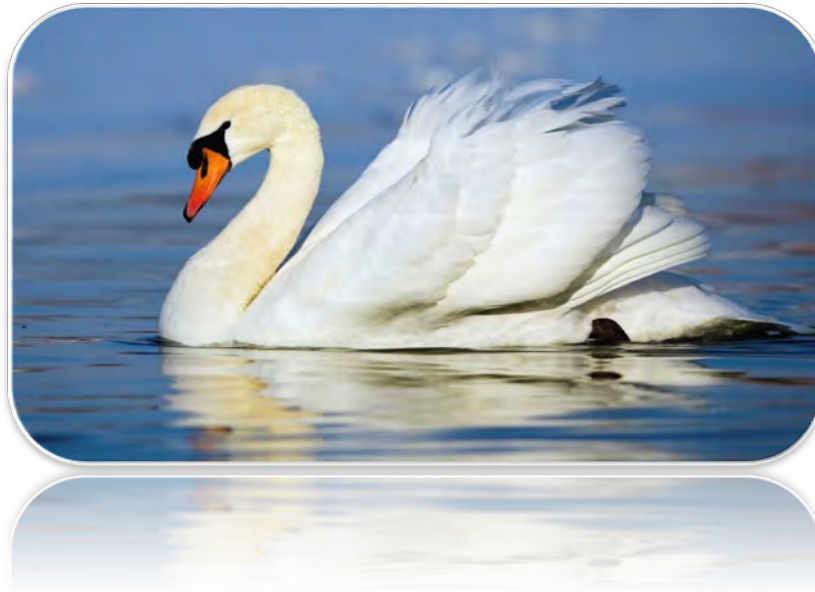
RESOLUTION 2024-14

THE ANNUAL APPROPRIATION RESOLUTION OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT (THE "DISTRICT") RELATING TO THE ANNUAL APPROPRIATIONS AND ADOPTING THE BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2024, AND ENDING SEPTEMBER 30, 2025.

Exhibit A

Fiscal Year 2025 Proposed Budget

LT RANCH COMMUNITY DEVELOPMENT DISTRICT



PROPOSED BUDGET

FISCAL YEAR 2025 – Public Hearing July 9, 2024

PREPARED BY:

JPWARD & ASSOCIATES, LLC, 2301 NORTHEAST 37 STREET, FT. LAUDERDALE, FL. 33308

T: 954-658-4900 E: JimWard@JPWardAssociates.com

LT Ranch Community Development District
General Fund - Budget (Line Item)
Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget	Description
Revenues and Other Sources					
Carryforward					
Taylor Morrison Funded Cash	\$ (162,626)	\$ -	\$ -	\$ (162,626)	Required to meet obligations (Cash Added) Funded over Two Fiscal Years
Cash Available Fund FY 2025 Operations	\$ -	\$ -	\$ -	\$ 65,419	Cash Available to Fund FY 2025 Operatons
Assessment Revenue					
Assessments - On-Roll	\$ 1,774,106	\$ 1,685,677	\$ 1,774,106	\$ 2,067,227	Assessments from Property Owner's
Assessments - Off-Roll	\$ -	\$ -	\$ -	\$ -	
Developer Funding					
Developer Loan Proceeds	\$ -	\$ -	\$ -	\$ -	Funds Operations Shortfalls for Fiscal Year 2023
Developer Funding for Carryforward	\$ 162,626	\$ 162,626	\$ 162,626	\$ 162,626	Developer Partial Funding for 1st Quarter Operations
Developer Funding - Initial Reserve	\$ 250,000	\$ 250,000	\$ 250,000	\$ 250,000	Developer Start up Funding for Reserve
Total Revenue & Other Sources	\$ 2,024,106	\$ 2,098,303	\$ 2,186,732	\$ 2,382,646	
Appropriations					
Legislative					
Board of Supervisor's Fees	\$ -	\$ -	\$ -	\$ -	Required Statutory Fees (Waived by Board)
Board of Supervisor's - FICA	\$ -	\$ -	\$ -	\$ -	FICA (If applicable)
Executive					
Professional - Management	\$ 45,000	\$ 26,250	\$ 45,000	\$ 50,000	District Manager
Financial and Administrative					
Audit Services	\$ 4,400	\$ 5,800	\$ 5,800	\$ 5,900	Statutory Required Audit Yearly
Accounting Services	\$ 27,000	\$ 15,750	\$ 27,000	\$ 27,000	All Funds
Assessment Roll Preparation	\$ 25,500	\$ 14,875	\$ 25,500	\$ 25,500	Par Outstanding and yearly work with Property Appraiser
Arbitrage Rebate Fees	\$ 500	\$ 1,500	\$ 1,500	\$ 1,500	IRS Required Calculation to insure interest on bond funds does not exceed interest paid on bonds
Other Contractual Services					
Recording and Transcription	\$ -	\$ -	\$ -	\$ -	Transcription of Board Meetings
Legal Advertising	\$ 2,000	\$ -	\$ 2,000	\$ 2,000	Statutory Required Legal Advertising
Trustee Services	\$ 6,695	\$ 12,631	\$ 12,631	\$ 17,600	Trustee Fees for Bonds
Dissemination Agent Services	\$ 5,000	\$ 3,100	\$ 6,500	\$ 8,000	Required Reporting for Bonds
Property Appraiser Fees	\$ -	\$ -	\$ -	\$ -	Fees to place assessment on tax bills
Communications and Freight Services					
Telephone	\$ -	\$ -	\$ -	\$ -	
Postage, Freight & Messenger	\$ 200	\$ 11	\$ 200	\$ 200	Agenda Mailings and other misc mail
Computer Services (Web Site)	\$ 2,000	\$ 300	\$ 600	\$ 2,000	Statutory Maintenance of District Web Site
Insurance	\$ 10,000	\$ 68,694	\$ 68,694	\$ 70,000	General Liability and D&O Liability Insurance
Subscriptions and Memberships	\$ 175	\$ 175	\$ 175	\$ 175	Department of Economic Opportunity Fee
Printing and Binding	\$ 600	\$ -	\$ 300	\$ 400	Agenda Books and Misc Copies
Rentals and Leases					
Miscellaneous Equipment	\$ -	\$ -	\$ -	\$ -	Meeting Room Rentals
Travel and Per Diem	\$ -	\$ -	\$ -	\$ -	
Office Supplies	\$ -	\$ -	\$ -	\$ -	
Bank Service Fees	\$ 250	\$ 259	\$ 600	\$ 600	Bank Fees - Governmental Bank Account
Legal Services					

LT Ranch Community Development District
General Fund - Budget (Line Item)
Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget	Description
General Counsel	\$ 7,500	\$ 5,733	\$ 15,000	\$ 10,000	District Attorney
Other Services - As Needed	\$ -	\$ -	\$ -	\$ -	District Attorney
Other General Government Services					
Engineering Services	\$ 7,500	\$ 15,592	\$ 18,092	\$ 7,500	District Engineer
	\$ 144,320	\$ 170,669	\$ 229,592	\$ 228,375	
Emergency & Disaster Relief Services					
Hurricane Ian	\$ -	\$ -	\$ -	\$ -	Cleanup/Restoration due to Hurrican Ian
Sub-Total:	\$ -	\$ -	\$ -	\$ -	
Conservation and Resource Management (Re-Use Community Irrigation Water)					
Re-Use System					
Utility Services					
Re-Use Water (Sarasota County)	\$ 23,400	\$ 15,894	\$ 31,788	\$ 36,450	Rate \$.27/1,000 gallons (max is 712,000/day) Budget estimate inc. to 375,000 from 250,000GPD
Repairs and Maintenance					
Irrigation System (Line Distribution)	\$ 7,000	\$ 370	\$ 5,000	\$ 12,000	Repair broken main line and valves
Irrigation System (Pump Station)	\$ 14,000	\$ 3,774	\$ 6,774	\$ 16,000	Monitoring and repairs as needed.
Sub-Total:	\$ 44,400	\$ 20,038	\$ 43,562	\$ 64,450	
Stormwater Management Services					
Lake, Lake Bank and Littoral Shelf Maintenance					
Professional Services					
Asset Management	\$ 28,000	\$ 14,000	\$ 28,000	\$ 57,200	Field Operations Manager
Repairs & Maintenance					
Aquatic Weed Control	\$ 54,000	\$ 31,331	\$ 54,996	\$ 94,000	Periodic Spraying of Lakes. (22) new lakes were added.
Littoral Shelf - Invasive Plant Control	\$ 12,800	\$ -	\$ -	\$ -	Included in Aquatic Weed Control for FY 2025
Lake Bank Maintenance	\$ 18,000	\$ -	\$ -	\$ -	Included in Aquatic Weed Control for FY 2025
Detention Area Maintenance	\$ 4,200	\$ 925	\$ 1,850	\$ 4,200	Periodic maintenance of dry detention areas
Water Quality Testing	\$ -	\$ -	\$ -	\$ -	Periodic testing of lakes in water management system (3 Reports/Year)
Littoral Shelf Plantings	\$ 3,000	\$ 2,184	\$ 3,744	\$ 4,000	Periodic replacement of littoral shelf plantings. (Includes Additional Lakes)
Control Structures, Catch Basins & Outfalls	\$ 27,500	\$ 3,500	\$ 27,500	\$ 25,000	Inspection/Cleaning of Drainage Structures
Preserve Services					
Wetland Maintenance	\$ 70,500	\$ 30,425	\$ 64,000	\$ 158,900	Preserve Maintenance four (4) times a year. (7) new wetland areas were added
Enhancement Area Maintenance	\$ 55,000	\$ 31,725	\$ 63,450	\$ 86,400	Preserve Maintenance six (6) times a year (9) new areas were added.
Creation Areas Maintenance	\$ 4,000	\$ 4,787	\$ 33,509	\$ 60,900	Preserve Maintenance (2) new areas were added.
Shell Path Regrading	\$ 15,000	\$ -	\$ 15,000	\$ 15,000	Yearly Maintenance
Green Way Maintenance	\$ 20,000	\$ 6,963	\$ 35,688	\$ 27,600	Green Way Creation Area Maintenance and Landscaping
Contingencies	\$ 28,400	\$ -	\$ -	\$ 9,520	2% of Repairs and Maintenance Items
Operating Supplies	\$ -	\$ -	\$ -	\$ -	None Required
Capital Outlay	\$ -	\$ -	\$ -	\$ -	None Required
Sub-Total:	\$ 340,400	\$ 125,839	\$ 327,737	\$ 542,720	

LT Ranch Community Development District
General Fund - Budget (Line Item)
Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget	Description
Road & Street Facilities - Lorraine Road/Skye Ranch Blvd./Latimer St./Luna Lane					
Professional Services					
Asset Management	\$ 12,500	\$ 6,250	\$ 12,500	\$ 28,600	Field Operations Manager
SWFWMD Reporting -Re-Use System	\$ 3,000	\$ -	\$ 3,000	\$ 3,000	Re-Use Reporting periodically for SWFWMD Permit Requirement
Utility Services					
Electric - Street Lights	\$ 12,600	\$ 5,397	\$ 9,252	\$ 10,000	Power Service
Irrigation Water	\$ 16,140	\$ -	\$ -	\$ -	Re-use water moved to GL 5374301
Repairs & Maintenance					
Landscape Maintenance					
Lorraine Blvd	\$ 290,000	\$ 146,814	\$ 284,208	\$ 396,000	Lorraine Road (Added Phase to South)
Skye Ranch Road, Lattimer St. & Luna Lane	\$ 99,000	\$ 49,256	\$ 98,512	\$ 100,000	Skye Ranch Blvd., Lattimer St., & Luna Lane
Pressure Cleaning	\$ 20,000	\$ 1,125	\$ 15,125	\$ 15,000	Yearly Side walks, curbs and gutters pressure cleaning (Luna Lane, & Autumn Breeze, Lorraine Blvd)
Frost Damage	\$ -	\$ -	\$ -	\$ -	Unusual Frost in FY 2022 Line Item removed
Vehicular Damage	\$ 26,000	\$ 1,231	\$ 4,000	\$ 8,000	Damage from Vehicular Traffic
Tree Trimming	\$ 13,000	\$ 15,363	\$ 15,363	\$ 25,000	Yearly trimming of Branches (Adding Hardwoods for FY 2025)
Landscape Replacements	\$ 24,000	\$ 5,532	\$ 25,483	\$ 24,000	Yearly replacements of plants as needed
Mulch Installation	\$ 44,000	\$ 24,478	\$ 38,478	\$ 40,000	One (1) full mulch yearly and 1 touch up
Annuals	\$ 19,000	\$ 15,413	\$ 30,825	\$ 25,000	Four (4) times per year
Roadway Lighting	\$ 8,000	\$ -	\$ -	\$ 5,000	Periodic repairs as needed to street lights as needed.
Landscape Lighting	\$ -	\$ -	\$ -	\$ -	No Lighting
Founatin Services	\$ -	\$ -	\$ -	\$ -	N/A
Irrigation Repairs	\$ -	\$ 1,785	\$ 3,569	\$ 5,000	Periodic repairs as needed
Contingencies	\$ 54,300	\$ 4,405	\$ 20,000	\$ 12,860	2% of Repairs and Maintenance
Operating Supplies	\$ -	\$ -	\$ -	\$ -	N/A for FY 2025
Capital Outlay	\$ -	\$ -	\$ -	\$ -	N/A for FY 2025
Contingencies	\$ -	\$ -	\$ -	\$ -	Moved to another line item in FY 2024
Sub-Total:	\$ 641,540	\$ 277,048	\$ 560,316	\$ 697,460	
Community Park (CP1 - Turner Park)					
Professional Services					
Asset Management	\$ 15,500	\$ 7,750	\$ 15,500	\$ 25,800	Field Operations Manager
Park Staffing	\$ 40,000	\$ 20,000	\$ 40,000	\$ 43,120	P/T Operations 3 times per week
Utility Services					
Electric					
Parking Lot Lighting	\$ 4,000	\$ -	\$ -	\$ -	Removed in FY 2025 (No Parking Lot Lighting)
Snack Shack Lighting	\$ 5,000	\$ -	\$ -	\$ 5,000	Electric
Water and Sewer					
Snack Shack - Fountains	\$ 3,000	\$ -	\$ 3,000	\$ -	Drinking Fountains (Instalaton in FY 24)
Snack Shack - Utilities	\$ 4,000	\$ 929	\$ 1,857	\$ 4,000	Restrooms
Irrigation Water - Turner Park				\$ -	Re-use water moved to GL 5374301
Repairs & Maintenance					
Sand Replacment	\$ 9,000	\$ 400	\$ 1,800	\$ 2,000	Playground and volleyball Court (once per year)
Janitorial	\$ 33,000	\$ 25,290	\$ 50,580	\$ 51,000	Daily Cleaning from three (3) times a week Restroom Cleaning, Trash Removal & Restroom Supplies

LT Ranch Community Development District
General Fund - Budget (Line Item)
Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget	Description
Landscaping Maintenance					
Floritam Grass Area's					
Mowing/Edging/Weeding/Irrigation	\$ 42,000	\$ 28,657	\$ 57,314	\$ 49,000	42 event (Mowing, edging, and Weedeating)
Bermuda Grass Area's (Bahia Mowing Included)					
Mowing/Edging/Weeding/Irrigation	\$ 75,600	\$ 18,900	\$ 37,800	\$ 156,000	84 events on baseball/socor field mowing.
Agronomic Scope	\$ 42,240	\$ 21,120	\$ 42,240	\$ -	Moved to Mowing for FY 25 - Fertilization, Pest Control and Spot Spraying for weeds
Aeration/Verticutting	\$ 22,000	\$ -	\$ 22,000	\$ 22,000	Bermuda Grass Aeration - Once a year.
Topdressing	\$ 10,100	\$ -	\$ 10,100	\$ 10,100	Sand Additions - Once a year, if needed.
Rye Seeding	\$ 12,000	\$ 5,200	\$ 5,200	\$ 5,500	In Dormat season (winter) - add green color back to Bermuda Grass
Bahai Maintenance					
Mowing/Edging/Weeding/Irrigation	\$ 9,000	\$ 10,503	\$ 21,006	\$ -	Moved to Bermuda Mowing - 24 Events (mowing and Weedeating) twice monthly
Bed Maintenance Services					
Playgrounds, Medians around Restroom/Play Area	\$ 8,000	\$ -	\$ -	\$ -	Included in Mowing Prices
Irrigation					
Wet Checks	\$ 9,400	\$ 3,000	\$ 6,000	\$ -	Moved to Mowing Contract For FY 25
Line Distribution System	\$ 2,000	\$ -	\$ 2,000	\$ 2,000	Periodic repair as needed
Mulch Installation					
Park Excluding Playground Areas	\$ 6,000	\$ -	\$ 6,000	\$ 6,000	Two (2) times per year
ADA Compliant Mulch for Playground Areas	\$ 8,000	\$ 365	\$ 1,500	\$ 1,500	Two (2) time per year
Landscape Replacements	\$ 8,000	\$ -	\$ 7,500	\$ 8,000	Around Playground and Amenity Center (as needed)
Maintenance Amenity Center	\$ 12,000	\$ -	\$ -	\$ -	Included in Mowing Prices
Snack Shack					
Building Maintenance	\$ 2,000	\$ -	\$ 1,000	\$ 2,000	Maintenance as needed
Miscellaneous Repairs	\$ 3,000	\$ 3,838	\$ 4,500	\$ 5,000	Maintenance as needed
Playground					
Miscellaneous Repairs	\$ 7,000	\$ 3,875	\$ 7,000	\$ 8,000	Inspection and repairs
Dog Park					
Miscellaneous Repairs	\$ 2,400	\$ 665	\$ 3,165	\$ 5,000	Inspection and repairs
Outdoor Sports Fields					
Outdoor Sports Fields Expense	\$ 7,400	\$ -	\$ 2,000	\$ 6,000	Baseball, Basketball & Soccer Materials- Nets, Goals, Bases, Etc...
Miscellaneous Repairs	\$ 2,800	\$ -	\$ 1,000	\$ 3,500	As needed.
Contingencies	\$ 66,588	\$ 100	\$ 65,000	\$ 23,247	7% of Repairs and Maintenance
Sub-Total:	\$ 471,028	\$ 150,591	\$ 415,062	\$ 443,767	
Reserves					
Extraordinary Capital/Operations	\$ 250,000	\$ -	\$ -	\$ 250,000	Long Term Capital Planning Tool - create a stable/equitable funding plan to offset deterioration resulting in sufficient funds for major common area expenditures and to create a stable fund for Hurricane Cleanup/Restoration.
Other Financing Uses					
Loan Repayment	\$ -	\$ -	\$ -	\$ -	Hurricane Ian and FY22 and FY23 Operations Shortfall
Other Fees and Charges					
Discounts, Tax Collector Fee and Property Appraiser Fee	\$ 132,418	\$ -	\$ 132,418	\$ 155,874	Discounts property Owners can reduce assessment by (up to 4%) by paying in November, and Tax Collector and Property Appraiser Fees
Total Appropriations	\$ 2,024,106	\$ 744,187	\$ 1,708,686	\$ 2,382,646	

LT Ranch Community Development District
 General Fund - Budget (Line Item)
 Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget	Description
Fund Balances:					
Change from Current Year Operations			\$ 478,046	\$ -	
Fund Balance - Beginning	\$ -				
Extraordinary Capital/Operations	\$ 250,000		\$ 250,000	\$ 500,000	Long Term Capital Planning
Cash Required to Meet Operating Requirements	\$ 325,253		\$ 162,626	\$ 390,985	Actual and/or Anticipated Balance
Total Fund Balance	<u>\$ -</u>		<u>\$ 412,626</u>	<u>\$ 890,985</u>	

Assessment Rate						
Product Type	FY 2024	EAU Factor	# of Units	Total EAU	FY 2025	Yearly Change
Single Family 30' - 39'	\$ 1,210.17	0.80	136	108.80	\$ 1,228.25	\$ 18.09
Single Family 40' - 49'	\$ 1,285.80	0.85	305	259.25	\$ 1,305.02	\$ 19.22
Single Family 50' - 59'	\$ 1,361.44	0.90	443	398.70	\$ 1,381.78	\$ 20.35
Single Family 60' - 69'	\$ 1,512.71	1.00	223	223.00	\$ 1,535.32	\$ 22.61
Single Family 70' - 79'	\$ 1,663.98	1.10	69	75.90	\$ 1,688.85	\$ 24.87
Single Family 90' & up	\$ 1,815.25	1.20	24	28.80	\$ 1,842.38	\$ 27.13
Workforce - Family	\$ 1,058.90	0.70	360	252.00	\$ 1,074.72	\$ 15.82
Total:			1,560	1,346.45		

LT Ranch Community Development District
Debt Service Fund - Series 2019 Bonds - Budget
Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget
Revenues and Other Sources				
Carryforward	\$ -	\$ -	\$ -	\$ -
Interest Income				
Reserve Account	\$ -	\$ 14,711	\$ 25,219	\$ 22,697
Revenue Account	\$ -	\$ 15,173	\$ 26,011	\$ 23,410
Interest Account	\$ -	\$ -	\$ -	\$ -
Prepayment Account	\$ -	\$ -	\$ -	\$ -
Capitalized Interest Account	\$ -	\$ -	\$ -	\$ -
Special Assessment Revenue				
Special Assessment - On-Roll	\$ 1,022,652	\$ 980,089	\$ 1,022,652	\$ 1,022,652
Special Assessment - Off-Roll	\$ -	\$ -	\$ -	\$ -
Special Assessment - Prepayment	\$ -	\$ 27,468	\$ 27,468	\$ -
Debt Proceeds				
Series 2019 Issuance Proceeds	\$ -	\$ -	\$ -	\$ -
Total Revenue & Other Sources	\$ 1,022,652	\$ 1,037,441	\$ 1,101,349	\$ 1,068,758
Expenditures and Other Uses				
Debt Service				
Principal Debt Service - Mandatory	\$ 345,000	\$ -	\$ 345,000	\$ 355,000
Principal Debt Service - Early Redemptions		\$ -	\$ -	\$ -
Interest Expense	\$ 611,610	\$ 305,805	\$ 611,610	\$ 601,260
Other Fees and Charges				
Discounts for Early Payment	\$ 66,812	\$ -	\$ 66,812	\$ 66,906
Total Expenditures and Other Uses	\$ 1,023,422	\$ 305,805	\$ 1,023,422	\$ 1,023,166
Net Increase/(Decrease) in Fund Balance	\$ (2,213)	\$ 731,636	\$ 77,927	\$ 45,592
Fund Balance - Beginning	\$ 836,338	\$ 836,338	\$ 836,338	\$ 914,265
Fund Balance - Ending	\$ 834,125	\$ 1,567,974	\$ 914,265	\$ 959,858

Restricted Fund Balance:

Reserve Account Requirement	\$ 476,850
Restricted for November 1, 2025 Interest Payment	<u>\$ 295,305</u>
Total - Restricted Fund Balance:	<u>\$ 772,155</u>

Product Type	Number of Units	FY 2024 Rate	FY 2025 Rate
Single Family 30' - 39'	108	\$ 1,214.82	\$ 1,214.81
Single Family 40' - 49'	179	\$ 1,290.74	\$ 1,290.74
Single Family 50' - 59'	248	\$ 1,366.67	\$ 1,366.67
Single Family 60' - 69'	140	\$ 1,518.52	\$ 1,518.55
Single Family 70' - 79'	39	\$ 1,670.37	\$ 1,670.39
Single Family 90' & up	24	\$ 1,822.23	\$ 1,822.22
Workforce - Family	0	There are no Debt Assessments on this Product	
Total:	738		

**LT Ranch Community Development District
Debt Service Fund - Series 2019 Bonds**

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
Par Amount Issued:		\$ 16,735,000	Varies			
5/1/2020				\$ 233,201.83		
11/1/2020				\$ 320,430.00	\$ 553,632	\$ 16,735,000
5/1/2021	\$ 315,000		3.00%	\$ 320,430.00		
11/1/2021				\$ 315,705.00	\$ 951,135	\$ 16,420,000
5/1/2022	\$ 325,000		3.00%	\$ 315,705.00		
11/1/2022				\$ 310,830.00	\$ 951,535	\$ 16,095,000
5/1/2023	\$ 335,000		3.00%	\$ 310,830.00		
11/1/2023				\$ 305,805.00	\$ 951,635	\$ 15,760,000
5/1/2024	\$ 345,000		3.00%	\$ 305,805.00		
11/1/2024				\$ 300,630.00	\$ 951,435	\$ 15,415,000
5/1/2025	\$ 355,000		3.00%	\$ 300,630.00		
11/1/2025				\$ 295,305.00	\$ 950,935	\$ 15,060,000
5/1/2026	\$ 365,000		3.40%	\$ 295,305.00		
11/1/2026				\$ 289,100.00	\$ 949,405	\$ 14,695,000
5/1/2027	\$ 380,000		3.40%	\$ 289,100.00		
11/1/2027				\$ 282,640.00	\$ 951,740	\$ 14,315,000
5/1/2028	\$ 395,000		3.40%	\$ 282,640.00		
11/1/2028				\$ 275,925.00	\$ 953,565	\$ 13,920,000
5/1/2029	\$ 405,000		3.40%	\$ 275,925.00		
11/1/2029				\$ 269,040.00	\$ 949,965	\$ 13,515,000
5/1/2030	\$ 420,000		3.40%	\$ 269,040.00		
11/1/2030				\$ 261,900.00	\$ 950,940	\$ 13,095,000
5/1/2031	\$ 435,000		4.00%	\$ 261,900.00		
11/1/2031				\$ 253,200.00	\$ 950,100	\$ 12,660,000
5/1/2032	\$ 455,000		4.00%	\$ 253,200.00		
11/1/2032				\$ 244,100.00	\$ 952,300	\$ 12,205,000
5/1/2033	\$ 475,000		4.00%	\$ 244,100.00		
11/1/2033				\$ 234,600.00	\$ 953,700	\$ 11,730,000
5/1/2034	\$ 490,000		4.00%	\$ 234,600.00		
11/1/2034				\$ 224,800.00	\$ 949,400	\$ 11,240,000
5/1/2035	\$ 510,000		4.00%	\$ 224,800.00		
11/1/2035				\$ 214,600.00	\$ 949,400	\$ 10,730,000
5/1/2036	\$ 535,000		4.00%	\$ 214,600.00		
11/1/2036				\$ 203,900.00	\$ 953,500	\$ 10,195,000
5/1/2037	\$ 555,000		4.00%	\$ 203,900.00		
11/1/2037				\$ 192,800.00	\$ 951,700	\$ 9,640,000
5/1/2038	\$ 575,000		4.00%	\$ 192,800.00		
11/1/2038				\$ 181,300.00	\$ 949,100	\$ 9,065,000
5/1/2039	\$ 600,000		4.00%	\$ 181,300.00		
11/1/2039				\$ 169,300.00	\$ 950,600	\$ 8,465,000
5/1/2040	\$ 625,000		4.00%	\$ 169,300.00		
11/1/2040				\$ 156,800.00	\$ 951,100	\$ 7,840,000
5/1/2041	\$ 650,000		4.00%	\$ 156,800.00		
11/1/2041				\$ 143,800.00	\$ 950,600	\$ 7,190,000
5/1/2042	\$ 675,000		4.00%	\$ 143,800.00		
11/1/2042				\$ 130,300.00	\$ 949,100	\$ 6,515,000
5/1/2043	\$ 705,000		4.00%	\$ 130,300.00		
11/1/2043				\$ 116,200.00	\$ 951,500	\$ 5,810,000
5/1/2044	\$ 735,000		4.00%	\$ 116,200.00		
11/1/2044				\$ 101,500.00	\$ 952,700	\$ 5,075,000
5/1/2045	\$ 765,000		4.00%	\$ 101,500.00		
11/1/2045				\$ 86,200.00	\$ 952,700	\$ 4,310,000

**LT Ranch Community Development District
Debt Service Fund - Series 2019 Bonds**

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
5/1/2046		\$ 795,000	4.00%	\$ 86,200.00		
11/1/2046				\$ 70,300.00	\$ 951,500	\$ 3,515,000
5/1/2047		\$ 825,000	4.00%	\$ 70,300.00		
11/1/2047				\$ 53,800.00	\$ 949,100	\$ 2,690,000
5/1/2048		\$ 860,000	4.00%	\$ 53,800.00		
11/1/2048				\$ 36,600.00	\$ 950,400	\$ 1,830,000
5/1/2049		\$ 895,000	4.00%	\$ 36,600.00		
11/1/2049				\$ 18,700.00	\$ 950,300	\$ 935,000
5/1/2050		\$ 935,000	4.00%	\$ 18,700.00		

LT Ranch Community Development District
Debt Service Fund - Series 2022-1 (Phase 1 Overlapping Assessment Area) Bonds - Budget
Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget
Revenues and Other Sources				
Carryforward	\$ 68,579	\$ -	\$ -	
Interest Income				
Reserve Account	\$ -	\$ 2,625	\$ 4,500	\$ 4,050
Revenue Account	\$ -	\$ 1	\$ 2	\$ -
Interest Account	\$ -	\$ -	\$ -	\$ -
Prepayment Account	\$ -	\$ -	\$ -	\$ -
Capitalized Interest Account	\$ -	\$ 780	\$ 1,337	\$ -
Special Assessment Revenue				
Special Assessment - On-Roll	\$ 183,003	\$ 179,715	\$ 183,003	\$ 183,003
Special Assessment - Off-Roll	\$ -	\$ -	\$ -	\$ -
Special Assessment - Prepayment	\$ -	\$ -	\$ -	\$ -
Debt Proceeds				
Reserve Account Deposit	\$ -	\$ -	\$ -	\$ -
Capitalized Interest thru 11/1/2024	\$ -	\$ -	\$ -	\$ -
Total Revenue & Other Sources	\$ 251,582	\$ 183,120	\$ 188,841	\$ 187,053
Expenditures and Other Uses				
Debt Service				
Principal Debt Service - Mandatory	\$ 30,000	\$ -	\$ 30,000	\$ 35,000
Principal Debt Service - Early Redemptions		\$ -	\$ -	
Interest Expense	\$ 137,158	\$ 68,579	\$ 51,815	\$ 135,598
Other Fees and Charges				
Discounts for Early Payment	\$ 8,078	\$ -	\$ 8,078	\$ 8,078
Total Expenditures and Other Uses	\$ 175,236	\$ 68,579	\$ 89,893	\$ 178,676
Net Increase/(Decrease) in Fund Balance	\$ 76,346	\$ 114,542	\$ 98,948	\$ 8,377
Fund Balance - Beginning	\$ 178,975	\$ 178,975	\$ 178,975	\$ 277,923
Fund Balance - Ending	\$ 984,675	\$ 293,516	\$ 277,923	\$ 286,300

Restricted Fund Balance:

Reserve Account Requirement	\$ -
Restricted for November 1, 2025 Interest Payment	\$ 66,889
Total - Restricted Fund Balance:	\$ 66,889

Product Type	Number of Units	Rate	Rate
Single Family 30' - 39'	22	\$ -	\$ 898.17
Single Family 40' - 49'	0	\$ -	\$ -
Single Family 50' - 59'	78	\$ -	\$ 1,010.45
Single Family 60' - 69'	62	\$ -	\$ 1,122.72
Single Family 70' - 79'	12	\$ -	\$ 1,234.99
Single Family 90' & up	0	\$ -	\$ -
Workforce - Family	0	No Assessments on Workforce	
Total:	174		

LT Ranch Community Development District
Debt Service Fund - Series 2022-1 (Phase 1 Overlapping Assessment Area) Bonds

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
Par Amount Issued:		\$ 2,380,000	Varies			
5/1/2023				\$ 51,815.06		
11/1/2023				\$ 68,578.75	\$ 120,394	\$ 2,380,000
5/1/2024	\$ 30,000		5.20%	\$ 68,578.75		
11/1/2024				\$ 67,798.75	\$ 166,378	\$ 2,350,000
5/1/2025	\$ 35,000		5.20%	\$ 67,798.75		
11/1/2025				\$ 66,888.75	\$ 169,688	\$ 2,315,000
5/1/2026	\$ 35,000		5.20%	\$ 66,888.75		
11/1/2026				\$ 65,978.75	\$ 167,868	\$ 2,280,000
5/1/2027	\$ 35,000		5.20%	\$ 65,978.75		
11/1/2027				\$ 65,068.75	\$ 166,048	\$ 2,245,000
5/1/2028	\$ 40,000		5.30%	\$ 65,068.75		
11/1/2028				\$ 64,008.75	\$ 169,078	\$ 2,205,000
5/1/2029	\$ 40,000		5.30%	\$ 64,008.75		
11/1/2029				\$ 62,948.75	\$ 166,958	\$ 2,165,000
5/1/2030	\$ 45,000		5.30%	\$ 62,948.75		
11/1/2030				\$ 61,756.25	\$ 169,705	\$ 2,120,000
5/1/2031	\$ 45,000		5.30%	\$ 61,756.25		
11/1/2031				\$ 60,563.75	\$ 167,320	\$ 2,075,000
5/1/2032	\$ 50,000		5.30%	\$ 60,563.75		
11/1/2032				\$ 59,238.75	\$ 169,803	\$ 2,025,000
5/1/2033	\$ 50,000		5.75%	\$ 59,238.75		
11/1/2033				\$ 57,801.25	\$ 167,040	\$ 1,975,000
5/1/2034	\$ 55,000		5.75%	\$ 57,801.25		
11/1/2034				\$ 56,220.00	\$ 169,021	\$ 1,920,000
5/1/2035	\$ 55,000		5.75%	\$ 56,220.00		
11/1/2035				\$ 54,638.75	\$ 165,859	\$ 1,865,000
5/1/2036	\$ 60,000		5.75%	\$ 54,638.75		
11/1/2036				\$ 52,913.75	\$ 167,553	\$ 1,805,000
5/1/2037	\$ 65,000		5.75%	\$ 52,913.75		
11/1/2037				\$ 51,045.00	\$ 168,959	\$ 1,740,000
5/1/2038	\$ 70,000		5.75%	\$ 51,045.00		
11/1/2038				\$ 49,032.50	\$ 170,078	\$ 1,670,000
5/1/2039	\$ 70,000		5.75%	\$ 49,032.50		
11/1/2039				\$ 47,020.00	\$ 166,053	\$ 1,600,000
5/1/2040	\$ 75,000		5.75%	\$ 47,020.00		
11/1/2040				\$ 44,863.75	\$ 166,884	\$ 1,525,000
5/1/2041	\$ 80,000		5.75%	\$ 44,863.75		
11/1/2041				\$ 42,563.75	\$ 167,428	\$ 1,445,000
5/1/2042	\$ 85,000		5.75%	\$ 42,563.75		
11/1/2042				\$ 40,120.00	\$ 167,684	\$ 1,360,000
5/1/2043	\$ 90,000		5.90%	\$ 40,120.00		
11/1/2043				\$ 37,465.00	\$ 167,585	\$ 1,270,000
5/1/2044	\$ 95,000		5.90%	\$ 37,465.00		
11/1/2044				\$ 34,662.50	\$ 167,128	\$ 1,175,000
5/1/2045	\$ 100,000		5.90%	\$ 34,662.50		
11/1/2045				\$ 31,712.50	\$ 166,375	\$ 1,075,000
5/1/2046	\$ 110,000		5.90%	\$ 31,712.50		
11/1/2046				\$ 28,467.50	\$ 170,180	\$ 965,000
5/1/2047	\$ 115,000		5.90%	\$ 28,467.50		
11/1/2047				\$ 25,075.00	\$ 168,543	\$ 850,000

LT Ranch Community Development District
Debt Service Fund - Series 2022-1 (Phase 1 Overlapping Assessment Area) Bonds

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
5/1/2048		\$ 120,000	5.90%	\$ 25,075.00		
11/1/2048				\$ 21,535.00	\$ 166,610	\$ 730,000
5/1/2049	\$	130,000	5.90%	\$ 21,535.00		
11/1/2049				\$ 17,700.00	\$ 169,235	\$ 600,000
5/1/2050	\$	135,000	5.90%	\$ 17,700.00		
11/1/2050				\$ 13,717.50	\$ 166,418	\$ 465,000
5/1/2051	\$	145,000	5.90%	\$ 13,717.50		
11/1/2051				\$ 9,440.00	\$ 168,158	\$ 320,000
5/1/2052	\$	155,000	5.90%	\$ 9,440.00		
11/1/2052				\$ 4,867.50	\$ 169,308	\$ 165,000
5/1/2053	\$	165,000	5.90%	\$ 4,867.50		

LT Ranch Community Development District
Debt Service Fund - Series 2022-IIA (Phase IIA Assessment Area) Bonds - Budget
Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget
Revenues and Other Sources				
Carryforward	\$ 367,573	\$ -	\$ -	\$ -
Interest Income				
Reserve Account	\$ -	\$ 14,166	\$ 24,284	\$ 21,855
Revenue Account	\$ -	\$ 7	\$ 12	\$ -
Interest Account	\$ -	\$ -	\$ -	\$ -
Prepayment Account	\$ -	\$ -	\$ -	\$ -
Capitalized Interest Account	\$ -	\$ 4,051	\$ 6,945	\$ 6,250
Special Assessment Revenue				
Special Assessment - On-Roll	\$ 987,516	\$ 945,966	\$ 987,516	\$ 987,516
Special Assessment - Off-Roll	\$ -	\$ -	\$ -	\$ -
Special Assessment - Prepayment	\$ -	\$ -	\$ -	\$ -
Debt Proceeds				
Reserve Account Deposit	\$ -	\$ -	\$ -	\$ -
Capitalized Interest thru 11/1/2024	\$ -	\$ -	\$ -	\$ -
Total Revenue & Other Sources	\$ 1,355,088	\$ 964,190	\$ 1,018,756	\$ 1,015,621
Expenditures and Other Uses				
Debt Service				
Principal Debt Service - Mandatory	\$ 185,000	\$ -	\$ 185,000	\$ 195,000
Principal Debt Service - Early Redemptions	\$ -	\$ -	\$ -	\$ -
Interest Expense	\$ 735,145	\$ 367,573	\$ 277,721	\$ 725,895
Other Fees and Charges				
Discounts for Early Payment	\$ 65,832	\$ -	\$ 65,832	\$ 65,832
Total Expenditures and Other Uses	\$ 985,977	\$ 367,573	\$ 528,553	\$ 986,727
Net Increase/(Decrease) in Fund Balance	\$ 369,111	\$ 596,617	\$ 490,203	\$ 28,894
Fund Balance - Beginning	\$ 922,335	\$ 922,335	\$ 922,335	\$ 1,412,538
Fund Balance - Ending	\$ 1,291,446	\$ 1,518,952	\$ 1,412,538	\$ 1,441,432
Restricted Fund Balance:				
Reserve Account Requirement			\$ -	
Restricted for November 1, 2025 Interest Payment			\$ 358,073	
Total - Restricted Fund Balance:			\$ 358,073	

LT Ranch Community Development District
Debt Service Fund - Series 2022-2 (Phase IIA Assessment Area) Bonds

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
Par Amount Issued:		\$ 13,280,000	Varies			
5/1/2023				\$ 277,721.44		
11/1/2023				\$ 367,572.50	\$ 640,669	\$ 13,280,000
5/1/2024	\$ 185,000		5.00%	\$ 367,572.50		
11/1/2024				\$ 362,947.50	\$ 906,020	\$ 13,095,000
5/1/2025	\$ 195,000		5.00%	\$ 362,947.50		
11/1/2025				\$ 358,072.50	\$ 906,020	\$ 12,900,000
5/1/2026	\$ 205,000		5.00%	\$ 358,072.50		
11/1/2026				\$ 352,947.50	\$ 905,520	\$ 12,695,000
5/1/2027	\$ 215,000		5.00%	\$ 352,947.50		
11/1/2027				\$ 347,572.50	\$ 904,520	\$ 12,480,000
5/1/2028	\$ 225,000		5.00%	\$ 347,572.50		
11/1/2028				\$ 341,947.50	\$ 903,020	\$ 12,255,000
5/1/2029	\$ 235,000		5.00%	\$ 341,947.50		
11/1/2029				\$ 336,072.50	\$ 900,895	\$ 12,020,000
5/1/2030	\$ 250,000		5.00%	\$ 336,072.50		
11/1/2030				\$ 329,822.50	\$ 903,145	\$ 11,770,000
5/1/2031	\$ 260,000		5.00%	\$ 329,822.50		
11/1/2031				\$ 323,322.50	\$ 899,770	\$ 11,510,000
5/1/2032	\$ 275,000		5.00%	\$ 323,322.50		
11/1/2032				\$ 316,447.50	\$ 899,920	\$ 11,235,000
5/1/2033	\$ 290,000		5.50%	\$ 316,447.50		
11/1/2033				\$ 308,472.50	\$ 898,558	\$ 10,945,000
5/1/2034	\$ 305,000		5.50%	\$ 308,472.50		
11/1/2034				\$ 300,085.00	\$ 896,233	\$ 10,640,000
5/1/2035	\$ 325,000		5.50%	\$ 300,085.00		
11/1/2035				\$ 291,147.50	\$ 897,945	\$ 10,315,000
5/1/2036	\$ 340,000		5.50%	\$ 291,147.50		
11/1/2036				\$ 281,797.50	\$ 893,695	\$ 9,975,000
5/1/2037	\$ 360,000		5.50%	\$ 281,797.50		
11/1/2037				\$ 271,897.50	\$ 893,345	\$ 9,615,000
5/1/2038	\$ 380,000		5.50%	\$ 271,897.50		
11/1/2038				\$ 261,447.50	\$ 911,895	\$ 9,235,000
5/1/2039	\$ 400,000		5.50%	\$ 261,447.50		
11/1/2039				\$ 250,447.50	\$ 914,208	\$ 8,835,000
5/1/2040	\$ 425,000		5.50%	\$ 250,447.50		
11/1/2040				\$ 238,760.00	\$ 915,145	\$ 8,410,000
5/1/2041	\$ 450,000		5.50%	\$ 238,760.00		
11/1/2041				\$ 226,385.00	\$ 914,708	\$ 7,960,000
5/1/2042	\$ 475,000		5.50%	\$ 226,385.00		
11/1/2042				\$ 213,322.50	\$ 912,395	\$ 7,485,000
5/1/2043	\$ 500,000		5.70%	\$ 213,322.50		
11/1/2043				\$ 199,072.00	\$ 917,897	\$ 6,985,000
5/1/2044	\$ 535,000		5.70%	\$ 199,072.00		
11/1/2044				\$ 183,825.00	\$ 916,548	\$ 6,450,000
5/1/2045	\$ 565,000		5.70%	\$ 183,825.00		
11/1/2045				\$ 167,722.50	\$ 918,345	\$ 5,885,000
5/1/2046	\$ 600,000		5.70%	\$ 167,722.50		
11/1/2046				\$ 150,622.50	\$ 918,148	\$ 5,285,000
5/1/2047	\$ 635,000		5.70%	\$ 150,622.50		
11/1/2047				\$ 132,525.00	\$ 915,955	\$ 4,650,000

**LT Ranch Community Development District
Debt Service Fund - Series 2022-2 (Phase IIA Assessment Area) Bonds**

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
5/1/2048		\$ 670,000	5.70%	\$ 132,525.00		
11/1/2048				\$ 113,430.00	\$ 916,625	\$ 3,980,000
5/1/2049		\$ 710,000	5.70%	\$ 113,430.00		
11/1/2049				\$ 93,195.00	\$ 915,015	\$ 3,270,000
5/1/2050		\$ 750,000	5.70%	\$ 93,195.00		
11/1/2050				\$ 71,820.00	\$ 911,125	\$ 2,520,000
5/1/2051		\$ 790,000	5.70%	\$ 71,820.00		
11/1/2051				\$ 49,305.00	\$ 914,670	\$ 1,730,000
5/1/2052		\$ 840,000	5.70%	\$ 49,305.00		
11/1/2052				\$ 25,365.00	\$ 915,365	\$ 890,000
5/1/2053		\$ 890,000	5.70%	\$ 25,365.00		

**LT Ranch Community Development District
Debt Service Fund - Series 2024
Fiscal Year 2025**

Description	Fiscal Year 2024 Budget	Actual at 05/10/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget
Revenues and Other Sources				
Carryforward	\$ -	\$ -	\$ -	\$ 204,473
Interest Income				
Reserve Account	\$ -	\$ -	\$ -	\$ -
Revenue Account	\$ -	\$ -	\$ -	\$ -
Interest Account	\$ -	\$ -	\$ -	\$ -
Prepayment Account	\$ -	\$ -	\$ -	\$ -
Capitalized Interest Account		\$ -	\$ -	\$ -
Special Assessment Revenue				
Special Assessment - On-Roll	\$ -	\$ -	\$ -	\$ 575,619
Special Assessment - Off-Roll	\$ -	\$ -	\$ -	\$ -
Special Assessment - Prepayment	\$ -	\$ -	\$ -	\$ -
Debt Proceeds				
Reserve Account Deposit	\$ -	\$ 268,961	\$ 268,961	\$ -
Capitalized Interest thru 11/1/2024	\$ -	\$ 204,473	\$ 204,473	\$ -
Total Revenue & Other Sources	\$ -	\$ 473,434	\$ 473,434	\$ 780,092
Expenditures and Other Uses				
Debt Service				
Principal Debt Service - Mandatory	\$ -	\$ -	\$ -	\$ 110,000
Principal Debt Service - Early Redemptions		\$ -	\$ -	
Interest Expense	\$ -	\$ -	\$ -	\$ 419,708
Other Fees and Charges				
Discounts for Early Payment	\$ -	\$ -	\$ -	\$ 37,080
Total Expenditures and Other Uses	\$ -	\$ -	\$ -	\$ 566,788
Net Increase/(Decrease) in Fund Balance	\$ -	\$ 473,434	\$ 473,434	\$ 213,304
Fund Balance - Beginning	\$ -	\$ -	\$ -	\$ 473,434
Fund Balance - Ending	\$ -	\$ 473,434	\$ 473,434	\$ 686,738

Restricted Fund Balance:

Reserve Account Requirement	\$ 268,961
Restricted for November 1, 2025 Interest Payment	<u>\$ 212,678</u>
Total - Restricted Fund Balance:	<u>\$ 481,638</u>

Description of Product Type	FY 2024	FY 2025
Single Family 30' - 39'	\$ -	\$ -
Single Family 40' - 49'	\$ -	\$ 2,820.85
Single Family 50' - 59'	\$ -	\$ 2,986.78
Single Family 60' - 69'	\$ -	\$ -
Single Family 70' - 79'	\$ -	\$ -
Single Family 90' and up	\$ -	\$ -
Workforce - Multi Family (5)	\$ -	\$ -

**LT Ranch Community Development District
Debt Service Fund - Series 2024 Bonds**

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
Par Amount Issued:		\$ 7,705,000	Varies			
11/1/2024				\$ 204,473.25	\$ 204,473	\$ 7,705,000
5/1/2025		\$ 110,000	4.65%	\$ 215,235.00		
11/1/2025				\$ 212,677.50	\$ 532,681	\$ 7,595,000
5/1/2026		\$ 115,000	4.65%	\$ 212,677.50		
11/1/2026				\$ 210,003.75	\$ 532,218	\$ 7,480,000
5/1/2027		\$ 120,000	4.65%	\$ 210,003.75		
11/1/2027				\$ 207,213.75	\$ 531,521	\$ 7,360,000
5/1/2028		\$ 125,000	4.65%	\$ 207,213.75		
11/1/2028				\$ 204,307.50	\$ 530,593	\$ 7,235,000
5/1/2029		\$ 130,000	4.65%	\$ 204,307.50		
11/1/2029				\$ 201,285.00	\$ 529,431	\$ 7,105,000
5/1/2030		\$ 135,000	4.65%	\$ 201,285.00		
11/1/2030				\$ 198,146.25	\$ 527,921	\$ 6,970,000
5/1/2031		\$ 145,000	4.65%	\$ 198,146.25		
11/1/2031				\$ 194,775.00	\$ 530,425	\$ 6,825,000
5/1/2032		\$ 150,000	5.50%	\$ 194,775.00		
11/1/2032				\$ 190,650.00	\$ 526,900	\$ 6,675,000
5/1/2033		\$ 160,000	5.50%	\$ 190,650.00		
11/1/2033				\$ 186,250.00	\$ 527,825	\$ 6,515,000
5/1/2034		\$ 170,000	5.50%	\$ 186,250.00		
11/1/2034				\$ 181,575.00	\$ 528,338	\$ 6,345,000
5/1/2035		\$ 175,000	5.50%	\$ 181,575.00		
11/1/2035				\$ 176,762.50	\$ 523,438	\$ 6,170,000
5/1/2036		\$ 185,000	5.50%	\$ 176,762.50		
11/1/2036				\$ 171,675.00	\$ 522,850	\$ 5,985,000
5/1/2037		\$ 200,000	5.50%	\$ 171,675.00		
11/1/2037				\$ 166,175.00	\$ 526,575	\$ 5,785,000
5/1/2038		\$ 210,000	5.50%	\$ 166,175.00		
11/1/2038				\$ 160,400.00	\$ 534,750	\$ 5,575,000
5/1/2039		\$ 220,000	5.50%	\$ 160,400.00		
11/1/2039				\$ 154,350.00	\$ 537,238	\$ 5,355,000
5/1/2040		\$ 235,000	5.50%	\$ 154,350.00		
11/1/2040				\$ 147,887.50	\$ 534,038	\$ 5,120,000
5/1/2041		\$ 245,000	5.50%	\$ 147,887.50		
11/1/2041				\$ 141,150.00	\$ 535,150	\$ 4,875,000
5/1/2042		\$ 260,000	5.50%	\$ 141,150.00		
11/1/2042				\$ 134,000.00	\$ 535,438	\$ 4,615,000
5/1/2043		\$ 275,000	5.50%	\$ 134,000.00		
11/1/2043				\$ 126,437.50	\$ 534,900	\$ 4,340,000
5/1/2044		\$ 290,000	5.50%	\$ 126,437.50		
11/1/2044				\$ 118,462.50	\$ 533,004	\$ 4,050,000
5/1/2045		\$ 305,000	5.85%	\$ 118,462.50		
11/1/2045				\$ 109,541.25	\$ 534,576	\$ 3,745,000
5/1/2046		\$ 325,000	5.85%	\$ 109,541.25		
11/1/2046				\$ 100,035.00	\$ 534,979	\$ 3,420,000
5/1/2047		\$ 345,000	5.85%	\$ 100,035.00		
11/1/2047				\$ 89,943.75	\$ 534,211	\$ 3,075,000
5/1/2048		\$ 365,000	5.85%	\$ 89,943.75		
11/1/2048				\$ 79,267.50	\$ 537,128	\$ 2,710,000
5/1/2049		\$ 390,000	5.85%	\$ 79,267.50		

**LT Ranch Community Development District
Debt Service Fund - Series 2024 Bonds**

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
11/1/2049				\$ 67,860.00	\$ 533,728	\$ 2,320,000
5/1/2050	\$	410,000	5.85%	\$ 67,860.00		
11/1/2050				\$ 55,867.50	\$ 534,011	\$ 1,910,000
5/1/2051	\$	435,000	5.85%	\$ 55,867.50		
11/1/2051				\$ 43,143.75	\$ 537,686	\$ 1,475,000
5/1/2052	\$	465,000	5.85%	\$ 43,143.75		
11/1/2052				\$ 29,542.50	\$ 519,543	\$ 1,010,000
5/1/2053	\$	490,000	5.85%	\$ 29,542.50		
11/1/2053				\$ 15,210.00	\$ 535,210	\$ 520,000
5/1/2054	\$	520,000	5.85%	\$ 15,210.00		
11/1/2054				\$ -	\$ -	\$ -

RESOLUTION 2024-15

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT IMPOSING SPECIAL ASSESSMENTS, CERTIFYING AN ASSESSMENT ROLL; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR CONFLICT AND PROVIDING AN EFFECTIVE DATE.

RECITALS

WHEREAS, the LT Ranch Community Development District (the “District”) is a local unit of special-purpose government established pursuant to Chapter 190, Florida Statutes for the purpose of providing, operating and maintaining infrastructure improvements, facilities and services to the lands within the District; and

WHEREAS, the District is located in Sarasota County, Florida (the “County”); and

WHEREAS, the District has constructed or acquired various infrastructure improvements and provides certain services in accordance with the District’s adopted Improvement Plan and Chapter 190, Florida Statutes; and

WHEREAS, the Board of Supervisors (the “Board”) of the District hereby determines to undertake various operations and maintenance activities described in the District’s budget for Fiscal Year 2025 (“Operations and Maintenance Budget”), attached hereto as Exhibit “A” and incorporated by reference herein; and

WHEREAS, the District must obtain sufficient funds to provide for the operation and maintenance of the services and facilities provided by the District as described in the District’s budget for Fiscal Year 2025; and

WHEREAS, the provision of such services, facilities, and operations is a benefit to lands within the district; and

WHEREAS, Chapter 190, Florida Statutes, provides that the District may impose special assessments on benefitted lands within the District; and

WHEREAS, Chapter 197, Florida Statutes, provides a mechanism pursuant to which such special assessments may be placed on the tax roll and collected by the local tax collector (“Uniform Method”) and the District has previously evidenced its intention to utilize this Uniform Method; and

WHEREAS, the District has previously levied an assessment for debt service, which the District desires to collect on the tax roll for platted lots pursuant to the Uniform Method and which is also indicated on Exhibit “A” the Budget; and

WHEREAS, the District has approved an Agreement with the Property Appraiser and Tax Collector of the County to provide for the collection of the special assessments under the Uniform Method; and

RESOLUTION 2024-15

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT IMPOSING SPECIAL ASSESSMENTS, CERTIFYING AN ASSESSMENT ROLL; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR CONFLICT AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, it is in the best interests of the District to proceed with the imposition of the special assessments for operations and maintenance on platted lots in the amount contained in the budget; and

WHEREAS, the District desires to levy and directly collect on the certain lands special assessments reflecting their portion of the District's operations and maintenance budget; and

WHEREAS, the District Manager is authorized to prepare, certify and/or amend the Assessment Roll of the District to the County Tax Collector pursuant to the Uniform Method as authorized by Florida Law; and

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. BENEFIT. The provision of the services, facilities, and operations as described in Exhibit "A" the Budget confers a special and peculiar benefit to the lands within the District, which benefits exceed or equal the costs of the assessments. The allocation of the costs to the specially benefitted lands is shown in the Assessment Roll as certified to the Tax Collector, as may be amended from time to time is hereby found to be fair and reasonable.

SECTION 2. ASSESSMENT IMPOSITION. A special assessment for operation and maintenance as provided for in Chapter 190, Florida Statutes, is hereby imposed and levied on benefitted lands within the District in accordance with Exhibit "A" the Budget. The lien of the special assessments for operations and maintenance imposed and levied by this Resolution shall be effective upon passage of this Resolution.

SECTION 3. COLLECTION AND ENFORCEMENT; PENALTIES; INTEREST. The collection of the previously levied debt service assessments and operation and maintenance special assessments shall be at the same time and in the same manner as County taxes in accordance with the Uniform Method.

Assessments directly collected by the District, if any due, may be paid in several partial, deferred payments as may be determined by the District Manager.

General Fund Billing Amount: The District Manager may amend based on the Tax Rolls that are provided to the District by the Sarasota County Property Appraiser.

Debt Service Fund Billing Amount: The District Manager may amend based on the Tax Rolls that are provided to the District by the Sarasota County Property Appraiser.

Direct Bill Assessments. Any operations and maintenance assessments, and debt service assessments, not being collected on the Tax Roll, if any, shall be collected directly by the District. Assessments directly collected by the District are due in full on December 1, 2024; provided, however, that, to the extent permitted by law, the assessments due may be paid in several partial, deferred payments and according to a schedule to be established by the District Manager and set forth in the direct

RESOLUTION 2024-15

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT IMPOSING SPECIAL ASSESSMENTS, CERTIFYING AN ASSESSMENT ROLL; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR CONFLICT AND PROVIDING AN EFFECTIVE DATE.

collection invoice. In the event that an assessment payment is not timely made, the whole assessment – including any remaining partial, deferred payments for Fiscal Year 2025, shall immediately become due and payable; shall accrue interest, penalties in the amount of one percent (1%) per month, and all costs of collection and enforcement; and shall either be enforced pursuant to a foreclosure action, or, at the District’s sole discretion, collected pursuant to the Uniform Method on a future tax bill, which amount may include penalties, interest, and costs of collection and enforcement. Any prejudgment interest on delinquent assessments shall accrue at the rate of any bonds secured by the assessments, or at the statutory prejudgment interest rate, as applicable. In the event an assessment subject to direct collection by the District shall be delinquent, the District Manager and District Counsel, without further authorization by the Board, may initiate foreclosure proceedings pursuant to Chapter 170, *Florida Statutes*, or other applicable law to collect and enforce the whole assessment, as set forth herein.

Future Collection Methods. The decision to collect special assessments by any particular method – e.g., on the tax roll or by direct bill – does not mean that such method will be used to collect special assessments in future years, and the District reserves the right in its sole discretion to select collection methods in any given year, regardless of past practices.

SECTION 4. ASSESSMENT ROLL. The District's Assessment Roll, as authorized to be prepared by the District Manager, is hereby certified. That portion of the District’s Assessment Roll which includes developed lands and platted lots is hereby certified to the County Tax Collector and shall be collected by the County Tax Collector in the same manner and time as County taxes. The proceeds therefrom shall be paid to the LT Ranch Community Development District.

SECTION 5. ASSESSMENT ROLL AMENDMENT. The District Manager shall keep apprised of all updates made to the County property roll by the Property Appraiser after the date of this Resolution and shall amend the District’s Assessment Roll in accordance with any such updates, for such time as authorized by Florida law, to the County property roll. After any amendment of the Assessment Roll, the District Manager shall file the updates to the tax roll in the District records.

SECTION 6. CONFLICT. That all Sections or parts of Sections of any Resolutions, Agreements, or actions of the Board of Supervisors in conflict are hereby repealed to the extent of such conflict.

SECTION 7. SEVERABILITY. The invalidity or unenforceability of any one or more provisions of this Resolution shall not affect the validity or enforceability of the remaining portions of this Resolution, or any part thereof.

SECTION 8. EFFECTIVE DATE. This Resolution shall take effect upon the passage and adoption of this Resolution by the Board of Supervisors of the LT Ranch Community Development District.

RESOLUTION 2024-15

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT IMPOSING SPECIAL ASSESSMENTS, CERTIFYING AN ASSESSMENT ROLL; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR CONFLICT AND PROVIDING AN EFFECTIVE DATE.

PASSED AND ADOPTED by the Board of Supervisors of the LT Ranch Community Development District, Sarasota County, Florida, this 9th day of July 2024.

ATTEST:

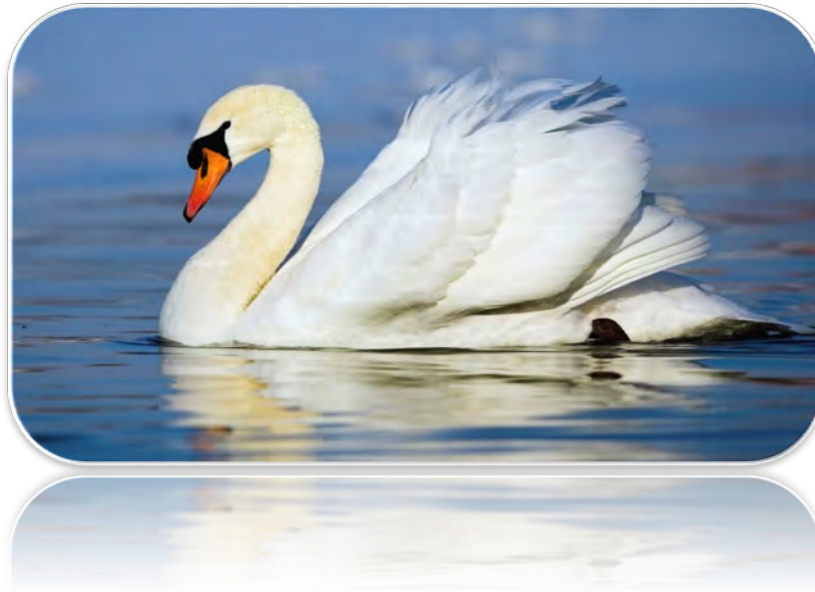
LT RANCH COMMUNITY DEVELOPMENT DISTRICT

James P. Ward, Secretary

John Wollard, Chairperson

Exhibit A: Fiscal Year 2025 Proposed Budget

LT RANCH COMMUNITY DEVELOPMENT DISTRICT



PROPOSED BUDGET

FISCAL YEAR 2025 – Public Hearing July 9, 2024

PREPARED BY:

JPWARD & ASSOCIATES, LLC, 2301 NORTHEAST 37 STREET, FT. LAUDERDALE, FL. 33308

T: 954-658-4900 E: JimWard@JPWardAssociates.com

LT Ranch Community Development District
General Fund - Budget (Line Item)
Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget	Description
Revenues and Other Sources					
Carryforward					
Taylor Morrison Funded Cash	\$ (162,626)	\$ -	\$ -	\$ (162,626)	Required to meet obligations (Cash Added) Funded over Two Fiscal Years
Cash Available Fund FY 2025 Operations	\$ -	\$ -	\$ -	\$ 65,419	Cash Available to Fund FY 2025 Operatons
Assessment Revenue					
Assessments - On-Roll	\$ 1,774,106	\$ 1,685,677	\$ 1,774,106	\$ 2,067,227	Assessments from Property Owner's
Assessments - Off-Roll	\$ -	\$ -	\$ -	\$ -	
Developer Funding					
Developer Loan Proceeds	\$ -	\$ -	\$ -	\$ -	Funds Operations Shortfalls for Fiscal Year 2023
Developer Funding for Carryforward	\$ 162,626	\$ 162,626	\$ 162,626	\$ 162,626	Developer Partial Funding for 1st Quarter Operations
Developer Funding - Initial Reserve	\$ 250,000	\$ 250,000	\$ 250,000	\$ 250,000	Developer Start up Funding for Reserve
Total Revenue & Other Sources	\$ 2,024,106	\$ 2,098,303	\$ 2,186,732	\$ 2,382,646	
Appropriations					
Legislative					
Board of Supervisor's Fees	\$ -	\$ -	\$ -	\$ -	Required Statutory Fees (Waived by Board)
Board of Supervisor's - FICA	\$ -	\$ -	\$ -	\$ -	FICA (If applicable)
Executive					
Professional - Management	\$ 45,000	\$ 26,250	\$ 45,000	\$ 50,000	District Manager
Financial and Administrative					
Audit Services	\$ 4,400	\$ 5,800	\$ 5,800	\$ 5,900	Statutory Required Audit Yearly
Accounting Services	\$ 27,000	\$ 15,750	\$ 27,000	\$ 27,000	All Funds
Assessment Roll Preparation	\$ 25,500	\$ 14,875	\$ 25,500	\$ 25,500	Par Outstanding and yearly work with Property Appraiser
Arbitrage Rebate Fees	\$ 500	\$ 1,500	\$ 1,500	\$ 1,500	IRS Required Calculation to insure interest on bond funds does not exceed interest paid on bonds
Other Contractual Services					
Recording and Transcription	\$ -	\$ -	\$ -	\$ -	Transcription of Board Meetings
Legal Advertising	\$ 2,000	\$ -	\$ 2,000	\$ 2,000	Statutory Required Legal Advertising
Trustee Services	\$ 6,695	\$ 12,631	\$ 12,631	\$ 17,600	Trustee Fees for Bonds
Dissemination Agent Services	\$ 5,000	\$ 3,100	\$ 6,500	\$ 8,000	Required Reporting for Bonds
Property Appraiser Fees	\$ -	\$ -	\$ -	\$ -	Fees to place assessment on tax bills
Communications and Freight Services					
Telephone	\$ -	\$ -	\$ -	\$ -	
Postage, Freight & Messenger	\$ 200	\$ 11	\$ 200	\$ 200	Agenda Mailings and other misc mail
Computer Services (Web Site)	\$ 2,000	\$ 300	\$ 600	\$ 2,000	Statutory Maintenance of District Web Site
Insurance	\$ 10,000	\$ 68,694	\$ 68,694	\$ 70,000	General Liability and D&O Liability Insurance
Subscriptions and Memberships	\$ 175	\$ 175	\$ 175	\$ 175	Department of Economic Opportunity Fee
Printing and Binding	\$ 600	\$ -	\$ 300	\$ 400	Agenda Books and Misc Copies
Rentals and Leases					
Miscellaneous Equipment	\$ -	\$ -	\$ -	\$ -	Meeting Room Rentals
Travel and Per Diem	\$ -	\$ -	\$ -	\$ -	
Office Supplies	\$ -	\$ -	\$ -	\$ -	
Bank Service Fees	\$ 250	\$ 259	\$ 600	\$ 600	Bank Fees - Governmental Bank Account
Legal Services					

LT Ranch Community Development District
General Fund - Budget (Line Item)
Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget	Description
General Counsel	\$ 7,500	\$ 5,733	\$ 15,000	\$ 10,000	District Attorney
Other Services - As Needed	\$ -	\$ -	\$ -	\$ -	District Attorney
Other General Government Services					
Engineering Services	\$ 7,500	\$ 15,592	\$ 18,092	\$ 7,500	District Engineer
	\$ 144,320	\$ 170,669	\$ 229,592	\$ 228,375	
Emergency & Disaster Relief Services					
Hurricane Ian	\$ -	\$ -	\$ -	\$ -	Cleanup/Restoration due to Hurrican Ian
Sub-Total:	\$ -	\$ -	\$ -	\$ -	
Conservation and Resource Management (Re-Use Community Irrigation Water)					
Re-Use System					
Utility Services					
Re-Use Water (Sarasota County)	\$ 23,400	\$ 15,894	\$ 31,788	\$ 36,450	Rate \$.27/1,000 gallons (max is 712,000/day) Budget estimate inc. to 375,000 from 250,000GPD
Repairs and Maintenance					
Irrigation System (Line Distribution)	\$ 7,000	\$ 370	\$ 5,000	\$ 12,000	Repair broken main line and valves
Irrigation System (Pump Station)	\$ 14,000	\$ 3,774	\$ 6,774	\$ 16,000	Monitoring and repairs as needed.
Sub-Total:	\$ 44,400	\$ 20,038	\$ 43,562	\$ 64,450	
Stormwater Management Services					
Lake, Lake Bank and Littoral Shelf Maintenance					
Professional Services					
Asset Management	\$ 28,000	\$ 14,000	\$ 28,000	\$ 57,200	Field Operations Manager
Repairs & Maintenance					
Aquatic Weed Control	\$ 54,000	\$ 31,331	\$ 54,996	\$ 94,000	Periodic Spraying of Lakes. (22) new lakes were added.
Littoral Shelf - Invasive Plant Control	\$ 12,800	\$ -	\$ -	\$ -	Included in Aquatic Weed Control for FY 2025
Lake Bank Maintenance	\$ 18,000	\$ -	\$ -	\$ -	Included in Aquatic Weed Control for FY 2025
Detention Area Maintenance	\$ 4,200	\$ 925	\$ 1,850	\$ 4,200	Periodic maintenance of dry detention areas
Water Quality Testing	\$ -	\$ -	\$ -	\$ -	Periodic testing of lakes in water management system (3 Reports/Year)
Littoral Shelf Plantings	\$ 3,000	\$ 2,184	\$ 3,744	\$ 4,000	Periodic replacement of littoral shelf plantings. (Includes Additional Lakes)
Control Structures, Catch Basins & Outfalls	\$ 27,500	\$ 3,500	\$ 27,500	\$ 25,000	Inspection/Cleaning of Drainage Structures
Preserve Services					
Wetland Maintenance	\$ 70,500	\$ 30,425	\$ 64,000	\$ 158,900	Preserve Maintenance four (4) times a year. (7) new wetland areas were added
Enhancement Area Maintenance	\$ 55,000	\$ 31,725	\$ 63,450	\$ 86,400	Preserve Maintenance six (6) times a year (9) new areas were added.
Creation Areas Maintenance	\$ 4,000	\$ 4,787	\$ 33,509	\$ 60,900	Preserve Maintenance (2) new areas were added.
Shell Path Regrading	\$ 15,000	\$ -	\$ 15,000	\$ 15,000	Yearly Maintenance
Green Way Maintenance	\$ 20,000	\$ 6,963	\$ 35,688	\$ 27,600	Green Way Creation Area Maintenance and Landscaping
Contingencies	\$ 28,400	\$ -	\$ -	\$ 9,520	2% of Repairs and Maintenance Items
Operating Supplies	\$ -	\$ -	\$ -	\$ -	None Required
Capital Outlay	\$ -	\$ -	\$ -	\$ -	None Required
Sub-Total:	\$ 340,400	\$ 125,839	\$ 327,737	\$ 542,720	

LT Ranch Community Development District
General Fund - Budget (Line Item)
Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget	Description
Road & Street Facilities - Lorraine Road/Skye Ranch Blvd./Latimer St./Luna Lane					
Professional Services					
Asset Management	\$ 12,500	\$ 6,250	\$ 12,500	\$ 28,600	Field Operations Manager
SWFWMD Reporting -Re-Use System	\$ 3,000	\$ -	\$ 3,000	\$ 3,000	Re-Use Reporting periodically for SWFWMD Permit Requirement
Utility Services					
Electric - Street Lights	\$ 12,600	\$ 5,397	\$ 9,252	\$ 10,000	Power Service
Irrigation Water	\$ 16,140	\$ -	\$ -	\$ -	Re-use water moved to GL 5374301
Repairs & Maintenance					
Landscape Maintenance					
Lorraine Blvd	\$ 290,000	\$ 146,814	\$ 284,208	\$ 396,000	Lorraine Road (Added Phase to South)
Skye Ranch Road, Lattimer St. & Luna Lane	\$ 99,000	\$ 49,256	\$ 98,512	\$ 100,000	Skye Ranch Blvd., Lattimer St., & Luna Lane
Pressure Cleaning	\$ 20,000	\$ 1,125	\$ 15,125	\$ 15,000	Yearly Side walks, curbs and gutters pressure cleaning (Luna Lane, & Autumn Breeze, Lorraine Blvd)
Frost Damage	\$ -	\$ -	\$ -	\$ -	Unusual Frost in FY 2022 Line Item removed
Vehicular Damage	\$ 26,000	\$ 1,231	\$ 4,000	\$ 8,000	Damage from Vehicular Traffic
Tree Trimming	\$ 13,000	\$ 15,363	\$ 15,363	\$ 25,000	Yearly trimming of Branches (Adding Hardwoods for FY 2025)
Landscape Replacements	\$ 24,000	\$ 5,532	\$ 25,483	\$ 24,000	Yearly replacements of plants as needed
Mulch Installation	\$ 44,000	\$ 24,478	\$ 38,478	\$ 40,000	One (1) full mulch yearly and 1 touch up
Annuals	\$ 19,000	\$ 15,413	\$ 30,825	\$ 25,000	Four (4) times per year
Roadway Lighting	\$ 8,000	\$ -	\$ -	\$ 5,000	Periodic repairs as needed to street lights as needed.
Landscape Lighting	\$ -	\$ -	\$ -	\$ -	No Lighting
Founatin Services	\$ -	\$ -	\$ -	\$ -	N/A
Irrigation Repairs	\$ -	\$ 1,785	\$ 3,569	\$ 5,000	Periodic repairs as needed
Contingencies	\$ 54,300	\$ 4,405	\$ 20,000	\$ 12,860	2% of Repairs and Maintenance
Operating Supplies	\$ -	\$ -	\$ -	\$ -	N/A for FY 2025
Capital Outlay	\$ -	\$ -	\$ -	\$ -	N/A for FY 2025
Contingencies	\$ -	\$ -	\$ -	\$ -	Moved to another line item in FY 2024
Sub-Total:	\$ 641,540	\$ 277,048	\$ 560,316	\$ 697,460	
Community Park (CP1 - Turner Park)					
Professional Services					
Asset Management	\$ 15,500	\$ 7,750	\$ 15,500	\$ 25,800	Field Operations Manager
Park Staffing	\$ 40,000	\$ 20,000	\$ 40,000	\$ 43,120	P/T Operations 3 times per week
Utility Services					
Electric					
Parking Lot Lighting	\$ 4,000	\$ -	\$ -	\$ -	Removed in FY 2025 (No Parking Lot Lighting)
Snack Shack Lighting	\$ 5,000	\$ -	\$ -	\$ 5,000	Electric
Water and Sewer					
Snack Shack - Fountains	\$ 3,000	\$ -	\$ 3,000	\$ -	Drinking Fountains (Instalaton in FY 24)
Snack Shack - Utilities	\$ 4,000	\$ 929	\$ 1,857	\$ 4,000	Restrooms
Irrigation Water - Turner Park				\$ -	Re-use water moved to GL 5374301
Repairs & Maintenance					
Sand Replacment	\$ 9,000	\$ 400	\$ 1,800	\$ 2,000	Playground and volleyball Court (once per year)
Janitorial	\$ 33,000	\$ 25,290	\$ 50,580	\$ 51,000	Daily Cleaning from three (3) times a week Restroom Cleaning, Trash Removal & Restroom Supplies

LT Ranch Community Development District
General Fund - Budget (Line Item)
Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget	Description
Landscaping Maintenance					
Floritam Grass Area's					
Mowing/Edging/Weeding/Irrigation	\$ 42,000	\$ 28,657	\$ 57,314	\$ 49,000	42 event (Mowing, edging, and Weedeating)
Bermuda Grass Area's (Bahia Mowing Included)					
Mowing/Edging/Weeding/Irrigation	\$ 75,600	\$ 18,900	\$ 37,800	\$ 156,000	84 events on baseball/socor field mowing.
Agronomic Scope	\$ 42,240	\$ 21,120	\$ 42,240	\$ -	Moved to Mowing for FY 25 - Fertilization, Pest Control and Spot Spraying for weeds
Aeration/Verticutting	\$ 22,000	\$ -	\$ 22,000	\$ 22,000	Bermuda Grass Aeration - Once a year.
Topdressing	\$ 10,100	\$ -	\$ 10,100	\$ 10,100	Sand Additions - Once a year, if needed.
Rye Seeding	\$ 12,000	\$ 5,200	\$ 5,200	\$ 5,500	In Dormat season (winter) - add green color back to Bermuda Grass
Bahai Maintenance					
Mowing/Edging/Weeding/Irrigation	\$ 9,000	\$ 10,503	\$ 21,006	\$ -	Moved to Bermuda Mowing - 24 Events (mowing and Weedeating) twice monthly
Bed Maintenance Services					
Playgrounds, Medians around Restroom/Play Area	\$ 8,000	\$ -	\$ -	\$ -	Included in Mowing Prices
Irrigation					
Wet Checks	\$ 9,400	\$ 3,000	\$ 6,000	\$ -	Moved to Mowing Contract For FY 25
Line Distribution System	\$ 2,000	\$ -	\$ 2,000	\$ 2,000	Periodic repair as needed
Mulch Installation					
Park Excluding Playground Areas	\$ 6,000	\$ -	\$ 6,000	\$ 6,000	Two (2) times per year
ADA Compliant Mulch for Playground Areas	\$ 8,000	\$ 365	\$ 1,500	\$ 1,500	Two (2) time per year
Landscape Replacements	\$ 8,000	\$ -	\$ 7,500	\$ 8,000	Around Playground and Amenity Center (as needed)
Maintenance Amenity Center	\$ 12,000	\$ -	\$ -	\$ -	Included in Mowing Prices
Snack Shack					
Building Maintenance	\$ 2,000	\$ -	\$ 1,000	\$ 2,000	Maintenance as needed
Miscellaneous Repairs	\$ 3,000	\$ 3,838	\$ 4,500	\$ 5,000	Maintenance as needed
Playground					
Miscellaneous Repairs	\$ 7,000	\$ 3,875	\$ 7,000	\$ 8,000	Inspection and repairs
Dog Park					
Miscellaneous Repairs	\$ 2,400	\$ 665	\$ 3,165	\$ 5,000	Inspection and repairs
Outdoor Sports Fields					
Outdoor Sports Fields Expense	\$ 7,400	\$ -	\$ 2,000	\$ 6,000	Baseball, Basketball & Soccer Materials- Nets, Goals, Bases, Etc...
Miscellaneous Repairs	\$ 2,800	\$ -	\$ 1,000	\$ 3,500	As needed.
Contingencies	\$ 66,588	\$ 100	\$ 65,000	\$ 23,247	7% of Repairs and Maintenance
Sub-Total:	\$ 471,028	\$ 150,591	\$ 415,062	\$ 443,767	
Reserves					
Extraordinary Capital/Operations	\$ 250,000	\$ -	\$ -	\$ 250,000	Long Term Capital Planning Tool - create a stable/equitable funding plan to offset deterioration resulting in sufficient funds for major common area expenditures and to create a stable fund for Hurricane Cleanup/Restoration.
Other Financing Uses					
Loan Repayment	\$ -	\$ -	\$ -	\$ -	Hurricane Ian and FY22 and FY23 Operations Shortfall
Other Fees and Charges					
Discounts, Tax Collector Fee and Property Appraiser Fee	\$ 132,418	\$ -	\$ 132,418	\$ 155,874	Discounts property Owners can reduce assessment by (up to 4%) by paying in November, and Tax Collector and Property Appraiser Fees
Total Appropriations	\$ 2,024,106	\$ 744,187	\$ 1,708,686	\$ 2,382,646	

LT Ranch Community Development District
 General Fund - Budget (Line Item)
 Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget	Description
Fund Balances:					
Change from Current Year Operations			\$ 478,046	\$ -	
Fund Balance - Beginning	\$ -				
Extraordinary Capital/Operations	\$ 250,000		\$ 250,000	\$ 500,000	Long Term Capital Planning
Cash Required to Meet Operating Requirements	\$ 325,253		\$ 162,626	\$ 390,985	Actual and/or Anticipated Balance
Total Fund Balance	<u>\$ -</u>		<u>\$ 412,626</u>	<u>\$ 890,985</u>	

Assessment Rate							
Product Type	FY 2024	EAU Factor	# of Units	Total EAU	FY 2025	Yearly Change	
Single Family 30' - 39'	\$ 1,210.17	0.80	136	108.80	\$ 1,228.25	\$ 18.09	
Single Family 40' - 49'	\$ 1,285.80	0.85	305	259.25	\$ 1,305.02	\$ 19.22	
Single Family 50' - 59'	\$ 1,361.44	0.90	443	398.70	\$ 1,381.78	\$ 20.35	
Single Family 60' - 69'	\$ 1,512.71	1.00	223	223.00	\$ 1,535.32	\$ 22.61	
Single Family 70' - 79'	\$ 1,663.98	1.10	69	75.90	\$ 1,688.85	\$ 24.87	
Single Family 90' & up	\$ 1,815.25	1.20	24	28.80	\$ 1,842.38	\$ 27.13	
Workforce - Family	\$ 1,058.90	0.70	360	252.00	\$ 1,074.72	\$ 15.82	
Total:			1,560	1,346.45			

LT Ranch Community Development District
Debt Service Fund - Series 2019 Bonds - Budget
Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget
Revenues and Other Sources				
Carryforward	\$ -	\$ -	\$ -	\$ -
Interest Income				
Reserve Account	\$ -	\$ 14,711	\$ 25,219	\$ 22,697
Revenue Account	\$ -	\$ 15,173	\$ 26,011	\$ 23,410
Interest Account	\$ -	\$ -	\$ -	\$ -
Prepayment Account	\$ -	\$ -	\$ -	\$ -
Capitalized Interest Account	\$ -	\$ -	\$ -	\$ -
Special Assessment Revenue				
Special Assessment - On-Roll	\$ 1,022,652	\$ 980,089	\$ 1,022,652	\$ 1,022,652
Special Assessment - Off-Roll	\$ -	\$ -	\$ -	\$ -
Special Assessment - Prepayment	\$ -	\$ 27,468	\$ 27,468	\$ -
Debt Proceeds				
Series 2019 Issuance Proceeds	\$ -	\$ -	\$ -	\$ -
Total Revenue & Other Sources	\$ 1,022,652	\$ 1,037,441	\$ 1,101,349	\$ 1,068,758
Expenditures and Other Uses				
Debt Service				
Principal Debt Service - Mandatory	\$ 345,000	\$ -	\$ 345,000	\$ 355,000
Principal Debt Service - Early Redemptions		\$ -	\$ -	\$ -
Interest Expense	\$ 611,610	\$ 305,805	\$ 611,610	\$ 601,260
Other Fees and Charges				
Discounts for Early Payment	\$ 66,812	\$ -	\$ 66,812	\$ 66,906
Total Expenditures and Other Uses	\$ 1,023,422	\$ 305,805	\$ 1,023,422	\$ 1,023,166
Net Increase/(Decrease) in Fund Balance	\$ (2,213)	\$ 731,636	\$ 77,927	\$ 45,592
Fund Balance - Beginning	\$ 836,338	\$ 836,338	\$ 836,338	\$ 914,265
Fund Balance - Ending	\$ 834,125	\$ 1,567,974	\$ 914,265	\$ 959,858

Restricted Fund Balance:

Reserve Account Requirement	\$ 476,850
Restricted for November 1, 2025 Interest Payment	<u>\$ 295,305</u>
Total - Restricted Fund Balance:	<u>\$ 772,155</u>

Product Type	Number of Units	FY 2024 Rate	FY 2025 Rate
Single Family 30' - 39'	108	\$ 1,214.82	\$ 1,214.81
Single Family 40' - 49'	179	\$ 1,290.74	\$ 1,290.74
Single Family 50' - 59'	248	\$ 1,366.67	\$ 1,366.67
Single Family 60' - 69'	140	\$ 1,518.52	\$ 1,518.55
Single Family 70' - 79'	39	\$ 1,670.37	\$ 1,670.39
Single Family 90' & up	24	\$ 1,822.23	\$ 1,822.22
Workforce - Family	0	There are no Debt Assessments on this Product	
Total:	738		

**LT Ranch Community Development District
Debt Service Fund - Series 2019 Bonds**

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
Par Amount Issued:		\$ 16,735,000	Varies			
5/1/2020				\$ 233,201.83		
11/1/2020				\$ 320,430.00	\$ 553,632	\$ 16,735,000
5/1/2021	\$ 315,000	3.00%	\$ 320,430.00			
11/1/2021			\$ 315,705.00	\$ 951,135	\$ 16,420,000	
5/1/2022	\$ 325,000	3.00%	\$ 315,705.00			
11/1/2022			\$ 310,830.00	\$ 951,535	\$ 16,095,000	
5/1/2023	\$ 335,000	3.00%	\$ 310,830.00			
11/1/2023			\$ 305,805.00	\$ 951,635	\$ 15,760,000	
5/1/2024	\$ 345,000	3.00%	\$ 305,805.00			
11/1/2024			\$ 300,630.00	\$ 951,435	\$ 15,415,000	
5/1/2025	\$ 355,000	3.00%	\$ 300,630.00			
11/1/2025			\$ 295,305.00	\$ 950,935	\$ 15,060,000	
5/1/2026	\$ 365,000	3.40%	\$ 295,305.00			
11/1/2026			\$ 289,100.00	\$ 949,405	\$ 14,695,000	
5/1/2027	\$ 380,000	3.40%	\$ 289,100.00			
11/1/2027			\$ 282,640.00	\$ 951,740	\$ 14,315,000	
5/1/2028	\$ 395,000	3.40%	\$ 282,640.00			
11/1/2028			\$ 275,925.00	\$ 953,565	\$ 13,920,000	
5/1/2029	\$ 405,000	3.40%	\$ 275,925.00			
11/1/2029			\$ 269,040.00	\$ 949,965	\$ 13,515,000	
5/1/2030	\$ 420,000	3.40%	\$ 269,040.00			
11/1/2030			\$ 261,900.00	\$ 950,940	\$ 13,095,000	
5/1/2031	\$ 435,000	4.00%	\$ 261,900.00			
11/1/2031			\$ 253,200.00	\$ 950,100	\$ 12,660,000	
5/1/2032	\$ 455,000	4.00%	\$ 253,200.00			
11/1/2032			\$ 244,100.00	\$ 952,300	\$ 12,205,000	
5/1/2033	\$ 475,000	4.00%	\$ 244,100.00			
11/1/2033			\$ 234,600.00	\$ 953,700	\$ 11,730,000	
5/1/2034	\$ 490,000	4.00%	\$ 234,600.00			
11/1/2034			\$ 224,800.00	\$ 949,400	\$ 11,240,000	
5/1/2035	\$ 510,000	4.00%	\$ 224,800.00			
11/1/2035			\$ 214,600.00	\$ 949,400	\$ 10,730,000	
5/1/2036	\$ 535,000	4.00%	\$ 214,600.00			
11/1/2036			\$ 203,900.00	\$ 953,500	\$ 10,195,000	
5/1/2037	\$ 555,000	4.00%	\$ 203,900.00			
11/1/2037			\$ 192,800.00	\$ 951,700	\$ 9,640,000	
5/1/2038	\$ 575,000	4.00%	\$ 192,800.00			
11/1/2038			\$ 181,300.00	\$ 949,100	\$ 9,065,000	
5/1/2039	\$ 600,000	4.00%	\$ 181,300.00			
11/1/2039			\$ 169,300.00	\$ 950,600	\$ 8,465,000	
5/1/2040	\$ 625,000	4.00%	\$ 169,300.00			
11/1/2040			\$ 156,800.00	\$ 951,100	\$ 7,840,000	
5/1/2041	\$ 650,000	4.00%	\$ 156,800.00			
11/1/2041			\$ 143,800.00	\$ 950,600	\$ 7,190,000	
5/1/2042	\$ 675,000	4.00%	\$ 143,800.00			
11/1/2042			\$ 130,300.00	\$ 949,100	\$ 6,515,000	
5/1/2043	\$ 705,000	4.00%	\$ 130,300.00			
11/1/2043			\$ 116,200.00	\$ 951,500	\$ 5,810,000	
5/1/2044	\$ 735,000	4.00%	\$ 116,200.00			
11/1/2044			\$ 101,500.00	\$ 952,700	\$ 5,075,000	
5/1/2045	\$ 765,000	4.00%	\$ 101,500.00			
11/1/2045			\$ 86,200.00	\$ 952,700	\$ 4,310,000	

**LT Ranch Community Development District
Debt Service Fund - Series 2019 Bonds**

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
5/1/2046		\$ 795,000	4.00%	\$ 86,200.00		
11/1/2046				\$ 70,300.00	\$ 951,500	\$ 3,515,000
5/1/2047		\$ 825,000	4.00%	\$ 70,300.00		
11/1/2047				\$ 53,800.00	\$ 949,100	\$ 2,690,000
5/1/2048		\$ 860,000	4.00%	\$ 53,800.00		
11/1/2048				\$ 36,600.00	\$ 950,400	\$ 1,830,000
5/1/2049		\$ 895,000	4.00%	\$ 36,600.00		
11/1/2049				\$ 18,700.00	\$ 950,300	\$ 935,000
5/1/2050		\$ 935,000	4.00%	\$ 18,700.00		

LT Ranch Community Development District
Debt Service Fund - Series 2022-1 (Phase 1 Overlapping Assessment Area) Bonds - Budget
Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget
Revenues and Other Sources				
Carryforward	\$ 68,579	\$ -	\$ -	
Interest Income				
Reserve Account	\$ -	\$ 2,625	\$ 4,500	\$ 4,050
Revenue Account	\$ -	\$ 1	\$ 2	\$ -
Interest Account	\$ -	\$ -	\$ -	\$ -
Prepayment Account	\$ -	\$ -	\$ -	\$ -
Capitalized Interest Account	\$ -	\$ 780	\$ 1,337	\$ -
Special Assessment Revenue				
Special Assessment - On-Roll	\$ 183,003	\$ 179,715	\$ 183,003	\$ 183,003
Special Assessment - Off-Roll	\$ -	\$ -	\$ -	\$ -
Special Assessment - Prepayment	\$ -	\$ -	\$ -	\$ -
Debt Proceeds				
Reserve Account Deposit	\$ -	\$ -	\$ -	\$ -
Capitalized Interest thru 11/1/2024	\$ -	\$ -	\$ -	\$ -
Total Revenue & Other Sources	\$ 251,582	\$ 183,120	\$ 188,841	\$ 187,053
Expenditures and Other Uses				
Debt Service				
Principal Debt Service - Mandatory	\$ 30,000	\$ -	\$ 30,000	\$ 35,000
Principal Debt Service - Early Redemptions		\$ -	\$ -	
Interest Expense	\$ 137,158	\$ 68,579	\$ 51,815	\$ 135,598
Other Fees and Charges				
Discounts for Early Payment	\$ 8,078	\$ -	\$ 8,078	\$ 8,078
Total Expenditures and Other Uses	\$ 175,236	\$ 68,579	\$ 89,893	\$ 178,676
Net Increase/(Decrease) in Fund Balance	\$ 76,346	\$ 114,542	\$ 98,948	\$ 8,377
Fund Balance - Beginning	\$ 178,975	\$ 178,975	\$ 178,975	\$ 277,923
Fund Balance - Ending	\$ 984,675	\$ 293,516	\$ 277,923	\$ 286,300

Restricted Fund Balance:

Reserve Account Requirement	\$ -
Restricted for November 1, 2025 Interest Payment	\$ 66,889
Total - Restricted Fund Balance:	\$ 66,889

Product Type	Number of Units	Rate	Rate
Single Family 30' - 39'	22	\$ -	\$ 898.17
Single Family 40' - 49'	0	\$ -	\$ -
Single Family 50' - 59'	78	\$ -	\$ 1,010.45
Single Family 60' - 69'	62	\$ -	\$ 1,122.72
Single Family 70' - 79'	12	\$ -	\$ 1,234.99
Single Family 90' & up	0	\$ -	\$ -
Workforce - Family	0	No Assessments on Workforce	
Total:	174		

LT Ranch Community Development District
Debt Service Fund - Series 2022-1 (Phase 1 Overlapping Assessment Area) Bonds

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
Par Amount Issued:		\$ 2,380,000	Varies			
5/1/2023				\$ 51,815.06		
11/1/2023				\$ 68,578.75	\$ 120,394	\$ 2,380,000
5/1/2024	\$ 30,000		5.20%	\$ 68,578.75		
11/1/2024				\$ 67,798.75	\$ 166,378	\$ 2,350,000
5/1/2025	\$ 35,000		5.20%	\$ 67,798.75		
11/1/2025				\$ 66,888.75	\$ 169,688	\$ 2,315,000
5/1/2026	\$ 35,000		5.20%	\$ 66,888.75		
11/1/2026				\$ 65,978.75	\$ 167,868	\$ 2,280,000
5/1/2027	\$ 35,000		5.20%	\$ 65,978.75		
11/1/2027				\$ 65,068.75	\$ 166,048	\$ 2,245,000
5/1/2028	\$ 40,000		5.30%	\$ 65,068.75		
11/1/2028				\$ 64,008.75	\$ 169,078	\$ 2,205,000
5/1/2029	\$ 40,000		5.30%	\$ 64,008.75		
11/1/2029				\$ 62,948.75	\$ 166,958	\$ 2,165,000
5/1/2030	\$ 45,000		5.30%	\$ 62,948.75		
11/1/2030				\$ 61,756.25	\$ 169,705	\$ 2,120,000
5/1/2031	\$ 45,000		5.30%	\$ 61,756.25		
11/1/2031				\$ 60,563.75	\$ 167,320	\$ 2,075,000
5/1/2032	\$ 50,000		5.30%	\$ 60,563.75		
11/1/2032				\$ 59,238.75	\$ 169,803	\$ 2,025,000
5/1/2033	\$ 50,000		5.75%	\$ 59,238.75		
11/1/2033				\$ 57,801.25	\$ 167,040	\$ 1,975,000
5/1/2034	\$ 55,000		5.75%	\$ 57,801.25		
11/1/2034				\$ 56,220.00	\$ 169,021	\$ 1,920,000
5/1/2035	\$ 55,000		5.75%	\$ 56,220.00		
11/1/2035				\$ 54,638.75	\$ 165,859	\$ 1,865,000
5/1/2036	\$ 60,000		5.75%	\$ 54,638.75		
11/1/2036				\$ 52,913.75	\$ 167,553	\$ 1,805,000
5/1/2037	\$ 65,000		5.75%	\$ 52,913.75		
11/1/2037				\$ 51,045.00	\$ 168,959	\$ 1,740,000
5/1/2038	\$ 70,000		5.75%	\$ 51,045.00		
11/1/2038				\$ 49,032.50	\$ 170,078	\$ 1,670,000
5/1/2039	\$ 70,000		5.75%	\$ 49,032.50		
11/1/2039				\$ 47,020.00	\$ 166,053	\$ 1,600,000
5/1/2040	\$ 75,000		5.75%	\$ 47,020.00		
11/1/2040				\$ 44,863.75	\$ 166,884	\$ 1,525,000
5/1/2041	\$ 80,000		5.75%	\$ 44,863.75		
11/1/2041				\$ 42,563.75	\$ 167,428	\$ 1,445,000
5/1/2042	\$ 85,000		5.75%	\$ 42,563.75		
11/1/2042				\$ 40,120.00	\$ 167,684	\$ 1,360,000
5/1/2043	\$ 90,000		5.90%	\$ 40,120.00		
11/1/2043				\$ 37,465.00	\$ 167,585	\$ 1,270,000
5/1/2044	\$ 95,000		5.90%	\$ 37,465.00		
11/1/2044				\$ 34,662.50	\$ 167,128	\$ 1,175,000
5/1/2045	\$ 100,000		5.90%	\$ 34,662.50		
11/1/2045				\$ 31,712.50	\$ 166,375	\$ 1,075,000
5/1/2046	\$ 110,000		5.90%	\$ 31,712.50		
11/1/2046				\$ 28,467.50	\$ 170,180	\$ 965,000
5/1/2047	\$ 115,000		5.90%	\$ 28,467.50		
11/1/2047				\$ 25,075.00	\$ 168,543	\$ 850,000

LT Ranch Community Development District
Debt Service Fund - Series 2022-1 (Phase 1 Overlapping Assessment Area) Bonds

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
5/1/2048		\$ 120,000	5.90%	\$ 25,075.00		
11/1/2048				\$ 21,535.00	\$ 166,610	\$ 730,000
5/1/2049	\$ 130,000		5.90%	\$ 21,535.00		
11/1/2049				\$ 17,700.00	\$ 169,235	\$ 600,000
5/1/2050	\$ 135,000		5.90%	\$ 17,700.00		
11/1/2050				\$ 13,717.50	\$ 166,418	\$ 465,000
5/1/2051	\$ 145,000		5.90%	\$ 13,717.50		
11/1/2051				\$ 9,440.00	\$ 168,158	\$ 320,000
5/1/2052	\$ 155,000		5.90%	\$ 9,440.00		
11/1/2052				\$ 4,867.50	\$ 169,308	\$ 165,000
5/1/2053	\$ 165,000		5.90%	\$ 4,867.50		

LT Ranch Community Development District
Debt Service Fund - Series 2022-IIA (Phase IIA Assessment Area) Bonds - Budget
Fiscal Year 2025

Description	Fiscal Year 2024 Budget	Actual at 04/30/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget
Revenues and Other Sources				
Carryforward	\$ 367,573	\$ -	\$ -	\$ -
Interest Income				
Reserve Account	\$ -	\$ 14,166	\$ 24,284	\$ 21,855
Revenue Account	\$ -	\$ 7	\$ 12	\$ -
Interest Account	\$ -	\$ -	\$ -	\$ -
Prepayment Account	\$ -	\$ -	\$ -	\$ -
Capitalized Interest Account	\$ -	\$ 4,051	\$ 6,945	\$ 6,250
Special Assessment Revenue				
Special Assessment - On-Roll	\$ 987,516	\$ 945,966	\$ 987,516	\$ 987,516
Special Assessment - Off-Roll	\$ -	\$ -	\$ -	\$ -
Special Assessment - Prepayment	\$ -	\$ -	\$ -	\$ -
Debt Proceeds				
Reserve Account Deposit	\$ -	\$ -	\$ -	\$ -
Capitalized Interest thru 11/1/2024	\$ -	\$ -	\$ -	\$ -
Total Revenue & Other Sources	\$ 1,355,088	\$ 964,190	\$ 1,018,756	\$ 1,015,621
Expenditures and Other Uses				
Debt Service				
Principal Debt Service - Mandatory	\$ 185,000	\$ -	\$ 185,000	\$ 195,000
Principal Debt Service - Early Redemptions	\$ -	\$ -	\$ -	\$ -
Interest Expense	\$ 735,145	\$ 367,573	\$ 277,721	\$ 725,895
Other Fees and Charges				
Discounts for Early Payment	\$ 65,832	\$ -	\$ 65,832	\$ 65,832
Total Expenditures and Other Uses	\$ 985,977	\$ 367,573	\$ 528,553	\$ 986,727
Net Increase/(Decrease) in Fund Balance	\$ 369,111	\$ 596,617	\$ 490,203	\$ 28,894
Fund Balance - Beginning	\$ 922,335	\$ 922,335	\$ 922,335	\$ 1,412,538
Fund Balance - Ending	\$ 1,291,446	\$ 1,518,952	\$ 1,412,538	\$ 1,441,432
Restricted Fund Balance:				
Reserve Account Requirement			\$ -	
Restricted for November 1, 2025 Interest Payment			\$ 358,073	
Total - Restricted Fund Balance:			\$ 358,073	

LT Ranch Community Development District
Debt Service Fund - Series 2022-2 (Phase IIA Assessment Area) Bonds

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
Par Amount Issued:		\$ 13,280,000	Varies			
5/1/2023				\$ 277,721.44		
11/1/2023				\$ 367,572.50	\$ 640,669	\$ 13,280,000
5/1/2024	\$ 185,000		5.00%	\$ 367,572.50		
11/1/2024				\$ 362,947.50	\$ 906,020	\$ 13,095,000
5/1/2025	\$ 195,000		5.00%	\$ 362,947.50		
11/1/2025				\$ 358,072.50	\$ 906,020	\$ 12,900,000
5/1/2026	\$ 205,000		5.00%	\$ 358,072.50		
11/1/2026				\$ 352,947.50	\$ 905,520	\$ 12,695,000
5/1/2027	\$ 215,000		5.00%	\$ 352,947.50		
11/1/2027				\$ 347,572.50	\$ 904,520	\$ 12,480,000
5/1/2028	\$ 225,000		5.00%	\$ 347,572.50		
11/1/2028				\$ 341,947.50	\$ 903,020	\$ 12,255,000
5/1/2029	\$ 235,000		5.00%	\$ 341,947.50		
11/1/2029				\$ 336,072.50	\$ 900,895	\$ 12,020,000
5/1/2030	\$ 250,000		5.00%	\$ 336,072.50		
11/1/2030				\$ 329,822.50	\$ 903,145	\$ 11,770,000
5/1/2031	\$ 260,000		5.00%	\$ 329,822.50		
11/1/2031				\$ 323,322.50	\$ 899,770	\$ 11,510,000
5/1/2032	\$ 275,000		5.00%	\$ 323,322.50		
11/1/2032				\$ 316,447.50	\$ 899,920	\$ 11,235,000
5/1/2033	\$ 290,000		5.50%	\$ 316,447.50		
11/1/2033				\$ 308,472.50	\$ 898,558	\$ 10,945,000
5/1/2034	\$ 305,000		5.50%	\$ 308,472.50		
11/1/2034				\$ 300,085.00	\$ 896,233	\$ 10,640,000
5/1/2035	\$ 325,000		5.50%	\$ 300,085.00		
11/1/2035				\$ 291,147.50	\$ 897,945	\$ 10,315,000
5/1/2036	\$ 340,000		5.50%	\$ 291,147.50		
11/1/2036				\$ 281,797.50	\$ 893,695	\$ 9,975,000
5/1/2037	\$ 360,000		5.50%	\$ 281,797.50		
11/1/2037				\$ 271,897.50	\$ 893,345	\$ 9,615,000
5/1/2038	\$ 380,000		5.50%	\$ 271,897.50		
11/1/2038				\$ 261,447.50	\$ 911,895	\$ 9,235,000
5/1/2039	\$ 400,000		5.50%	\$ 261,447.50		
11/1/2039				\$ 250,447.50	\$ 914,208	\$ 8,835,000
5/1/2040	\$ 425,000		5.50%	\$ 250,447.50		
11/1/2040				\$ 238,760.00	\$ 915,145	\$ 8,410,000
5/1/2041	\$ 450,000		5.50%	\$ 238,760.00		
11/1/2041				\$ 226,385.00	\$ 914,708	\$ 7,960,000
5/1/2042	\$ 475,000		5.50%	\$ 226,385.00		
11/1/2042				\$ 213,322.50	\$ 912,395	\$ 7,485,000
5/1/2043	\$ 500,000		5.70%	\$ 213,322.50		
11/1/2043				\$ 199,072.00	\$ 917,897	\$ 6,985,000
5/1/2044	\$ 535,000		5.70%	\$ 199,072.00		
11/1/2044				\$ 183,825.00	\$ 916,548	\$ 6,450,000
5/1/2045	\$ 565,000		5.70%	\$ 183,825.00		
11/1/2045				\$ 167,722.50	\$ 918,345	\$ 5,885,000
5/1/2046	\$ 600,000		5.70%	\$ 167,722.50		
11/1/2046				\$ 150,622.50	\$ 918,148	\$ 5,285,000
5/1/2047	\$ 635,000		5.70%	\$ 150,622.50		
11/1/2047				\$ 132,525.00	\$ 915,955	\$ 4,650,000

**LT Ranch Community Development District
Debt Service Fund - Series 2022-2 (Phase IIA Assessment Area) Bonds**

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
5/1/2048		\$ 670,000	5.70%	\$ 132,525.00		
11/1/2048				\$ 113,430.00	\$ 916,625	\$ 3,980,000
5/1/2049		\$ 710,000	5.70%	\$ 113,430.00		
11/1/2049				\$ 93,195.00	\$ 915,015	\$ 3,270,000
5/1/2050		\$ 750,000	5.70%	\$ 93,195.00		
11/1/2050				\$ 71,820.00	\$ 911,125	\$ 2,520,000
5/1/2051		\$ 790,000	5.70%	\$ 71,820.00		
11/1/2051				\$ 49,305.00	\$ 914,670	\$ 1,730,000
5/1/2052		\$ 840,000	5.70%	\$ 49,305.00		
11/1/2052				\$ 25,365.00	\$ 915,365	\$ 890,000
5/1/2053		\$ 890,000	5.70%	\$ 25,365.00		

**LT Ranch Community Development District
Debt Service Fund - Series 2024
Fiscal Year 2025**

Description	Fiscal Year 2024 Budget	Actual at 05/10/2024	Anticipated Year End 09/30/2024	Fiscal Year 2025 Budget
Revenues and Other Sources				
Carryforward	\$ -	\$ -	\$ -	\$ 204,473
Interest Income				
Reserve Account	\$ -	\$ -	\$ -	\$ -
Revenue Account	\$ -	\$ -	\$ -	\$ -
Interest Account	\$ -	\$ -	\$ -	\$ -
Prepayment Account	\$ -	\$ -	\$ -	\$ -
Capitalized Interest Account		\$ -	\$ -	\$ -
Special Assessment Revenue				
Special Assessment - On-Roll	\$ -	\$ -	\$ -	\$ 575,619
Special Assessment - Off-Roll	\$ -	\$ -	\$ -	\$ -
Special Assessment - Prepayment	\$ -	\$ -	\$ -	\$ -
Debt Proceeds				
Reserve Account Deposit	\$ -	\$ 268,961	\$ 268,961	\$ -
Capitalized Interest thru 11/1/2024	\$ -	\$ 204,473	\$ 204,473	\$ -
Total Revenue & Other Sources	\$ -	\$ 473,434	\$ 473,434	\$ 780,092
Expenditures and Other Uses				
Debt Service				
Principal Debt Service - Mandatory	\$ -	\$ -	\$ -	\$ 110,000
Principal Debt Service - Early Redemptions		\$ -	\$ -	
Interest Expense	\$ -	\$ -	\$ -	\$ 419,708
Other Fees and Charges				
Discounts for Early Payment	\$ -	\$ -	\$ -	\$ 37,080
Total Expenditures and Other Uses	\$ -	\$ -	\$ -	\$ 566,788
Net Increase/(Decrease) in Fund Balance	\$ -	\$ 473,434	\$ 473,434	\$ 213,304
Fund Balance - Beginning	\$ -	\$ -	\$ -	\$ 473,434
Fund Balance - Ending	\$ -	\$ 473,434	\$ 473,434	\$ 686,738

Restricted Fund Balance:

Reserve Account Requirement	\$ 268,961
Restricted for November 1, 2025 Interest Payment	\$ 212,678
Total - Restricted Fund Balance:	\$ 481,638

Description of Product Type	FY 2024	FY 2025
Single Family 30' - 39'	\$ -	\$ -
Single Family 40' - 49'	\$ -	\$ 2,820.85
Single Family 50' - 59'	\$ -	\$ 2,986.78
Single Family 60' - 69'	\$ -	\$ -
Single Family 70' - 79'	\$ -	\$ -
Single Family 90' and up	\$ -	\$ -
Workforce - Multi Family (5)	\$ -	\$ -

**LT Ranch Community Development District
Debt Service Fund - Series 2024 Bonds**

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
Par Amount Issued:		\$ 7,705,000	Varies			
11/1/2024				\$ 204,473.25	\$ 204,473	\$ 7,705,000
5/1/2025		\$ 110,000	4.65%	\$ 215,235.00		
11/1/2025				\$ 212,677.50	\$ 532,681	\$ 7,595,000
5/1/2026		\$ 115,000	4.65%	\$ 212,677.50		
11/1/2026				\$ 210,003.75	\$ 532,218	\$ 7,480,000
5/1/2027		\$ 120,000	4.65%	\$ 210,003.75		
11/1/2027				\$ 207,213.75	\$ 531,521	\$ 7,360,000
5/1/2028		\$ 125,000	4.65%	\$ 207,213.75		
11/1/2028				\$ 204,307.50	\$ 530,593	\$ 7,235,000
5/1/2029		\$ 130,000	4.65%	\$ 204,307.50		
11/1/2029				\$ 201,285.00	\$ 529,431	\$ 7,105,000
5/1/2030		\$ 135,000	4.65%	\$ 201,285.00		
11/1/2030				\$ 198,146.25	\$ 527,921	\$ 6,970,000
5/1/2031		\$ 145,000	4.65%	\$ 198,146.25		
11/1/2031				\$ 194,775.00	\$ 530,425	\$ 6,825,000
5/1/2032		\$ 150,000	5.50%	\$ 194,775.00		
11/1/2032				\$ 190,650.00	\$ 526,900	\$ 6,675,000
5/1/2033		\$ 160,000	5.50%	\$ 190,650.00		
11/1/2033				\$ 186,250.00	\$ 527,825	\$ 6,515,000
5/1/2034		\$ 170,000	5.50%	\$ 186,250.00		
11/1/2034				\$ 181,575.00	\$ 528,338	\$ 6,345,000
5/1/2035		\$ 175,000	5.50%	\$ 181,575.00		
11/1/2035				\$ 176,762.50	\$ 523,438	\$ 6,170,000
5/1/2036		\$ 185,000	5.50%	\$ 176,762.50		
11/1/2036				\$ 171,675.00	\$ 522,850	\$ 5,985,000
5/1/2037		\$ 200,000	5.50%	\$ 171,675.00		
11/1/2037				\$ 166,175.00	\$ 526,575	\$ 5,785,000
5/1/2038		\$ 210,000	5.50%	\$ 166,175.00		
11/1/2038				\$ 160,400.00	\$ 534,750	\$ 5,575,000
5/1/2039		\$ 220,000	5.50%	\$ 160,400.00		
11/1/2039				\$ 154,350.00	\$ 537,238	\$ 5,355,000
5/1/2040		\$ 235,000	5.50%	\$ 154,350.00		
11/1/2040				\$ 147,887.50	\$ 534,038	\$ 5,120,000
5/1/2041		\$ 245,000	5.50%	\$ 147,887.50		
11/1/2041				\$ 141,150.00	\$ 535,150	\$ 4,875,000
5/1/2042		\$ 260,000	5.50%	\$ 141,150.00		
11/1/2042				\$ 134,000.00	\$ 535,438	\$ 4,615,000
5/1/2043		\$ 275,000	5.50%	\$ 134,000.00		
11/1/2043				\$ 126,437.50	\$ 534,900	\$ 4,340,000
5/1/2044		\$ 290,000	5.50%	\$ 126,437.50		
11/1/2044				\$ 118,462.50	\$ 533,004	\$ 4,050,000
5/1/2045		\$ 305,000	5.85%	\$ 118,462.50		
11/1/2045				\$ 109,541.25	\$ 534,576	\$ 3,745,000
5/1/2046		\$ 325,000	5.85%	\$ 109,541.25		
11/1/2046				\$ 100,035.00	\$ 534,979	\$ 3,420,000
5/1/2047		\$ 345,000	5.85%	\$ 100,035.00		
11/1/2047				\$ 89,943.75	\$ 534,211	\$ 3,075,000
5/1/2048		\$ 365,000	5.85%	\$ 89,943.75		
11/1/2048				\$ 79,267.50	\$ 537,128	\$ 2,710,000
5/1/2049		\$ 390,000	5.85%	\$ 79,267.50		

**LT Ranch Community Development District
Debt Service Fund - Series 2024 Bonds**

Description	Principal Prepayments	Principal	Coupon Rate	Interest	Annual Debt Service	Par Outstanding
11/1/2049				\$ 67,860.00	\$ 533,728	\$ 2,320,000
5/1/2050	\$	410,000	5.85%	\$ 67,860.00		
11/1/2050				\$ 55,867.50	\$ 534,011	\$ 1,910,000
5/1/2051	\$	435,000	5.85%	\$ 55,867.50		
11/1/2051				\$ 43,143.75	\$ 537,686	\$ 1,475,000
5/1/2052	\$	465,000	5.85%	\$ 43,143.75		
11/1/2052				\$ 29,542.50	\$ 519,543	\$ 1,010,000
5/1/2053	\$	490,000	5.85%	\$ 29,542.50		
11/1/2053				\$ 15,210.00	\$ 535,210	\$ 520,000
5/1/2054	\$	520,000	5.85%	\$ 15,210.00		
11/1/2054				\$ -	\$ -	\$ -

RESOLUTION 2024-16

[MAXIMUM O&M ASSESSMENT RATE – PHASE 5]

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT AMENDING RESOLUTION 2023-21 TO ESTABLISH THE MAXIMUM OPERATION AND MAINTENANCE ASSESSMENT RATE FOR A PORTION OF THE DISTRICT COMMONLY KNOWN AS PHASE V FOR NOTICE PURPOSES ONLY; PROVIDING FOR CONFLICTS, SEVERABILITY AND AN EFFECTIVE DATE.

RECITALS

WHEREAS, the LT Ranch Community Development District (the “**District**”) is a local unit of special-purpose government established pursuant to Chapter 190, Florida Statutes for the purpose of providing, operating and maintaining infrastructure improvements, facilities and services to the lands within the District; and

WHEREAS, the District has constructed or acquired various infrastructure improvements and provides certain services in accordance with the District’s adopted Improvement Plan and Chapter 190, Florida Statutes; and

WHEREAS, pursuant to Section 197.3632(4)(a)2., and only after providing public notice and conducting a public hearing, the District adopted Resolution 2023-21 and in doing so established the maximum operations and maintenance assessments (“**O&M Assessments**”) for the portions of the District more commonly known as Phases One (1) through Four (4); and

WHEREAS, the District now desires to amend Resolution 2023-21 and in order to memorialize the maximum O&M Assessment rate (“**Cap Rate**”) for the lands within the District known as Phase Five (5); and

WHEREAS, the District must obtain sufficient funds to provide for the annual operation and maintenance of the services and facilities provided by the District, as well as its annual administrative expenses, on an ongoing basis; and

WHEREAS, the provision of such services, facilities, and operations is a benefit to lands within the district; and

WHEREAS, Chapter 190, Florida Statutes, provides that the District may impose special assessments on benefitted lands within the District; and

WHEREAS, notices of the District’s Fiscal Year 2025 annual budget hearing and related assessment hearing were provided in accordance with law (“**Notices**”); and

WHEREAS, said Notices provided that the assessment the District contemplated levying for annual operations and maintenance is shown on **Exhibit “A”** attached hereto and made a part hereof; and

RESOLUTION 2024-16

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT ESTABLISHING AN OPERATION AND MAINTENANCE ASSESSMENT CAP FOR NOTICE PURPOSES ONLY.

WHEREAS, on July 9, 2024, the Board of Supervisors conducted the public hearings referenced in the Notices; and

WHEREAS, on July 9, 2024, the Board of Supervisors determined that the Fiscal Year 2025 O&M Assessment would be levied in the amount noted above; and

WHEREAS, on July 9, 2024, the Board of Supervisors also determined that the expenses associated with providing notices of a future O&M Assessments as shown on **Exhibit "A"** would diminish the revenue the District would receive by virtue of the slightly increased assessments; and

WHEREAS, on July 9, 2024, the District's Board of Supervisors also determined that it would be financially advantageous for the District, and consequently the landowners paying assessments, if the District adopted a Cap Rate as shown on **Exhibit "A"** for notice purposes only; and

WHEREAS, this adoption of an O&M Assessment Cap Rate for notice purposes only will eliminate the expenses associated with publishing notice and mailing individual notices of future years' annual O&M Assessments which are levied in an amount less than the amounts shown on **Exhibit "A"**; and

WHEREAS, if the future, anticipated, annual O&M Assessments are projected to exceed the Cap Rate shown on **Exhibit "A"**, the District Manager shall provide all notices required by law in the absence of this resolution; and

WHEREAS, it is in the best interests of the District and its landowners to approve the Cap Rate as shown on **Exhibit "A"** for notices purposes only.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. OPERATIONS AND MAINTENANCE ASSESSMENT CAP FOR NOTICE PURPOSES ONLY.

- a. Pursuant to Section 197.3632(4)(a)2., Florida Statutes, the District hereby adopts the O&M Assessment Cap Rate in the amounts shown on **Exhibit "A"** for notice purposes only.
- b. If the future, anticipated, annual O&M Assessments are projected to exceed the Cap Rate, or any of the other criteria set forth in Section 197.3632(4)(a), Florida Statutes are met, the District Manager shall publish and mail all notices required by law.
- c. Nothing contained in this Resolution shall prevent or prohibit the District from adopting an O&M Assessment that exceeds the Cap Rate, nor shall it be construed as a waiver of the District's right to do so. Additionally, the District reserves the right to meet any notice requirements through any other applicable provisions of Florida law (i.e., other than Chapter 197, Florida Statutes).

RESOLUTION 2024-16

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT ESTABLISHING AN OPERATION AND MAINTENANCE ASSESSMENT CAP FOR NOTICE PURPOSES ONLY.

- d. Nothing contained in this Resolution shall relieve the District Manager of the responsibility of publishing the notice of the annual budget hearing, as required by section 190.008, Florida Statutes.

SECTION 2. SEVERABILITY. The invalidity or unenforceability of any one or more provisions of this Resolution shall not affect the validity or enforceability of the remaining portions of this Resolution, or any part thereof.

SECTION 3. CONFLICTS. This Resolution shall supersede all prior actions of the District that may conflict with the action described herein. Resolution 2023-21 shall continue to be in full force and effect, and is amended simply to expand Resolution 2023-21 to apply also to the Phase 5 lands within the District.

SECTION 4. EFFECTIVE DATE. This Resolution shall take effect upon the passage and adoption of this Resolution by the Board of Supervisors of the LT Ranch Community Development District.

PASSED AND ADOPTED by the Board of Supervisors of the LT Ranch Community Development District, Sarasota County, Florida, this 9th day of July 2024.

ATTEST:

LT RANCH COMMUNITY DEVELOPMENT DISTRICT

James P. Ward, Secretary

John Wollard, Chairman

RESOLUTION 2024-16

**A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE LT RANCH
COMMUNITY DEVELOPMENT DISTRICT ESTABLISHING AN OPERATION
AND MAINTENANCE ASSESSMENT CAP FOR NOTICE PURPOSES ONLY.**

EXHIBIT A

PRODUCT TYPE	CAP Rate
Single Family 30' – 39'	\$ 2,407.12
Single Family 40' – 49'	\$ 2,557.56
Single Family 50' – 59'	\$ 2,708.01
Single Family 60' – 69'	\$ 3,008.90
Single Family 70' – 79'	\$ 3,309.79
Single Family 90' & up	\$ 3,610.68
Workforce - Family	\$ 2,106.23

RESOLUTION 2024-17

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT DESIGNATING DATES, TIME, AND LOCATION FOR REGULAR MEETINGS OF THE BOARD OF SUPERVISORS OF THE DISTRICT; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY AND PROVIDING AN EFFECTIVE DATE.

RECITALS

WHEREAS, the LT Ranch Community Development District (the “District”) is a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes* for the purpose of providing, operating, and maintaining infrastructure improvements, facilities, and services to the lands within the District; and

WHEREAS, in accordance with the provisions of Chapter 189.415, *Florida Statutes*, the District is required to file quarterly, semiannually, or annually a schedule of its regular meetings with the local governing authority or authorities; and

WHEREAS, in accordance with the above referenced Statute, the District shall also publish quarterly, semiannually, or annually its regular meeting schedule in a newspaper of general paid circulation in the County in which the District is located and shall appear in the legal notices section of the classified advertisements.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. DESIGNATION OF DATES, TIME, AND LOCATION OF REGULAR MEETINGS.

- a) **Date:** The second Tuesday of each month for Fiscal Year 2025, which covers the period October 1, 2024 through September 30, 2025.

October 8, 2024	November 12, 2024 – Landowners Election
December 10, 2024	January 14, 2025
February 11, 2025	March 11, 2025
April 8, 2025	May 13, 2025
June 10, 2025	July 8, 2025
August 12, 2025	September 9, 2025

- b) **Time:** 1:00 P.M. (Eastern Standard Time)
- c) **Location:** Offices of Taylor Morrison
551 Cattlemen Road - Suite 200
Sarasota, Florida 34232

SECTION 2. SUNSHINE LAW AND MEETING CANCELATIONS AND CONTINUATIONS. The meetings of the Board of Supervisors are open to the public and will be conducted in accordance with the provisions of Florida Law for Community Development Districts. The District by and through its District

RESOLUTION 2024-17

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT DESIGNATING DATES, TIME, AND LOCATION FOR REGULAR MEETINGS OF THE BOARD OF SUPERVISORS OF THE DISTRICT; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY AND PROVIDING AN EFFECTIVE DATE.

Manager may cancel any meeting of the Board of Supervisors and all meetings may be continued to a date, time, and place to be specified on the record at the hearings or meeting.

SECTION 3. CONFLICT. That all Sections or parts of Sections of any Resolutions, Agreements, or actions of the Board of Supervisors in conflict are hereby repealed to the extent of such conflict.

SECTION 4. SEVERABILITY. The invalidity or unenforceability of any one or more provisions of this Resolution shall not affect the validity or enforceability of the remaining portions of this Resolution, or any part thereof.

SECTION 5. EFFECTIVE DATE. This Resolution shall take effect upon the passage and adoption of this Resolution by the Board of Supervisors of the LT Ranch Community Development District.

PASSED AND ADOPTED by the Board of Supervisors of the LT Ranch Community Development District, Sarasota County, Florida, this 8th day of August 2023.

ATTEST:

**LT RANCH COMMUNITY DEVELOPMENT
DISTRICT**

James P. Ward, Secretary

Christy Zelaya, Vice-Chairperson

RESOLUTION 2024-18

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT RATIFYING, CONFIRMING, AND APPROVING THE SALE OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT CAPITAL IMPROVEMENT REVENUE BONDS, SERIES 2024; RATIFYING, CONFIRMING, AND APPROVING THE ACTIONS OF THE CHAIRMAN, VICE CHAIRMAN, TREASURER, SECRETARY, ASSISTANT SECRETARIES, AND ALL DISTRICT STAFF REGARDING THE SALE AND CLOSING OF THE BONDS; DETERMINING SUCH ACTIONS AS BEING IN ACCORDANCE WITH THE AUTHORIZATION GRANTED BY THE BOARD; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the LT Ranch Community Development District (“District”), is a local unit of special-purpose government created and existing pursuant to Chapter 190, *Florida Statutes*; and

WHEREAS, the District previously adopted resolutions authorizing the issuance and the negotiated sale of bonds within the scope of Chapter 190, *Florida Statutes*, including its Capital Improvement Revenue Bonds, Series 2024 (Phase IIB Assessment Area), in the par amount of \$7,705,000 (“Series 2024 Bonds”); and

WHEREAS, the District previously adopted a resolution authorizing the finalization of the debt assessment lien securing the Series 2024 Bonds, including but not limited to authorization to finalize the supplemental engineer’s report and supplemental assessment report; and

WHEREAS, the District closed on the sale of the Series 2024 Bonds on May 10, 2024; and

WHEREAS, as prerequisites to the issuance of the Series 2024 Bonds, the Chairman, Vice Chairman, Treasurer, Assistant Secretaries, and District Staff including the District Manager, District Financial Advisor, and District Counsel were required to execute and deliver various documents (“Closing Documents”); and

WHEREAS, the District desires to ratify, confirm, and approve all actions of the District Chairman, Vice Chairman, Treasurer, Assistant Secretaries, and District Staff in connection with closing the sale of the Series 2024 Bonds.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. The sale, issuance, and closing of the Series 2024 Bonds is in the best interests of the District.

SECTION 2. The issuance and sale of the Series 2024 Bonds, the adoption of resolutions relating to such bonds, the agreements entered into with respect to the issuance of such bonds, and all actions taken in the furtherance of the closing on such bonds, are hereby declared and

affirmed as being in the best interests of the District and are hereby ratified, approved, and confirmed.

SECTION 3. The actions of the Chairman, Vice Chairman, Treasurer, Secretary, Assistant Secretaries, and all District Staff in finalizing the closing and issuance of the Series 2024 Bonds, including but not limited to: (1) the execution and delivery of the Closing Documents, (2) the exercise of all authority granted pursuant to Resolution 2024-6 which authorized the issuance of the Bonds, (3) the exercise of all authority pursuant to, and finalization of, Resolution 2024-7 which confirmed the maximum assessment lien securing the Bonds, and (4) the execution and delivery of such other certifications or other documents required for the closing on the Series 2024 Bonds, are determined to be in accordance with the prior authorizations of the Board and are hereby ratified, approved, and confirmed in all respects, and Resolutions 2024-6 and 2024-7 on file with the District Manager and as included in the transcript for the Series 2024 Bonds are hereby determined to be in final form.

SECTION 4. If any provision of this Resolution is held to be illegal or invalid, the other provisions shall remain in full force and effect.

SECTION 5. This Resolution shall become effective upon its passage and shall remain in effect unless rescinded or repealed.

PASSED AND ADOPTED this 9th day of July 2024.

ATTEST:

LT RANCH COMMUNITY DEVELOPMENT DISTRICT

James P. Ward, Secretary

John Wollard, Chairperson

RESOLUTION 2024-19

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT CONFIRMING AND APPROVING THE ACTIONS OF THE CHAIRMAN AND DISTRICT STAFF REGARDING THE ACQUISITION OF CERTAIN NEIGHBORHOOD FOUR SOUTH, NEIGHBORHOOD FIVE AND NEIGHBORHOOD THREE PHASE 5 STORMWATER IMPROVEMENTS; AND ADDRESSING SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the LT Ranch Community Development District ("District") is a local unit of special-purpose government created and existing pursuant to Chapter 190, *Florida Statutes* ("Act"); and

WHEREAS, the Act authorizes the District to construct, acquire, operate, and maintain public infrastructure improvements; and

WHEREAS, the District has adopted an improvement plan for the planning, design, acquisition, construction, and installation of certain infrastructure improvements, facilities, and services within and without the boundaries of the District and specifically relating to the area known as Neighborhood Four South, Neighborhood Five, and Neighborhood Three Phase Five, which plan is detailed in the *Master Engineer's Report*, dated April 2019, as revised November 6, 2019, as supplemented by the *2024 Project Supplement to the Master Engineer's Report*, dated February 2024 ("Capital Improvement Program"); and

WHEREAS, the District has authorized an *Acquisition Agreement*, dated October 1, 2019, with Taylor Morrison of Florida, Inc. ("Developer") as amended, which sets forth the process by which the District may acquire the improvements comprising the Capital Improvement Program; and

WHEREAS, the Developer has advanced, funded, commenced, and completed certain Neighborhood Four South, Neighborhood Five, and Neighborhood Three Phase 5 stormwater improvements depicted in **Exhibit A** ("Improvements"); and

WHEREAS, the District desires to confirm and approve all actions of the District Chairman and District Staff regarding the acquisition of the Improvements.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. The acquisition of the Improvements, the execution of documents relating to such acquisition of the Improvements, and all actions taken in the furtherance of the acquisition of the Improvements, are hereby declared and affirmed as being in the best interests of the District and are hereby approved and confirmed by the Board.

SECTION 2. If any provision of this Resolution is held to be illegal or invalid, the other provisions shall remain in full force and effect.

PASSED AND ADOPTED this 9th day of July 2024.

ATTEST:

**LT RANCH COMMUNITY DEVELOPMENT
DISTRICT**

James P. Ward, Secretary

John Wollard, Chairperson

Exhibit A: Neighborhood Four South, Neighborhood Five, and Neighborhood Three Phase Five Stormwater Improvements Acquisition Package

AUTHORIZING ADDENDUM #7- Skye Ranch - 1
TO
MASTER LAND DEVELOPMENT SERVICES AGREEMENT

TAYLOR MORRISON:
Taylor Morrison of Florida INC, a Florida corporation

CONTRACTOR:
DNA Partners, LLC, DBA C&M Road Builders, a Florida limited liability company

Job Code: 14280400
Land DEV PO: 14280400-4090

NOTICE TO PROCEED DATE: 07/31/2023
SUBSTANTIAL COMPLETION DATE: See Exhibit C

DESCRIPTION OF WORK:

This Authorizing Addendum to Master Land Development Services Agreement (“**Authorizing Addendum**”) is made and entered into effective as of July 31, 2023 by and between **Taylor Morrison of Florida INC, a Florida Corporation** (“**Taylor Morrison**”) and **DNA Partners, LLC DBA C&M Road Builders, a Florida limited liability company** (“**Contractor**”), with respect to the Master Land Development Services Agreement between Taylor Morrison and Contractor dated June 1, 2023 (the “**Agreement**”).

1. Scope/Work. Pursuant to the Agreement, Contractor shall perform the Work for the Contract Price and within the time frame set forth on **Exhibit A** attached to this Authorizing Addendum.
2. Site. The Work will be performed at the job site (the “**Site**”), the location of which is legally described on **Exhibit B** attached hereto.

Unless otherwise defined herein, all capitalized terms used in this Authorizing Addendum shall have the meanings set forth in the Agreement. This Authorizing Addendum may be executed simultaneously or in counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. In the event of a conflict between the provisions of the Agreement and this Authorizing Addendum, the Agreement shall control except to the extent that the Authorizing Addendum specifically states that a provision is intended to modify the Agreement. Except as supplemented by this Authorizing Addendum, all provisions of the Agreement shall remain in full force and effect.

TAYLOR MORRISON:
Taylor Morrison of Florida INC, a Florida corporation


CONTRACTOR:
DNA Partners, LLC, DBA C&M Road Builders, a Florida limited liability company

By: 
FAD81E182E9E419...

Name: Jamie Kuca

Title: PM Land Development

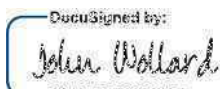
Date: 8/10/2023

By: 
1B874DCEF3D24A5...

Name: Adam Robson

Title: Owner/CEO

Date: 8/10/2023


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8/10/2023

**AUTHORIZING ADDENDUM #7- Skye Ranch -1
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

EXHIBIT A
SCOPE

Job No.: 14280400

Land DEV PO: 14280400-

Taylor Morrison's Representative: Jamie Kuca

Contractor's Representative: Adam Robson

Schedule. The Work shall be completed during the following time frames

Completion by March 31, 2024

Contract Price/Budget. The Contract Price is as follows: **NTE \$1,534,677.00**

Hourly Fee Schedule. Contractor's hourly fee schedule including time period for which rates apply: NA

Description of Work. Contractor shall provide the following services for the Project (the "**Work**"):

Scope of Work: Neighborhood 3 Phase 4

	POTABLE WATER			BID	
	SNOWFALL STREET				
1	8" PVC C-900 WATER(INSTALL ONLY)	1,206.00	LF	21.00	25,326.00
2	4" PVC C-900 WATER(INSTALL ONLY)	500.00	LF	13.00	6,500.00
3	2" HDPE WATER(INSTALL ONLY)	167.00	LF	8.00	1,336.00
4	8" GATE VALVE & BOX(NSTALL ONLY)	1.00	EA	400.00	400.00
5	4" GATE VALVE & BOX(NSTALL ONLY)	1.00	EA	250.00	250.00
6	2" GATE VALVE & BOX(NSTALL ONLY)	1.00	EA	200.00	200.00
7	AUTO FLUSHER(INSTALL ONLY)	2.00	EA	2,500.00	5,000.00
8	1" SINGLE WATER SERVSHORT(INSTALL ONLY)	35.00	EA	200.00	7,000.00
9	1" SINGLE WATER SERV-LONG(INSTALL ONLY)	24.00	EA	250.00	6,000.00
10	FIRE HYDRANT ASSBLY(INSTALL ONLY)	1.00	EA	1,000.00	1,000.00
11	CHLOR-TESTING	1,873.00	LF	3.80	7,117.40
12	CONNECT TO EXIST(INSTALL ONLY)	1.00	EA	1,000.00	1,000.00
13	INSTALL 4" JUMPER-NOT NEEDED		EA	4,500.00	0.00
	TOTAL				61,129.40

GOLDEN DAWN CT					
1	6" PVC C-900 WATER(INSTALL ONLY)	16.00	LF	15.00	240.00
2	4" PVC C-900 WATER(INSTALL ONLY)	330.00	LF	13.00	4,290.00
3	2" HDPE WATER(INSTALL ONLY)	628.00	LF	8.00	5,024.00
4	1" SINGLE WATER SERVSHORT(INSTALL ONLY)	9.00	EA	200.00	1,800.00
5	1" SINGLE WATER SERV-LONG(INSTALL ONLY)	6.00	EA	250.00	1,500.00
6	CHLOR-TESTING	974.00	LF	3.80	3,701.20
7	CONNECT TO EXIST(INSTALL ONLY)	1.00	EA	1,000.00	1,000.00
8	INSTALL 4" JUMPER-NOT NEEDED		EA	4,500.00	0.00
	TOTAL				17,555.20
BIG DIPPER					
1	6" PVC C-900 WATER(INSTALL ONLY)	924.00	LF	15.00	13,860.00
2	6" GATE VALVE & BOX(INSTALL ONLY)	1.00	EA	350.00	350.00
3	1" SINGLE WATER SERVSHORT(INSTALL ONLY)	8.00	EA	200.00	1,600.00
4	1" SINGLE WATER SERV-LONG(INSTALL ONLY)	11.00	EA	250.00	2,750.00
5	FIRE HYDRANT ASSBLY(INSTALL ONLY)	1.00	EA	1,000.00	1,000.00
6	CHLOR-TESTING	924.00	LF	3.80	3,511.20
7	CONNECT TO EXIST(INSTALL ONLY)	1.00	EA	1,000.00	1,000.00
8	INSTALL 4" JUMPER-NOT NEEDED		EA	4,500.00	0.00
	TOTAL				24,071.20
	TOTAL POTABLE WATER				102,755.80

SANITARY SEWER SNOWFALL STREET					
1	8" PVC DR-26 0-6' PIPE INCLUDED	342.00	LF	50.70	17,339.40
2	8" PVC DR-26 6-8' PIPE INCLUDED	591.00	LF	61.50	36,346.50
3	8" PVC DR-26 8-10' PIPE INCLUDED	669.00	LF	71.00	47,499.00
4	SAN. MH 0-6'(INSTALL ONLY)	2.00	EA	625.00	1,250.00
5	SAN. MH 6-8'(INSTALL ONLY)	2.00	EA	900.00	1,800.00
6	SAN. MH 8-10'(INSTALL ONLY)	1.00	EA	1,150.00	1,150.00
7	SINGLE SEWER SERV(INSTALL ONLY)	8.00	EA	200.00	1,600.00
8	DOUBLE SEWER SERV(INSTALL ONLY)	21.00	EA	250.00	5,250.00
9	TESTING TV	1,602.00	LF	5.00	8,010.00
10	CONNECT TO EXIST(NO CORE INCLUDED)	1.00	LS	3,200.00	3,200.00
	TOTAL				123,444.90

GOLDEN DAWN CT					
1	8" PVC DR-26 0-6' PIPE INCLUDED	406.00	LF	50.70	20,584.20
2	SAN. MH 0-6'(INSTALL ONLY)	1.00	EA	625.00	625.00
3	SINGLE SEWER SERV(INSTALL ONLY)	2.00	EA	200.00	400.00
4	DOUBLE SEWER SERV(INSTALL ONLY)	6.00	EA	250.00	1,500.00
5	TESTING TV	406.00	LF	5.00	2,030.00
6	CONNECT TO EXIST(NO CORE INCLUDED)	1.00	LS	3,200.00	3,200.00
TOTAL					28,339.20
BIG DIPPER					
1	8" PVC DR-26 0-6' PIPE INCLUDED	491.00	LF	50.70	24,893.70
2	8" PVC DR-26 6-8' PIPE INCLUDED	238.00	LF	61.50	14,637.00
3	SAN. MH 0-6'(INSTALL ONLY)	2.00	EA	625.00	1,250.00
4	SINGLE SEWER SERV(INSTALL ONLY)	1.00	EA	200.00	200.00
5	DOUBLE SEWER SERV(INSTALL ONLY)	9.00	EA	250.00	2,250.00
6	TESTING TV	729.00	LF	5.00	3,645.00
7	CONNECT TO EXIST(NO CORE INCLUDED)	1.00	LS	3,200.00	3,200.00
TOTAL					50,075.70
TOTAL SAN. SEWER					201,859.80

ROADS					
SNOW FALL STREET					
1	1" TYPE SP-9.5(FIRST LIFT)	4,490.00	SY	10.30	46,247.00
2	7" CEMENT TREATED BASE 100 LBR	4,490.00	SY	25.50	114,495.00
3	8" STAB SUB-BASE 40 LBR	5,164.00	SY	9.40	48,541.60
4	TYPE F CURB	825.00	LF	25.60	21,120.00
5	2' VALLEY GUTTER	2,919.00	LF	22.30	65,093.70
6	TYPE A CURB	165.00	LF	21.20	3,498.00
7	5' CONC WALK	507.00	SY	53.40	27,073.80
8	8' CONC TRAIL	655.00	SY	61.20	40,086.00
9	HANDICAP RAMPS W/MAT	4.00	EA	1,700.00	6,800.00
10	STRIPING TEMP. FOR ALL 3 PHASES	1.00	LS	2,500.00	2,500.00
11	BAHIA SOD 8' BACK OF CURB	2,390.00	SY	3.85	9,201.50
TOTAL					384,656.60

	GOLDEN DAWN CT				
1	1" TYPE SP-9.5(FIRST LIFT)	1,460.00	SY	10.30	15,038.00
2	7" CEMENT TREATED BASE 100 LBR	1,460.00	SY	25.50	37,230.00
3	8" STAB SUB-BASE 40 LBR	1,679.00	SY	9.40	15,782.60
4	TYPE F CURB	315.00	LF	25.60	8,064.00
5	2' VALLEY GUTTER	811.00	LF	22.30	18,085.30
6	TYPE A CURB	166.00	LF	21.20	3,519.20
7	5' CONC WALK	174.00	SY	53.40	9,291.60
8	STRIPING BY OTHERS	1.00	LS		0.00
9	BAHIA SOD 8' BACK OF CURB	721.00	SY	3.85	2,775.85
	TOTAL				109,786.55
	BIG DIPPER DR				
1	1" TYPE SP-9.5(FIRST LIFT)	1,901.00	SY	10.30	19,580.30
2	7" CEMENT TREATED BASE 100 LBR	1,901.00	SY	25.50	48,475.50
3	8" STAB SUB-BASE 40 LBR	2,186.00	SY	9.40	20,548.40
4	TYPE F CURB	712.00	LF	25.60	18,227.20
5	2' VALLEY GUTTER	1,048.00	LF	22.30	23,370.40
6	5' CONC WALK	163.00	SY	53.40	8,704.20
7	STRIPING BY OTHERS	1.00	LS		0.00
8	BAHIA SOD 8' BACK OF CURB	932.00	SY	3.85	3,588.20
	TOTAL				142,494.20
	TOTAL ROADS				636,937.35

DRAINAGE INSTALL ONLY					
1	10" HDPE	657.00	LF	14.00	9,198.00
2	12" HDPE	613.00	LF	15.00	9,195.00
3	15" HDPE	671.00	LF	18.00	12,078.00
4	18" HDPE	260.00	LF	19.00	4,940.00
5	24" HDPE	110.00	LF	21.50	2,365.00
6	30" HDPE	109.00	LF	24.00	2,616.00
7	36" HDPE	561.00	LF	26.30	14,754.30
8	15" RCP	60.00	LF	19.00	1,140.00
9	18" RCP	47.00	LF	21.50	1,010.50
10	24" RCP	1,151.00	LF	26.50	30,501.50
11	30" RCP	304.00	LF	32.50	9,880.00
12	36" RCP	183.00	LF	35.00	6,405.00
13	42" RCP	243.00	LF	41.50	10,084.50
14	TYPE G C.S	1.00	EA	1,350.00	1,350.00
15	GRATE INLET	7.00	EA	1,125.00	7,875.00
16	TYP 9 INLET	1.00	EA	1,450.00	1,450.00
17	JUNCTION BOX	1.00	EA	1,400.00	1,400.00
18	YARD DRAIN	28.00	EA	380.00	10,640.00
19	VALLEY GUTTER INLET	13.00	EA	1,325.00	17,225.00
20	10" FES	1.00	EA	200.00	200.00
21	24" FES	4.00	EA	565.00	2,260.00
22	42" FES	1.00	EA	900.00	900.00
23	4" ROADSIDE UD	3,676.00	LF	23.00	84,548.00
24	4" UD	40.00	EA	250.00	10,000.00
	TOTAL				252,015.80

IRRIGATION INSTALL ONLY					
SNOW FALL					
1	6" PVC C-900 IRRIG	1,976.00	LF	15.00	29,640.00
2	1" SINGLE SERV SHORT	6.00	EA	180.00	1,080.00
3	1" SINGLE SERV LONG	3.00	EA	250.00	750.00
4	1" DOUBLE SERV SHORT	9.00	EA	250.00	2,250.00
5	1" DOUBLE SERV LONG	16.00	EA	275.00	4,400.00
6	2" COMMON SERV SHORT	5.00	EA	450.00	2,250.00
7	2" COMMON SERV LONG	2.00	EA	575.00	1,150.00
8	6" GATE VALVE	4.00	EA	350.00	1,400.00
9	4" BLOW OFF	1.00	EA	600.00	600.00
10	6" BLOW OFF	1.00	EA	700.00	700.00
11	TESTING	1,976.00	LF	3.25	6,422.00
12	CON TO EX 6"	1.00	LS		0.00
	TOTAL				50,642.00

GOLDEN DAWN					
1	4" PVC C-900 IRRIG	423.00	LF	13.00	5,499.00
2	1" SINGLE SERV SHORT	2.00	EA	200.00	400.00
3	1" SINGLE SERV LONG	1.00	EA	250.00	250.00
4	1" DOUBLE SERV SHORT	2.00	EA	250.00	500.00
5	1" DOUBLE SERV LONG	4.00	EA	375.00	1,500.00
6	2" COMMON SERV SHORT	3.00	EA	475.00	1,425.00
7	PERM BLOWOFF	1.00	EA	650.00	650.00
8	TESTING	423.00	LF	3.25	1,374.75
TOTAL					11,598.75
BIG DIPPER					
1	4" PVC C-900 IRRIG	954.00	LF	13.00	12,402.00
2	1" SINGLE SERV SHORT	1.00	EA	200.00	200.00
3	1" DOUBLE SHORT	5.00	EA	250.00	1,250.00
4	1" DOUBLE SERV LONG	4.00	EA	375.00	1,500.00
5	2" COMMON SERV SHORT	2.00	EA	475.00	950.00
6	2" COMMON SERV LONG	1.00	EA	575.00	575.00
7	4" GATE VALVE	1.00	EA	250.00	250.00
8	2 PERM BLOWOFF	1.00	LF	650.00	650.00
9	TESTING	954.00	LF	3.25	3,100.50
TOTAL					20,877.50
TOTAL IRRIGATION					83,118.25

EARTHWORK					
1	MOB	1.00	LS	7,200.00	7,200.00
2	FINAL GRADING	24.00	AC	1,400.00	33,600.00
3	BEST MGMT	1.00	LS	5,700.00	5,700.00
4	SILT FENCE (allowance)	5,200.00	LF	2.40	12,480.00
5	STRIP LOTS & ROADS(Golden Dawn, Big Dipper)	9.80	AC	2,550.00	24,990.00
6	ROUGH GRADE LOTS & ROADS(Snow Fall)	13.20	AC	1,925.00	25,410.00
7	HAUL ONSITE FILL (allowance)	12,800.00	CYT	4.45	56,960.00
8	PLACE STRIPPINGS IN BERMS IN PHASE 4	1.00	LS	10,000.00	10,000.00
9	BURN ONSITE DEBRI ON SNOWFALL(allowance)	1.00	LS	4,450.00	4,450.00
10	INLET PROTECTION	9.00	EA	100.00	900.00
11	TRACKING DEVICE	3.00	EA	2,500.00	7,500.00
TOTAL					189,190.00

SURVEY					
1	STAKEOUT	1.00	LS	38,800.00	38,800.00
2	AS-BUILTS	1.00	LS	17,600.00	17,600.00
TOTAL					56,400.00
GEO TESTING					
1	GEO TESTING	1.00	LS	12,400.00	12,400.00
TOTAL					12,400.00

GRADING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Grading Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

- 1. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").
- 2. Select applicable provision by checking either Option 2(A) **OR** 2(B):

A. Construction Water IS Supplied by Taylor Morrison

Construction water ***shall*** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

B. Construction Water is NOT Supplied by Taylor Morrison

Construction water ***shall not*** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

- 3. The Work includes hurricane pump and/or pump/standpipe to fill water pulls and trucks.
- 4. Contractor shall provide earthwork calculations in its bid submittal.
- 5. Contractor shall coordinate its equipment line up with Taylor Morrison.
- 6. Contractor shall notify Taylor Morrison 48 hours prior to any staking or testing being required.
- 7. Contractor shall undercut all basins _____, or per direction of Taylor Morrison.
- 8. Contractor shall undercut all street 0.20' and leave all street subgrade flat (no crown).
- 9. Contractor shall cut all sidewalk areas 3" from top of curb elevation.
- 10. Contractor shall build stepped pads when adjacent pad differential is equal to or greater than 0.25' and rake when less than 0.25'.
- 11. Contractor shall overbuild front yards 5' from BSL on Final Plat and slope to sidewalk grade (do not bench).
- 12. Contractor shall overbuild all property lines 2' to allow for wall footing.

_____ Contractor _____ TM

- 13. Contractor shall overbuild all areas with sidewalks a minimum of 18”.
- 14. Contractor shall cut all retaining walls back 3’ and leave spoils on the upper pad side to allow for backfill of retaining walls.
- 15. Contractor shall cut basins _____ in retention basins with dry wells, or per direction of Taylor Morrison, to make room for dry well spoils.
- 16. Contractor must supply weekly safety report and dust control records.
- 17. Contractor is required to have a Certified Dust Coordinator onsite at all times during operations, without exception.
- 18. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during grading operations.

PAVING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Paving Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

1. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project’s _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, “Soils Report”).

2. Select applicable provision by checking either Option 2(A) OR 2(B):

A. Construction Water IS Supplied by Taylor Morrison 0

Construction water shall be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water cannot be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

B. Construction Water is NOT Supplied by Taylor Morrison 0

. Construction water shall not be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor’s bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor’s construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

3. Contractor shall clean out all laydown machines and other equipment in designated areas only, as determined by Taylor Morrison’s Designated Representative.

4. Contractor’s Work shall be performed in strict accordance with the Project’s Contract Documents.

5. Contractor is required to furnish all labor, equipment, and materials to construct the improvements as set forth in the Project’s Contract Documents. This work shall include but is not limited to: paving asphalt, subgrade prep, installing and prepping A.B.C., achieving compaction, adjust manholes, valves, and cleanouts, as well as providing and installing: barricades, survey monuments, fire hydrant markers, street sign bases, signage and striping, and temporary and/or permanent barricading.

6. Contractor shall re-grade any areas disturbed by the water, sewer, or utility contractors. The cost of this work shall be included in the bid, assuming the grade left by all utility contractors 0.30' from the original rough grade or 0.30' from design grade.
7. Contractor shall notify Taylor Morrison's Designated Representative at least 48 hours prior to any staking being required.
8. Contractor shall notify Taylor Morrison's Designated Representative at least 24 hours prior to any asphalt being placed for the purpose of coordinating testing.
9. Contractor shall be responsible for coordinating with Taylor Morrison's Designated Representative to provide a water truck for flow testing curb and paving, which cost shall be included in Contractor's bid.
10. Contractor shall be responsible for manhole adjustments, water and gas valve adjustments, street signs and bases, barricades, fire hydrant markers, striping, monuments, etc.
11. Contractors' bid shall include the cost of any removals, saw cuts, etc.
12. Contractor's bid shall include the cost of one mobilization. Additional mobilization costs must also be provided.
13. All entrances used by Contractor shall be kept clean, either by sweeping or washed with a water truck. Any track out shall be cleaned by Contractor on a daily basis.
14. Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur shall become the responsibility of the Contractor to repair, if the original survey stakes are missing when any problems are found. Any utilities or property pins damaged or removed during Contractor's work shall be repaired or replaced at the Contractor's expense.
15. Contractor shall exercise care around all existing improvements. Contractor shall arrange to walk the site with Taylor Morrison's Designated Representative before Contractor starts its work to determine the extent and location of any cracks in the concrete, the cleanliness of the manholes and the condition of water valves, etc. Any cleanup or repair needed for Contractor's pre-paving work shall be done by the Contractor at its own expense before the paving operation begins.
16. Contractor shall be responsible for all traffic control including barricades, as required by public authorities and Owner. Contractor shall obtain an approved traffic control plan, if the municipality or County within which the Project is located requires a traffic control plan.
17. Normal soil conditions are those outlined in the Soils Report. Any ripping, jack hammering, or blasting that is necessary to perform the work shall be included in Contractor's bid.
18. Taylor Morrison' shall be notified by Contractor 48 hours prior to any staking being required;
19. The Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur will become the responsibility of the Contractor to repair if the original survey stakes are missing when any problems are found.
20. All costs associated with maintaining all dust control are included in the Agreement – this includes, but is not limited to, all dust generating activities, haul roads around the site, trenching, machine work, and using provided ingress/egress to and from the site. etc.
21. Contractor must use provided entrances/exits when arriving or leaving site. Any fines/violations incurred for this failure to comply will be paid by contractor. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during operations.
22. Contractor shall supply weekly safety and dust records.

WET UTILITIES SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Wet Utilities Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

1. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "Soils Report").

2. Select applicable provision by checking Option 2(A) OR 2(B):

A. Construction Water IS Supplied by Taylor Morrison 0

Construction water shall be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

B. Construction Water is NOT Supplied by Taylor Morrison 0

Construction water shall not be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

3. One mobilization to be included in Agreement. Additional mobilization costs must also be provided.

4. Contractor shall coordinate services of surveying and observation contractors designated by Taylor Morrison;

5. The Contractor shall provide all materials, equipment, and labor necessary to install sewer, water and storm drain improvements as set forth in the Contract Documents. The Work shall include, but is not limited to: trenching, excavating, backfilling and compacting, bacteria, compaction, camera, and pressure testing, furnishing and installing bedding, pipe, fittings, valves, valve boxes and covers, fire hydrants, manholes, plugs, clean-outs, taps, services, meter boxes and lids, and any other necessary appurtenances.

6. Prior to commencing any other work, the Contractor shall expose all existing sewer tie-ins so that the surveyors can verify their locations.

7. Contractor shall install sewer services as follows: Sewer services to be stubbed into property five (5) feet behind the PUE. Sewer taps shall be marked with a 2x4 metal stud. The metal stud shall extend from the sewer tap to 3' above finished grade. Contractor shall paint top twelve (12) inches of metal stud green. The sewer tap should be installed with two 45 degree elbows and extended to within one (1) foot of finished grade. A 3/8" x 12" length of #4 rebar shall be duct taped to end of sewer tap;

8. Contractor shall stub water services up six (6) inches above grade and set to grade after sidewalk installation;

9. If water main valve boxes are located behind sidewalk, Contractor shall adjust them to grade after sidewalk installation;

10. Contractor shall remove any excess or miscellaneous materials from lots prior to receiving final payment;

11. Contractor will return site to +/- .3 ft. of original grade including lots, R.O.W., and P.U.E., and will be confirmed by Taylor Morrison's Designated Representative. Any excess dirt, ABC, or chips remaining after all trenches have been

_____ Contractor _____ TM

backfilled and compacted shall be spread evenly in the streets. Contractor will be responsible for all testing and coordination with inspectors or government entities. The Contractor will leave all trenches open long enough to allow as-built locations to be verified by the Owner's surveyor.

12. All sewer and water tie-ins that are in existing pavement will be permanently patched back by the sewer and water contractor, per governing municipality/provider requirements.
13. Contractor pricing to include municipality/private provider approved methods for backfill.
14. Contractor will provide all necessary barricades, barricade plans and traffic control plans. Contractor is responsible for city or county acceptance if necessary.
15. Contractor shall include in its bid price the cost for two air pressure and camera tests of the sewer system. One test will be after the sewer has been installed to verify that it has been installed correctly, and one test after the remainder of the underground utilities have been installed to verify that the sewer was not damaged by the installation of other utilities.
16. This proposal is to be based on the use of standard trenching equipment equivalent to a 125,000-pound class excavator with a rock bucket and with a production rate of at least 200 linear feet per an 8-hour working day. All excavation beyond the capability of the said equipment at the said production rate will be considered hard excavation.
17. Bidding Contractors to visit the site and account for any borings that may be necessary for any irrigation crossings.
18. Taylor Morrison' shall be notified by Contractor 48 hours prior to any staking being required;
19. The Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur will become the responsibility of the Contractor to repair if the original survey stakes are missing when any problems are found.
20. All costs associated with maintaining all dust control are included in the Agreement – this includes, but is not limited to, all dust generating activities, haul roads around the site, trenching, machine work, and using provided ingress/egress to and from the site. etc.
21. Contractor must use provided entrances/exits when arriving or leaving site. Any fines/violations incurred for this failure to comply will be paid by contractor. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during operations.
22. Contractor shall supply weekly safety and dust records.

**AUTHORIZING ADDENDUM #7- Skye Ranch -1
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

EXHIBIT B
JOB SITE

N3 Phase 4

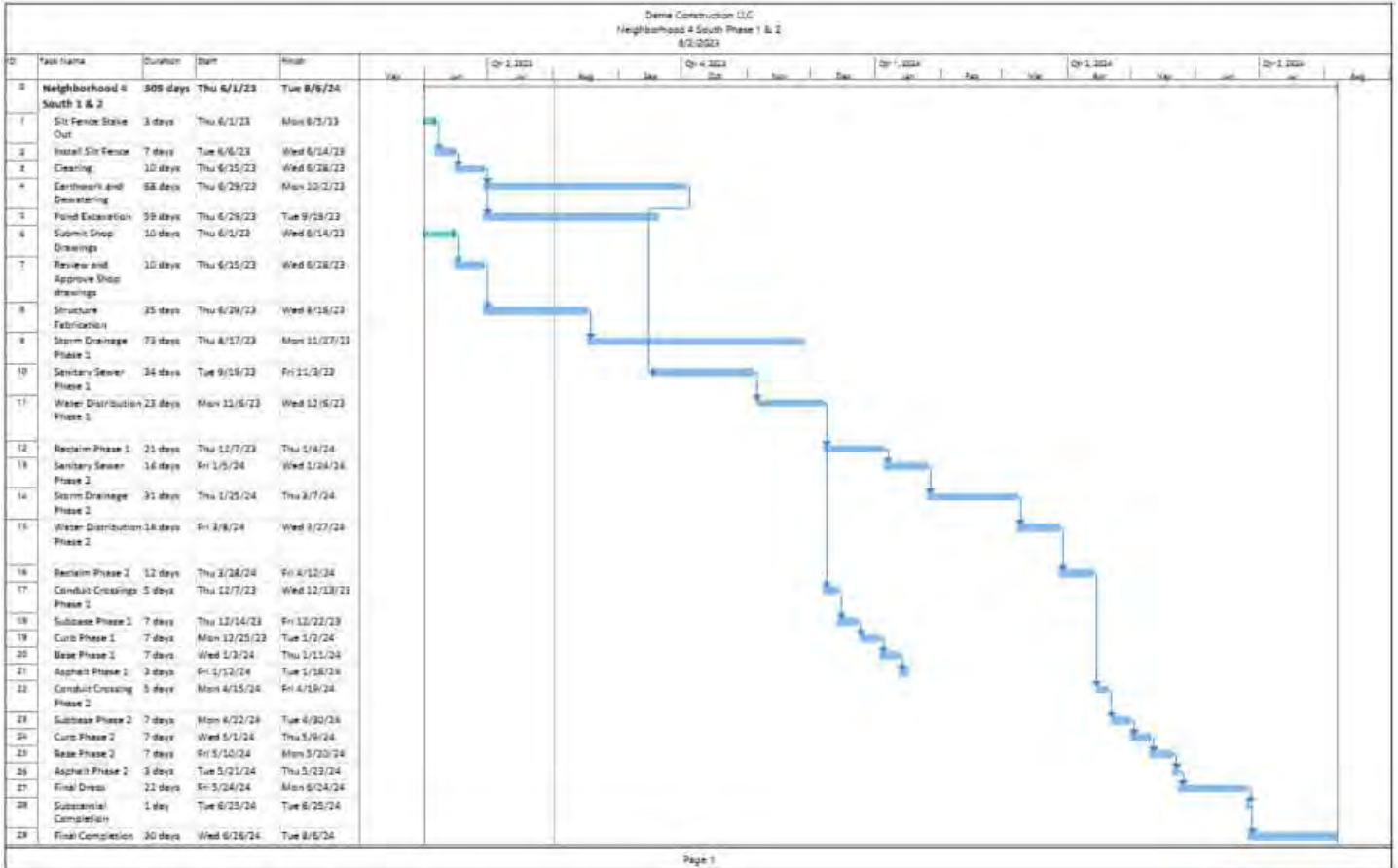
SKYE RANCH NEIGHBORHOOD THREE

BEING A REPLAT OF TRACT 510 (FUTURE DEVELOPMENT AREA) AND TRACT 511 (FUTURE DEVELOPMENT AREA), SKYE RANCH NEIGHBORHOOD TWO, PLAT BOOK 56, PAGES 1-12, AND A REPLAT OF A PORTION OF TRACT 501 (FUTURE DEVELOPMENT AREA), LT RANCH NEIGHBORHOOD ONE, PLAT BOOK 53, PAGES 175-224, BOTH OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, LYING IN SECTIONS 22 AND 27, TOWNSHIP 37 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA

AUTHORIZING ADDENDUM #7- Skye Ranch -1 TO MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES

EXHIBIT C SCHEDULE

N3 Phase 4



TAYLOR MORRISON

**AMENDMENT #1
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #1 (the "Authorizing Addendum Amendment") made and entered into as of September 28, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated July 31, 2023 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated June 1, 2023 (the "Agreement") made by and between **DNA Partners, LLC DBA C&M Road Builders, a Florida limited liability company ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$353,854.93 to previously authorized amount of \$1,534,677.00

The maximum authorized for the Services under this Authorizing Addendum is \$1,888,531.93 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Brian Hughes. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 7 Skye Ranch 1 (Land DEV PO 14280400-4090)
- Project and Phase Number:
- Cost Code Number: Multi
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C
3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

a) Scope of Work:

Skye Ranch Neighborhood 3 Phase 4
Utility Material Cost Summary Worksheet.

Sanitary Sewer	\$ 39,599.52
Domestic Water	\$ 65,941.77
Domestic Water Services	\$ 48,277.95
Reclaim Water	\$ 40,270.02
Reclaim Water Services	\$ 79,631.94
Storm Drainage	\$ 80,133.73
Total Utility Material	\$ 353,854.93

		Services		On-Site Counted 8/4/2023	Still Need	Unit Price	Total Price	Bid Doc Stored
		Single (11)	Double (36)					
6" PVC SDR-26 Green 14'	2185 LF	35' x 11EA	50' x 36EA	0	2184	\$ 9.19	\$ 20,071.20	0
8" PVC SDR-26 Green 14'	2688 LF			0	0	\$ 16.63	\$ 0	0
3" x 1000 UG Sewer Tape Grn	5 EA			0	5	\$ 49.93	\$ 249.67	0
						\$	\$	
8" x 6" PVC Wye SDR-26	47 EA	11	36	38	9	\$ 128.67	\$ 1,158.06	38
6" PVC Bend 45° GxS SDR-26	141 EA	33	108	90	51	\$ 36.49	\$ 1,860.84	0
6" PVC Bend 45° GxG SDR-26	47 EA	11	36	0	47	\$ 49.39	\$ 2,321.16	138
6" Wye GxGxG SDR-26	119 EA	11	108	36	83	\$ 99.02	\$ 8,218.87	11
8" PVC Double Wye SDR-26	36 EA	0	36	17	19	\$ 184.80	\$ 3,511.22	32
6" PVC Plug SDR-26	83 EA	11	72	100	0	\$ 10.46	\$ 0	0
6" PVC Hub Lem CO Adapt	47 EA	11	36	28	19	\$ 31.73	\$ 602.90	13
6" PVC Sewer Thru CO Plug	47 EA	11	36	28	19	\$ 24.24	\$ 460.59	13
6" PVC San Gasket Cap Testing	47 EA	11	36	0	47	\$ 10.46	\$ 491.72	47
						\$	\$	
2" x 4" x 8" Pine Marker Paint	47 EA			0	47	\$ 10.11	\$ 474.96	0
24" Manhole Inflow Dish	8 EA			0	2	\$ 89.17	\$ 178.33	0
							\$ 39,599.52	

Skye Ranch Neighborhood 3 Phase 4 Domestic Water Material								
Description	Qty	Unit	08/01/23	Counted		Unit Price	Total Price	Bid Doc Stored
				Onsite	Still Need			
2" PE DR-9 Blue	790 LF			200	590	\$ 2.97	\$ 1,751.51	400
4" PVC DR-18	806 LF			0	806	\$ 7.56	\$ 6,094.43	0
6" PVC DR-18	994 LF			0	994	\$ 15.46	\$ 15,362.82	520
8" PVC DR-18	1,164 LF			680	484	\$ 26.54	\$ 12,881.42	1080
						\$ -	\$ -	
Blue ID Tape 3" x 1000'	4 EA			0	4	\$ 49.93	\$ 199.73	0
10 GA Wire Blue 500' Roll	6 EA			6	0	\$ -	\$ -	6
						\$ -	\$ -	
4" Bell Restrained PVC Pipe	12 EA			0	12	\$ 61.32	\$ 733.45	0
6" Bell Restrained PVC Pipe	13 EA			0	13	\$ 76.52	\$ 994.72	0
8" Bell Restrained PVC Pipe	16 EA			0	16	\$ 127.90	\$ 2,046.41	0
						\$ -	\$ -	
						\$ -	\$ -	
Megalug for PVC w/ Gaskets								
						\$ -	\$ -	
						\$ -	\$ -	
						\$ -	\$ -	
4" MI Plug Tapped 2"	2 EA			1	1	\$ 118.94	\$ 118.94	2
6" MI Sleeve	1 EA			0	1	\$ 298.51	\$ 298.51	0
6" MI Bend 1 1/4'	5 EA			4	1	\$ 278.51	\$ 278.51	5
6" MI Bend 2 1/2'	1 EA			0	1	\$ 272.99	\$ 272.99	0
6" x 2" MI Tapped Tee	1 EA			0	1	\$ 453.92	\$ 453.92	0
6" x 4" MI Reducer	1 EA			1	1	\$ 235.09	\$ 235.09	0
6" x 6" MI Savel Tee for Hydr	1 EA			1	0	\$ 441.51	\$ -	1
8" x 6" MI Savel Tee for Hydr	1 EA			1	0	\$ 559.18	\$ -	1
8" x 6" MI Tee	2 EA			2	0	\$ 565.41	\$ -	0
8" x 4" MI Reducer	1 EA			1	0	\$ 293.92	\$ -	1
8" MI Sleeve	1 EA			0	1	\$ 436.16	\$ 436.16	0
						\$ -	\$ -	
Access Pack for Onsite 4" Fitting					1	\$ 66.53	\$ 66.53	
Access Pack for Onsite 6" Fitting					14	\$ 83.88	\$ 1,144.47	
Access Pack for Onsite 8" Fitting					7	\$ 109.47	\$ 766.31	
						\$ -	\$ -	
2" Resilient Wedge Gate Valve	2 EA			2	0	\$ 1,389.60	\$ -	2
4" Resilient Wedge Gate Valve	1 EA			0	1	\$ 1,311.85	\$ 1,311.85	0
6" Resilient Wedge Gate Valve	4 EA			4	0	\$ 1,364.46	\$ -	4
8" Resilient Wedge Gate Valve	4 EA			1	3	\$ 2,026.87	\$ 6,080.60	1
						\$ -	\$ -	
Fire Hydrant B-B4B	2 EA			0	2	\$ 4,558.70	\$ 9,117.40	0
						\$ -	\$ -	
						\$ -	\$ -	
4" Megalug for PVC w/ Gasket	5 EA			0	5	\$ -	\$ -	0
6" Megalug for PVC w/ Gasket	27 EA			0	27	\$ -	\$ -	0
8" Megalug for PVC w/ Gasket	17 EA			0	17	\$ -	\$ -	0
						\$ -	\$ -	
Bolt T-Head 3/8" x 3-1/2" Blue	284 EA			0	284	\$ -	\$ -	0
						\$ -	\$ -	
Valve Box 2-Piece	11 EA			0	11	\$ -	\$ -	0
3" Brass Valve ID Tag	11 EA			0	11	\$ -	\$ -	0
Tracer Wire Test Size Bore	11 EA			0	11	\$ -	\$ -	0
Wire Connector Drycon	11 EA			0	11	\$ -	\$ -	0
						\$ -	\$ -	
2" PE DR-9 for Blowoff (1)	50 LF			0	50	\$ -	\$ -	0
2" Brass MIP x Comp Coupling	4 EA			0	4	\$ -	\$ -	0
Meter Box 17" x 30" x 12" C Lid	1 EA			1	0	\$ -	\$ -	0
2" Meter Hexnut	1 EA			0	1	\$ -	\$ -	0
2" Meter w/ Lock Pak Couplings	1 EA			0	1	\$ 5,532.90	\$ 5,532.90	0
2" Autoblaster for Blowoff	1 EA			1	0	\$ 6,355.27	\$ -	0
						\$ -	\$ -	
							\$ 65,941.77	

Skye Ranch Neighborhood 3 Phase 4
Domestic Water Service Material

			SS	SL	Counted		Unit Price	Total Price	Bid Doc Stored
					Onsite 8/4/2023	Still Need			
2" x 1" Brass Compr Tee	7		7		0	7	\$ 218.87	\$ 1,532.12	0
4" x 1" Brnz Saddle CC Dbl Strap	28		17	11	5	23	\$ 162.52	\$ 3,737.99	26
6" x 1" Brnz Saddle CC Dbl Strap	20	EA	8	11	0	20	\$ 191.49	\$ 3,829.94	0
8" x 1" Brnz Saddle CC Dbl Strap	38	EA	19	19	30	8	\$ 236.93	\$ 1,895.47	30
							\$ -	\$ -	
1" Corp Stop CC x CTS	99	EA	52	41	8	85	\$ 117.69	\$ 10,000.46	105
1" Angle Ball Valve CTS x Meter	83	EA	52	41	8	85	\$ 210.58	\$ 17,898.96	20
1" SS Insert	186	EA	104	82	90	96	\$ 2.79	\$ 268.21	210
Wire Lug Connector Dryconn	99	EA	52	41	0	99	\$ 5.94	\$ 592.83	0
Meter Box 11" x 18" x 12" □	99	EA	52	41	105	0	\$ 196.17	\$ -	105
							\$ -	\$ -	
1" Polytube CTS DR-9 Blue	2570	LF	520	2050	300	2270	\$ 0.77	\$ 1,754.21	700
2" PVC SDR-21 Sleeve	850	LF		850	0	850	\$ 2.38	\$ 2,021.11	0
4" PVC SDR-21 Sleeve	600	LF		600	0	600	\$ 6.16	\$ 3,695.07	0
#10 Copper Trace Wire Blue	2570	LF	520	2050	2570	0	\$ 0.31	\$ -	3000
3" Detector Tape Water	2570	LF	520	2050	0	2570	\$ 0.06	\$ 152.77	0
							\$ -	\$ -	
2" x 4" Pine Marker B' Paint Top	99	EA	52	41	0	99	\$ 10.11	\$ 999.82	0
								\$ 48,277.95	
			10' Poly	50' Poly					
			52 x 10'	41 x 50'					

Skye Ranch Neighborhood 3 Phase B Reclaim Water Main Material								
			Counted		Unit	Total	Kit Doc	
			Onsite	Still Need	Price	Price	Stored	
			8/4/2023					
4" PVC DR-18 Purple	1257 LF		0	1257	\$ 7.56	\$ 9,504.60	0	
6" PVC DR-18 Purple	1924 LF		1400	524	\$ 15.46	\$ 8,098.71	1420	
					\$			
Purple ID Tape 3" x 1000'	3 EA		0	3	\$ 49.93	\$ 149.80	0	
10 GA Wire Purple 500' Roll	7 EA		7	0	\$ 77.28	\$	0	
					\$			
4" Bell Restraint PVC Pipe	18 EA		0	18	\$ 61.17	\$ 1,101.17	0	
6" Bell Restraint PVC Pipe	23 EA		0	23	\$ 76.52	\$ 1,759.89	0	
					\$			
		PVC Megalug w/ Gaskets						
		4"	6"					
					\$			
					\$			
4" MI Sleeve	2 EA	8		0	2	\$ 213.74	\$ 427.48	0
4" MI Bend 33-1/4"	5 EA	10		8	0	\$ 202.02	\$	7
4" MI Bend 22-1/2"	2 EA	4		9	0	\$ 204.77	\$	1
4" MI Bend 45"	5 EA	10		13	0	\$ 308.91	\$	6
4" x 2" MI Tee for Blowoff	1 EA	3		0	1	\$ 294.12	\$ 294.12	0
4" MI Plug Tapped 2"	2 EA	2		1	1	\$ 118.94	\$ 118.94	1
					\$			
6" MI Sleeve	1 EA		2	0	1	\$ 298.51	\$ 298.51	0
6" MI Tee	1 EA		3	0	1	\$ 458.79	\$ 458.79	1
6" x 4" MI Tee	2 EA	1	2	0	2	\$ 428.48	\$ 856.95	1
6" MI Bend 22-1/2"	6 EA		12	0	6	\$ 272.99	\$ 1,637.96	0
6" MI Bend 45"	13 EA		26	0	13	\$ 284.03	\$ 3,692.33	4
6" MI Bend 90"	1 EA		2	1	0	\$ 284.03	\$	1
6" MI Plug Tapped 2"	1 EA		1	0	1	\$ 178.90	\$ 178.90	0
					\$			
Access Pack for Onsite 4" Fitting					25	\$ 66.53	\$ 1,663.26	
Access Pack for Onsite 6" Fitting					2	\$ 81.68	\$ 163.35	
					\$			
2" Resilient Wedge Gate Valve	3 EA			0	3	\$ 467.60	\$ 1,402.81	0
4" Resilient Wedge Gate Valve	1 EA	2		0	1	\$ 1,111.85	\$ 1,111.85	0
6" Resilient Wedge Gate Valve	4 EA		8	4	0	\$ 1,363.28	\$	3
		36	56					
Valve Box 2-Piece	8 EA			0	8		\$	0
3" Brass Valve ID Tag	8 EA			0	8		\$	0
Tracer Wire Test Sta Box	8 EA			0	8		\$	0
Wire Connector Drysum	8 EA			0	8		\$	0
4" Megalug for PVC w/ Gasket	36 EA			0	36		\$	0
6" Megalug for PVC w/ Gasket	56 EA			0	56		\$	0
1-Head Bolts 3/4" x 3-1/2" Blue	480 EA	36 x 4	56 x 6	0	480		\$	0
2" PE DR-9 for Blowoff (A)	80 LF			80	50		\$	80
2" Brass MIP x Comp Coupling	4 EA			0	4		\$	0
Meter Box 17x30x12 Purple CI	4 EA			4	0		\$	4
2" SS Inset Stiffener	3 EA			0	3		\$	0
2" Ball Valve 1/4 Turn Full Port	4 EA			0	4		\$	0
2" x 2-1/2" Adapt w/ Cap & Chain	4 EA			0	4	\$ 1,837.90	\$ 7,351.61	0
						\$ 40,270.02		

Skye Ranch Neighborhood 3 Phase 4 Reclaim Water Service Material									
			SS	SL	Counted Onsite 8/4/2023	Still Need	Unit Price	Total Price	Bid Docs Stored
4" x 1" Saddle	34	EA	17	17	5	29	\$ 162.52	\$ 4,713.11	5
6" x 1" Saddle	59	EA	24	35	0	59	\$ 191.45	\$ 11,295.36	0
4" x 2" Saddle	7	EA	5	2	3	4	\$ 206.33	\$ 825.33	3
6" x 2" Saddle	7	EA	5	2	0	7	\$ 240.49	\$ 1,683.42	0
							\$ -		
1" Corp Stop CC x CTS	93	EA	41	52	0	93	\$ 117.65	\$ 10,941.68	31
1" Angle Ball Valve CTS x Meter	93	EA	41	52	0	93	\$ 210.58	\$ 19,583.57	0
1" CTS Tee Pack Joint	40	EA	16	24	0	40	\$ 87.43	\$ 3,497.24	0
1" SS Insert	266	EA	114	152	0	266	\$ 2.79	\$ 743.17	90
Meter Box 11" x 18" x 12" CI	107	EA	51	56	107	0	\$ 196.17	\$ -	15
							\$ -		
2" Corp Stop CC x CTS	14	EA	10	4	0	14	\$ 206.33	\$ 2,888.64	0
2" Angle Ball Valve CTS x Meter	14	EA	10	4	0	14	\$ 503.93	\$ 7,055.08	0
2" SS Insert	38	EA	20	8	0	28	\$ 3.84	\$ 107.52	12
Meter Box 11" x 18" x 12" CI	14	EA	10	4	14	0	\$ 196.17	\$ -	15
							\$ -		
							\$ -		
1" Polytube CTS DR-9 Purple	3475	LF	615	2860	100	3375	\$ 0.77	\$ 2,608.13	2800
2" Polytube CTS DR-9 Purple	370	LF	150	220	50	320	\$ 2.97	\$ 951.11	370
2" PVC SDR-21 Sleeve	200	LF		200	0	200	\$ 2.38	\$ 475.56	0
4" PVC SDR-21 Sleeve	1400	LF		1400	0	1400	\$ 6.16	\$ 8,621.82	0
#10 Copper Trace Wire Purple	3845	LF	765	3080	0	3845	\$ 0.61	\$ 2,331.35	0
5" Detector Tape Water	3845	LF	765	3080	0	3845	\$ 0.06	\$ 228.56	0
							\$ -		
2" x 4" Pine Marker 8" Paint Top	107	EA	51	56	0	107	\$ 10.11	\$ 1,081.29	0
								\$ 79,631.94	
			15' Poly	55' Poly					
			41 x 15'	52 x 55'					

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____

FAD81E182E9E419...

Print Name: Jamie Kuca

Title: PM Land Development

Date: 9/28/2023

CONTRACTOR:

DNA Partners, LLC DBA C&M Road Builders, a Florida limited liability company

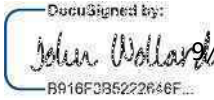
By: _____

1B874DCFEF3D24A5...

Print Name: Adam Robson

Title: owner/CEO

Date: 9/28/2023


9/28/2023
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PROJECT TM PO#	SKYE RANCH N3 PH.4 14280400-4090	PAYMENT NUMBER:	SIX 23014-06	
PAYMENT REQUEST		FOR PERIOD FROM:	MARCH 1, 2024	TO: MARCH 31, 2024
=====				
1. ORIGINAL CONTRACT AMOUNT				1534677.00
2. APPROVED CHANGE ORDERS				353854.93
3. CURRENT ADJUSTED CONTRACT AMOUNT (1 + 2)				1888531.93
=====				
4. VALUE OF WORK COMPLETED				1267850.13
5. STORED MATERIALS (THIS INVOICE)				0
5a. STORED MATERIALS (FROM PREVIOUS INVOICES)				0
6. SUB-TOTAL (4 + 5)				1267850.13
=====				
7. RETAINAGE (10%)				126785.01
8. PREVIOUS PAYMENTS				1017726.78
9. AMOUNT DUE THIS PERIOD (6-7-8)				123338.34
=====				

CERTIFICATION OF CONTRACTOR

The undersigned CONTRACTOR certifies that (1) all previous payments received from OWNER on account of WORK done under the Contract referred to above have been applied to discharge in full all obligations of the CONTRACTOR incurred in connection with Work covered by prior Applications for payment 1 through 14 inclusive; and (2) title to all materials and equipment incorporated in said Work or otherwise listed in or covered by this Application for Payment will pass to OWNER at time of payment free and clear of all liens, claims, security interests and encumbrances (except such as covered by Bond acceptable to OWNER).

Contractor: DNA Partners, LLC dba C&M Road Builders

Date: 3/31/2024

By: 

Adam W Robson

Title: Owner/CEO

Date: 4/9/2024

Recommended for Payment: _____

Date: _____

Approved for Payment by: _____

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT:	SKYE RANCH N3 PH.4	PAY REQ. DATE:	MARCH 31, 2024	PAY REQ. NO.	23014-06
CONTRACTOR:	DNA PARTNERS, LLC dba C&M ROAD BUILDERS				

(2) CONTRACT ITEM NUMBER	(3) ITEM DESCRIPTION	(4) ORIGINAL CONTRACT	(5) CHANGE ORDERS	(6) CURRENT TOTAL	(7) UNIT PRICE	(8) UNIT	(9) CURRENT CONTRACT AMOUNT	(10) QUANTITY COMPLETED THIS PERIOD	(11) AMOUNT COMPLETED THIS PERIOD	(12) QUANTITY COMPLETED TO DATE	(13) AMOUNT COMPLETED TO DATE
<u>EARTHWORK</u>											
1	MOB	1.00				LS	7,200.00			0.50	3,600.00
2	FINAL GRADING	24.00				AC	33,600.00			18.00	25,200.00
3	BEST MGMT	1.00				LS	5,700.00			0.50	2,850.00
4	SILT FENCE (allowance)	5,200.00				LF	12,480.00			4,500.00	10,800.00
5	STRIP LOTS & ROADS(Golden Dawn, Big Dipper)	9.80				AC	24,990.00			9.80	24,990.00
6	ROUGH GRADE LOTS & ROADS(Snow Fall)	13.20				AC	25,410.00	4.20	8,085.00	13.20	25,410.00
7	HAUL ONSITE FILL (allowance)	12,800.00				CYT	56,960.00	4,800.00	21,360.00	12,800.00	56,960.00
8	PLACE STRIPPINGS IN BERMS IN PHASE 4	1.00				LS	10,000.00	0.25	2,500.00	1.00	10,000.00
9	BURN ONSITE DEBRI ON SNOWFALL(allowance)	1.00				LS	4,450.00			1.00	4,450.00
10	INLET PROTECTION	9.00				EA	900.00			9.00	900.00
11	TRACKING DEVICE	3.00				EA	7,500.00				
XXXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX	189,190.00	XXXXXXXX	31,945.00	XXXXXXXX	165,160.00
XXXXXXXX	(16) CONTRACT TOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX	

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT:		SKYE RANCH N3 PH.4											
CONTRACTOR:		DNA PARTNERS, LLC dba C&M ROAD BUILDERS					PAY REQ.DATE:		MARCH 31, 2024		PAY REQ. NO.		23014-06
(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)		
CONTRACT	ITEM	ORIGINAL	CHANGE	CURRENT	UNIT	UNIT	CURRENT	QUANTITY	AMOUNT	QUANTITY	AMOUNT		
NUMBER	DESCRIPTION	CONTRACT	ORDERS	TOTAL	PRICE		CONTRACT	COMPLETED	COMPLETED	COMPLETED	COMPLETED		
							AMOUNT	THIS PERIOD	THIS PERIOD	TO DATE	TO DATE		
	<u>POTABLE WATER</u>						-		-		-		
	<u>SNOWFALL STREET</u>						-		-		-		
1	8" PVC C-900 WATER(INSTALL ONLY)	1,206.00			21.00	LF	25,326.00		-	1,206.00	25,326.00		
2	4" PVC C-900 WATER(INSTALL ONLY)	500.00			13.00	LF	6,500.00		-	500.00	6,500.00		
3	2" HDPE WATER(INSTALL ONLY)	167.00			8.00	LF	1,336.00		-	167.00	1,336.00		
4	8" GATE VALVE & BOX(NSTALL ONLY)	1.00			400.00	EA	400.00		-	1.00	400.00		
5	4" GATE VALVE & BOX(NSTALL ONLY)	1.00			250.00	EA	250.00		-	1.00	250.00		
6	2" GATE VALVE & BOX(NSTALL ONLY)	1.00			200.00	EA	200.00		-	1.00	200.00		
7	AUTO FLUSHER(INSTALL ONLY)	2.00			2,500.00	EA	5,000.00		-	2.00	5,000.00		
8	1" SINGLE WATER SERVSHORT(INSTALL ONLY)	35.00			200.00	EA	7,000.00		-	35.00	7,000.00		
9	1" SINGLE WATER SERV-LONG(INSTALL ONLY)	24.00			250.00	EA	6,000.00		-	24.00	6,000.00		
10	FIRE HYDRANT ASSBLY(INSTALL ONLY)	1.00			1,000.00	EA	1,000.00		-	1.00	1,000.00		
11	CHLOR-TESTING	1,873.00			3.80	LF	7,117.40		-		-		
12	CONNECT TO EXIST(INSTALL ONLY)	1.00			1,000.00	EA	1,000.00		-		-		
							-		-		-		
	<u>GOLDEN DAWN CT</u>						-		-		-		
13	6" PVC C-900 WATER(INSTALL ONLY)	16.00			15.00	LF	240.00		-	16.00	240.00		
14	4" PVC C-900 WATER(INSTALL ONLY)	330.00			13.00	LF	4,290.00		-	330.00	4,290.00		
15	2" HDPE WATER(INSTALL ONLY)	628.00			8.00	LF	5,024.00		-	628.00	5,024.00		
16	1" SINGLE WATER SERVSHORT(INSTALL ONLY)	9.00			200.00	EA	1,800.00		-	9.00	1,800.00		
17	1" SINGLE WATER SERV-LONG(INSTALL ONLY)	6.00			250.00	EA	1,500.00		-	6.00	1,500.00		
18	CHLOR-TESTING	974.00			3.80	LF	3,701.20		-		-		
19	CONNECT TO EXIST(INSTALL ONLY)	1.00			1,000.00	EA	1,000.00		-		-		
							-		-		-		
							-		-		-		
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							-		-		-		
							-		-		-		
XXXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX	78,684.60	XXXXXXXX	-	XXXXXXXX	65,866.00		
XXXXXXXX	(16) CONTRACT TOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX			

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT: SKYE RANCH N3 PH.4

CONTRACTOR: DNA PARTNERS, LLC dba C&M ROAD BUILDERS PAY REQ.DATE: MARCH 31, 2024 PAY REQ. NO. 23014-06

(2) CONTRACT ITEM NUMBER	(3) ITEM DESCRIPTION	(4) ORIGINAL CONTRACT	(5) CHANGE ORDERS	(6) CURRENT TOTAL	(7) UNIT PRICE	(8) UNIT	(9) CURRENT CONTRACT AMOUNT	(10) QUANTITY COMPLETED THIS PERIOD	(11) AMOUNT COMPLETED THIS PERIOD	(12) QUANTITY COMPLETED TO DATE	(13) AMOUNT COMPLETED TO DATE
	<i>POTABLE WATER</i>						-		-		-
	<i>BIG DIPPER</i>						-		-		-
1	6" PVC C-900 WATER(INSTALL ONLY)	924.00			15.00	LF	13,860.00			924.00	13,860.00
2	6" GATE VALVE & BOX(INSTALL ONLY)	1.00			350.00	EA	350.00			1.00	350.00
3	1" SINGLE WATER SERVSHORT(INSTALL ONLY)	8.00			200.00	EA	1,600.00			8.00	1,600.00
4	1" SINGLE WATER SERV-LONG(INSTALL ONLY)	11.00			250.00	EA	2,750.00			11.00	2,750.00
5	FIRE HYDRANT ASSBLY(INSTALL ONLY)	1.00			1,000.00	EA	1,000.00			1.00	1,000.00
6	CHLOR-TESTING	924.00			3.80	LF	3,511.20				
7	CONNECT TO EXIST(INSTALL ONLY)	1.00			1,000.00	EA	1,000.00				
							-		-		-
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XXXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX	24,071.20	XXXXXXXX		XXXXXXXX	19,560.00
XXXXXXXX	(16) CONTRACT TOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX	

PROJECT:		SKYE RANCH N3 PH.4												
CONTRACTOR:		DNA PARTNERS, LLC dba C&M ROAD BUILDERS						PAY REQ.DATE:		MARCH 31, 2024		PAY REQ. NO.		23014-06
(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)			
CONTRACT	ITEM DESCRIPTION	ORIGINAL	CHANGE	CURRENT	UNIT	UNIT	CURRENT	QUANTITY	AMOUNT	QUANTITY	AMOUNT			
NUMBER		CONTRACT	ORDERS	TOTAL	PRICE		CONTRACT	COMPLETED	COMPLETED	COMPLETED	COMPLETED	TO DATE	TO DATE	
							AMOUNT	THIS PERIOD	THIS PERIOD	TO DATE	TO DATE			
	<u>SANITARY SEWER</u>						-		-		-		-	
	<u>SNOWFALL STREET</u>						-		-		-		-	
1	8" PVC DR-26 0-6' PIPE INCLUDED	342.00			50.70	LF	17,339.40			342.00			17,339.40	
2	8" PVC DR-26 6-8' PIPE INCLUDED	591.00			61.50	LF	36,346.50			591.00			36,346.50	
3	8" PVC DR-26 8-10' PIPE INCLUDED	669.00			71.00	LF	47,499.00			669.00			47,499.00	
4	SAN. MH 0-6'(INSTALL ONLY)	2.00			625.00	EA	1,250.00			2.00			1,250.00	
5	SAN. MH 6-8'(INSTALL ONLY)	2.00			900.00	EA	1,800.00			2.00			1,800.00	
6	SAN. MH 8-10'(INSTALL ONLY)	1.00			1,150.00	EA	1,150.00			1.00			1,150.00	
7	SINGLE SEWER SERV(INSTALL ONLY)	8.00			200.00	EA	1,600.00			8.00			1,600.00	
8	DOUBLE SEWER SERV(INSTALL ONLY)	21.00			250.00	EA	5,250.00			21.00			5,250.00	
9	TESTING TV	1,602.00			5.00	LF	8,010.00	1,602.00	8,010.00	1,602.00			8,010.00	
10	CONNECT TO EXIST(NO CORE INCLUDED)	1.00			3,200.00	LS	3,200.00			1.00			3,200.00	
							-		-		-		-	
	<u>GOLDEN DAWN CT</u>						-		-		-		-	
11	8" PVC DR-26 0-6' (PIPE INCLUDED)	406.00			50.70	LF	20,584.20			406.00			20,584.20	
12	SAN. MH 0-6'(INSTALL ONLY)	1.00			625.00	EA	625.00			1.00			625.00	
13	SINGLE SEWER SERV(INSTALL ONLY)	2.00			200.00	EA	400.00			2.00			400.00	
14	DOUBLE SEWER SERV(INSTALL ONLY)	6.00			250.00	EA	1,500.00			6.00			1,500.00	
15	TESTING TV	406.00			5.00	LF	2,030.00	406.00	2,030.00	406.00			2,030.00	
16	CONNECT TO EXIST(NO CORE INCLUDED)	1.00			3,200.00	LS	3,200.00			1.00			3,200.00	
							-		-		-		-	
							-		-		-		-	
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							-		-		-		-	
XXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXX	XXXXXXX	XXXXXXX	XXXXXXX	XXXX	151,784.10	XXXXXXX	10,040.00	XXXXXXX	151,784.10			
XXXXXXX	(16) CONTRACT TOTAL	XXXXXXX	XXXXXXX	XXXXXXX	XXXXXXX	XXXX		XXXXXXX		XXXXXXX				

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT: SKYE RANCH N3 PH.4

CONTRACTOR: DNA PARTNERS, LLC dba C&M ROAD BUILDERS

PAY REQ.DATE: MARCH 31, 2024

PAY REQ. NO. 23014-06

(2) CONTRACT ITEM NUMBER	(3) ITEM DESCRIPTION	(4) ORIGINAL CONTRACT	(5) CHANGE ORDERS	(6) CURRENT TOTAL	(7) UNIT PRICE	(8) UNIT	(9) CURRENT CONTRACT AMOUNT	(10) QUANTITY COMPLETED THIS PERIOD	(11) AMOUNT COMPLETED THIS PERIOD	(12) QUANTITY COMPLETED TO DATE	(13) AMOUNT COMPLETED TO DATE
<u>SANITARY SEWER</u>											
<i>BIG DIPPER</i>											
1	8" PVC DR-26 0-6' PIPE INCLUDED	491.00			50.70	LF	24,893.70			491.00	24,893.70
2	8" PVC DR-26 6-8' PIPE INCLUDED	238.00			61.50	LF	14,637.00			238.00	14,637.00
3	SAN. MH 0-6'(INSTALL ONLY)	2.00			625.00	EA	1,250.00			2.00	1,250.00
4	SINGLE SEWER SERV(INSTALL ONLY)	1.00			200.00	EA	200.00			1.00	200.00
5	DOUBLE SEWER SERV(INSTALL ONLY)	9.00			250.00	EA	2,250.00			9.00	2,250.00
6	TESTING TV	729.00			5.00	LF	3,645.00	729.00	3,645.00	729.00	3,645.00
7	CONNECT TO EXIST(NO CORE INCLUDED)	1.00			3,200.00	LS	3,200.00			1.00	3,200.00
XXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXX	XXXXXXX	XXXXXXX	XXXXXXX	XXXX		XXXXXXX		XXXXXXX	
							50,075.70		3,645.00		50,075.70
XXXXXXX	(16) CONTRACT TOTAL	XXXXXXX	XXXXXXX	XXXXXXX	XXXXXXX	XXXX		XXXXXXX		XXXXXXX	

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT:		SKYE RANCH N3 PH.4											
CONTRACTOR:		DNA PARTNERS, LLC dba C&M ROAD BUILDERS					PAY REQ.DATE:		MARCH 31, 2024		PAY REQ. NO.		23014-06
(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)		
CONTRACT	ITEM	ORIGINAL	CHANGE	CURRENT	UNIT	UNIT	CURRENT	QUANTITY	AMOUNT	QUANTITY	AMOUNT		
NUMBER	DESCRIPTION	CONTRACT	ORDERS	TOTAL	PRICE		CONTRACT	COMPLETED	COMPLETED	COMPLETED	COMPLETED		
							AMOUNT	THIS PERIOD	THIS PERIOD	TO DATE	TO DATE		
<u>ROAD CONSTRUCTION</u>													
<u>SNOW FALL STREET</u>													
1	1" TYPE SP-9.5(FIRST LIFT)	4,490.00			10.30	SY	46,247.00						
2	7" CEMENT TREATED BASE 100 LBR	4,490.00			25.50	SY	114,495.00						
3	8" STAB SUB-BASE 40 LBR	5,164.00			9.40	SY	48,541.60	5,164.00	48,541.60	5,164.00	48,541.60		
4	TYPE F CURB	825.00			25.60	LF	21,120.00						
5	2' VALLEY GUTTER	2,919.00			22.30	LF	65,093.70						
6	TYPE A CURB	165.00			21.20	LF	3,498.00						
7	5' CONC WALK	507.00			53.40	SY	27,073.80						
8	8' CONC TRAIL	655.00			61.20	SY	40,086.00						
9	HANDICAP RAMPS W/MAT	4.00			1,700.00	EA	6,800.00						
10	STRIPING TEMP. FOR ALL 3 PHASES	1.00			2,500.00	LS	2,500.00						
11	BAHIA SOD 8' BACK OF CURB	2,390.00			3.85	SY	9,201.50						
<u>GOLDEN DAWN CT</u>													
12	1" TYPE SP-9.5(FIRST LIFT)	1,460.00			10.30	SY	15,038.00						
13	7" CEMENT TREATED BASE 100 LBR	1,460.00			25.50	SY	37,230.00						
14	8" STAB SUB-BASE 40 LBR	1,679.00			9.40	SY	15,782.60	1,679.00	15,782.60	1,679.00	15,782.60		
15	TYPE F CURB	315.00			25.60	LF	8,064.00						
16	2' VALLEY GUTTER	811.00			22.30	LF	18,085.30						
17	TYPE A CURB	166.00			21.20	LF	3,519.20						
18	5' CONC WALK	174.00			53.40	SY	9,291.60						
19	BAHIA SOD 8' BACK OF CURB	721.00			3.85	LS	2,775.85						
XXXXXXXXX (15) WORK CATEGORY SUBTOTAL XXXXXXXXXX XXXXXXXXXX XXXXXXXXXX XXXXXXXXXX XXXXXXXXXX XXXX 494,443.15 XXXXXXXXXX 64,324.20 XXXXXXXXXX 64,324.20													
XXXXXXXXX (16) CONTRACT TOTAL XXXXXXXXXX XXXXXXXXXX XXXXXXXXXX XXXXXXXXXX XXXXXXXXXX XXXX XXXXXXXXXX XXXXXXXXXX													

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT: SKYE RANCH N3 PH.4

CONTRACTOR: DNA PARTNERS, LLC dba C&M ROAD BUILDERS

PAY REQ.DATE: MARCH 31, 2024

PAY REQ. NO. 23014-06

(2) CONTRACT ITEM NUMBER	(3) ITEM DESCRIPTION	(4) ORIGINAL CONTRACT	(5) CHANGE ORDERS	(6) CURRENT TOTAL	(7) UNIT PRICE	(8) UNIT	(9) CURRENT CONTRACT AMOUNT	(10) QUANTITY COMPLETED THIS PERIOD	(11) AMOUNT COMPLETED THIS PERIOD	(12) QUANTITY COMPLETED TO DATE	(13) AMOUNT COMPLETED TO DATE
	<u>ROAD CONSTRUCTION</u>						-		-		-
	<i>BIG DIPPER DR</i>										
	1" TYPE SP-9.5(FIRST LIFT)	1,901.00			10.30	SY	19,580.30				
	7" CEMENT TREATED BASE 100 LBR	1,901.00			25.50	SY	48,475.50				
	8" STAB SUB-BASE 40 LBR	2,186.00			9.40	SY	20,548.40	2,186.00	20,548.40	2,186.00	20,548.40
	TYPE F CURB	712.00			25.60	LF	18,227.20				
	2' VALLEY GUTTER	1,048.00			22.30	LF	23,370.40				
	5' CONC WALK	163.00			53.40	SY	8,704.20				
	BAHIA SOD 8' BACK OF CURB	932.00			3.85	SY	3,588.20				
XXXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX	142,494.20	XXXXXXXX	20,548.40	XXXXXXXX	20,548.40
XXXXXXXX	(16) CONTRACT TOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX	

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT:		SKYE RANCH N3 PH.4											
CONTRACTOR:		DNA PARTNERS, LLC dba C&M ROAD BUILDERS					PAY REQ.DATE:		MARCH 31, 2024		PAY REQ. NO.		23014-06
(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)		
CONTRACT	ITEM	ORIGINAL	CHANGE	CURRENT	UNIT	UNIT	CURRENT	QUANTITY	AMOUNT	QUANTITY	AMOUNT		
NUMBER	DESCRIPTION	CONTRACT	ORDERS	TOTAL	PRICE		CONTRACT	COMPLETED	COMPLETED	COMPLETED	COMPLETED		
							AMOUNT	THIS PERIOD	THIS PERIOD	TO DATE	TO DATE		
<u>DRAINAGE ALL INSTALL ONLY</u>													
1	10" HDPE	657.00			14.00	LF	9,198.00		-	657.00	9,198.00		
2	12" HDPE	613.00			15.00	LF	9,195.00		-	613.00	9,195.00		
3	15" HDPE	671.00			18.00	LF	12,078.00		-	671.00	12,078.00		
4	18" HDPE	260.00			19.00	LF	4,940.00		-	260.00	4,940.00		
5	24" HDPE	110.00			21.50	LF	2,365.00		-	110.00	2,365.00		
6	30" HDPE	109.00			24.00	LF	2,616.00		-	109.00	2,616.00		
7	36" HDPE	561.00			26.30	LF	14,754.30		-	561.00	14,754.30		
8	15" RCP	60.00			19.00	LF	1,140.00		-	60.00	1,140.00		
9	18" RCP	47.00			21.50	LF	1,010.50		-	47.00	1,010.50		
10	24" RCP	1,151.00			26.50	LF	30,501.50		-	1,151.00	30,501.50		
11	30" RCP	304.00			32.50	LF	9,880.00		-	304.00	9,880.00		
12	36" RCP	183.00			35.00	LF	6,405.00		-	183.00	6,405.00		
13	42" RCP	243.00			41.50	LF	10,084.50		-	243.00	10,084.50		
14	TYPE G C.S	1.00			1,350.00	EA	1,350.00		-	1.00	1,350.00		
15	GRATE INLET	7.00			1,125.00	EA	7,875.00		-	7.00	7,875.00		
16	TYP 9 INLET	1.00			1,450.00	EA	1,450.00		-	1.00	1,450.00		
17	JUNCTION BOX	1.00			1,400.00	EA	1,400.00		-	1.00	1,400.00		
18	YARD DRAIN	28.00			380.00	EA	10,640.00		-	28.00	10,640.00		
19	VALLEY GUTTER INLET	13.00			1,325.00	EA	17,225.00		-	13.00	17,225.00		
20	10" FES	1.00			200.00	EA	200.00		-	1.00	200.00		
21	24" FES	4.00			565.00	EA	2,260.00		-	4.00	2,260.00		
22	42" FES	1.00			900.00	EA	900.00		-	1.00	900.00		
23	4" ROADSIDE UD	3,676.00			23.00	LF	84,548.00		-	3,676.00	84,548.00		
24	4" UD	40.00			250.00	EA	10,000.00		-	40.00	10,000.00		
XXXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX			
							252,015.80		-		252,015.80		
XXXXXXXX	(16) CONTRACT TOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX			

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT:		SKYE RANCH N3 PH.4											
CONTRACTOR:		DNA PARTNERS, LLC dba C&M ROAD BUILDERS					PAY REQ.DATE:		MARCH 31, 2024		PAY REQ. NO.		23014-06
(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)		
CONTRACT	ITEM DESCRIPTION	ORIGINAL	CHANGE	CURRENT	UNIT	UNIT	CURRENT	QUANTITY	AMOUNT	QUANTITY	AMOUNT		
NUMBER		CONTRACT	ORDERS	TOTAL	PRICE		CONTRACT	COMPLETED	COMPLETED	COMPLETED	COMPLETED		
							AMOUNT	THIS PERIOD	THIS PERIOD	TO DATE	TO DATE		
<u>IRRIGATION INSTALL ONLY</u>													
	SNOW FALL						-		-		-		
1	6" PVC C-900 IRRIG	1,976.00			15.00	LF	29,640.00		-	1,976.00	29,640.00		
2	1" SINGLE SERV SHORT	6.00			180.00	EA	1,080.00		-	6.00	1,080.00		
3	1" SINGLE SERV LONG	3.00			250.00	EA	750.00		-	3.00	750.00		
4	1" DOUBLE SERV SHORT	9.00			250.00	EA	2,250.00		-	9.00	2,250.00		
5	1" DOUBLE SERV LONG	16.00			275.00	EA	4,400.00		-	16.00	4,400.00		
6	2" COMMON SERV SHORT	5.00			450.00	EA	2,250.00		-	5.00	2,250.00		
7	2" COMMON SERV LONG	2.00			575.00	EA	1,150.00		-	2.00	1,150.00		
8	6" GATE VALVE	4.00			350.00	EA	1,400.00		-	4.00	1,400.00		
9	4" BLOW OFF	1.00			600.00	EA	600.00		-		-		
10	6" BLOW OFF	1.00			700.00	EA	700.00		-		-		
11	TESTING	1,976.00			3.25	LF	6,422.00		-		-		
							-		-		-		
<u>GOLDEN DAWN</u>													
12	4" PVC C-900 IRRIG	423.00			13.00	LF	5,499.00		-	423.00	5,499.00		
13	1" SINGLE SERV SHORT	2.00			200.00	EA	400.00		-	2.00	400.00		
14	1" SINGLE SERV LONG	1.00			250.00	EA	250.00		-	1.00	250.00		
15	1" DOUBLE SERV SHORT	2.00			250.00	EA	500.00		-	2.00	500.00		
16	1" DOUBLE SERV LONG	4.00			375.00	EA	1,500.00		-	4.00	1,500.00		
17	2" COMMON SERV SHORT	3.00			475.00	EA	1,425.00		-	3.00	1,425.00		
18	PERM BLOWOFF	1.00			650.00	EA	650.00		-		-		
19	TESTING	423.00			3.25	LF	1,374.75		-		-		
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XXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXX	XXXXXXX	XXXXXXX	XXXXXXX	XXXX	62,240.75	XXXXXXX	-	XXXXXXX	52,494.00		
XXXXXXX	(16) CONTRACT TOTAL	XXXXXXX	XXXXXXX	XXXXXXX	XXXXXXX	XXXX		XXXXXXX		XXXXXXX			

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT:		SKYE RANCH N3 PH.4										
CONTRACTOR:		DNA PARTNERS, LLC dba C&M ROAD BUILDERS						PAY REQ.DATE: MARCH 31, 2024		PAY REQ. NO. 23014-06		
(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)	
CONTRACT	ITEM	ORIGINAL	CHANGE	CURRENT	UNIT	UNIT	CURRENT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	
NUMBER	DESCRIPTION	CONTRACT	ORDERS	TOTAL	PRICE		CONTRACT	COMPLETED	COMPLETED	COMPLETED	COMPLETED	
							AMOUNT	THIS PERIOD	THIS PERIOD	TO DATE	TO DATE	
	<u>IRRIGATION INSTALL ONLY</u>						-		-		-	
	<u>BIG DIPPER</u>						-		-		-	
1	4" PVC C-900 IRRIG	954.00			13.00	LF	12,402.00			954.00	12,402.00	
2	1" SINGLE SERV SHORT	1.00			200.00	EA	200.00			1.00	200.00	
3	1" DOUBLE SHORT	5.00			250.00	EA	1,250.00			5.00	1,250.00	
4	1" DOUBLE SERV LONG	4.00			375.00	EA	1,500.00			4.00	1,500.00	
5	2" COMMON SERV SHORT	2.00			475.00	EA	950.00			2.00	950.00	
6	2" COMMON SERV LONG	1.00			575.00	EA	575.00			1.00	575.00	
7	4" GATE VALVE	1.00			250.00	EA	250.00			1.00	250.00	
8	2 PERM BLOWOFF	1.00			650.00	LF	650.00					
9	TESTING	954.00			3.25	LF	3,100.50					
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XXXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX		
							20,877.50		-		17,127.00	
XXXXXXXX	(16) CONTRACT TOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX		

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT: SKYE RANCH N3 PH.4

CONTRACTOR: DNA PARTNERS, LLC dba C&M ROAD BUILDERS

PAY REQ. DATE: MARCH 31, 2024

PAY REQ. NO. 23014-06

(2) CONTRACT ITEM NUMBER	(3) ITEM DESCRIPTION	(4) ORIGINAL CONTRACT	(5) CHANGE ORDERS	(6) CURRENT TOTAL	(7) UNIT PRICE	(8) UNIT	(9) CURRENT CONTRACT AMOUNT	(10) QUANTITY COMPLETED THIS PERIOD	(11) AMOUNT COMPLETED THIS PERIOD	(12) QUANTITY COMPLETED TO DATE	(13) AMOUNT COMPLETED TO DATE
<i>MISCELLANEOUS</i>											
1	STAKEOUT	1.00			38,800.00	LS	38,800.00	0.05	1,940.00	0.80	31,040.00
2	AS-BUILTS	1.00			17,600.00	LS	17,600.00	0.05	880.00	0.80	14,080.00
3	GEO TESTING	1.00			12,400.00	LS	12,400.00	0.30	3,720.00	0.80	9,920.00
4	ADDITIONAL UTILITY MAT'L	co#1	1.00		353,854.93	LS					
4a	SANITARY SEWER		1.00		39,599.52	LS	39,599.52			1.00	39,599.52
4b	DOMESTIC WATER		1.00		65,941.77	LS	65,941.77			1.00	65,941.77
4c	DOEMSTIC WATER SERVICES		1.00		48,277.95	LS	48,277.95			1.00	48,277.95
4d	RECLAIM WATER		1.00		40,270.02	LS	40,270.02			1.00	40,270.02
4e	RECLAIM WATER SERVICES		1.00		79,631.94	LS	79,631.94			1.00	79,631.94
4f	STORM DRAINAGE		1.00		80,133.73	LS	80,133.73			1.00	80,133.73
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XXXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX	422,654.93	XXXXXXXX	6,540.00	XXXXXXXX	408,894.93
XXXXXXXX	(16) CONTRACT TOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX	1,888,531.93	XXXXXXXX	137,042.60	XXXXXXXX	1,267,850.13

AUTHORIZING ADDENDUM # 8- Skye Ranch - 1
TO
MASTER LAND DEVELOPMENT SERVICES AGREEMENT

TAYLOR MORRISON:
TAYLOR MORRISON OF FLORIDA, INC.,
a Florida corporation

CONTRACTOR:
DEME Construction, LLC,
a Florida Limited Liability Company

Job Code: 14280400
Land DEV PO: 14280400-TBD

NOTICE TO PROCEED DATE: 06/07/2023
SUBSTANTIAL COMPLETION DATE: See Exhibit

DESCRIPTION OF WORK:

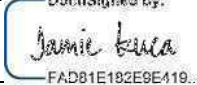
This Authorizing Addendum to Master Land Development Services Agreement (“**Authorizing Addendum**”) is made and entered into effective as of 7th day of June, 2023 by and between Taylor Morrison of Florida, Inc., a Florida corporation (“**Taylor Morrison**”) and DEME Construction, LLC a Florida Limited Liability Company (“**Contractor**”), with respect to the Master Land Development Services Agreement between Taylor Morrison and Contractor dated November 7th, 2013 (the “**Agreement**”).


1. Scope/Work. Pursuant to the Agreement, Contractor shall perform the Work for the Contract Price and within the time frame set forth on **Exhibit A** attached to this Authorizing Addendum.
2. Site. The Work will be performed at the job site (the “**Site**”), the location of which is identified on **Exhibit B** attached hereto.

Unless otherwise defined herein, all capitalized terms used in this Authorizing Addendum shall have the meanings set forth in the Agreement. This Authorizing Addendum may be executed simultaneously or in counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. In the event of a conflict between the provisions of the Agreement and this Authorizing Addendum, the Agreement shall control except to the extent that the Authorizing Addendum specifically states that a provision is intended to modify the Agreement. Except as supplemented by this Authorizing Addendum, all provisions of the Agreement shall remain in full force and effect.

TAYLOR MORRISON:
TAYLOR MORRISON OF FLORIDA, INC.,
a Florida corporation

CONTRACTOR:
DEME Construction, LLC,
a Florida Limited Liability Company

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By: _____
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By: _____
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Name: Jamie Kuca


Name: Alex Deme

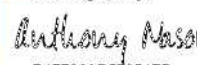
Title: PM Land Development

Title: Vice President

Date: 6/26/2023

Date: 6/22/2023

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6/27/2023

**AUTHORIZING ADDENDUM # 8- Skye Ranch - 1
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

**EXHIBIT A
SCOPE/CONTRACT PRICE/SCHEDULE**

Job No.: 14280400
Land DEV PO : 14280400-TBD
 Taylor Morrison's Representative: Jamie Kuca
 Contractor's Representative: Alex Deme

1. **Schedule.** See Exhibit D

2. **Contract Price/Budget.** The Contract Price is as follows: See Exhibit C for Detailed Schedule of Values

Skye Ranch Neighborhood 4 South (Phase 1)	
BID SCHEDULE - REV 00	
Bid Date:	Friday, March 31, 2023
Bid Due Date:	Thursday, April 28, 2022
Bid Plan No., Rev No.	Skye Ranch N4S - REV04
Contractor	Deme Construction
SUMMARY	
Potable Water	\$245,239.30
Wastewater	\$433,585.36
Paving	\$486,675.58
Drainage	\$1,048,462.60
Irrigation	\$190,881.55
Earthwork	\$815,749.65
Survey	\$93,760.00
Geotechnical Testing	\$30,000.00
TOTAL =	\$3,344,354.04
Notes:	
1. It is the responsibility of the contractor to verify all quantities prior to submitting any bids. Any discrepancies shall be noted in the Contractor Quantity Column and calculated into the line item amount.	

3. **Hourly Fee Schedule.** N/A

4. **Additional or Modified Provisions.** NA

5. **Description of Work.** Contractor shall provide the following services for the Project (the "Work"):
 - Earthwork and Underground Utilities – Neighborhood 4 South(Phase I)

WET UTILITIES SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Wet Utilities Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

- 1. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").
- 2. Select applicable provision by checking Option 2(A) OR 2(B):

A. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

B. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

- 3. One mobilization to be included in Agreement. Additional mobilization costs must also be provided.
- 4. Contractor shall coordinate services of surveying and observation contractors designated by Taylor Morrison;
- 5. The Contractor shall provide all materials, equipment, and labor necessary to install sewer, water and storm drain improvements as set forth in the Contract Documents. The Work shall include, but is not limited to: trenching, excavating, backfilling and compacting, bacteria, compaction, camera, and pressure testing, furnishing and installing bedding, pipe, fittings, valves, valve boxes and covers, fire hydrants, manholes, plugs, clean-outs, taps, services, meter boxes and lids, and any other necessary appurtenances.
- 6. Prior to commencing any other work, the Contractor shall expose all existing sewer tie-ins so that the surveyors can verify their locations.
- 7. Contractor shall install sewer services as follows: Sewer services to be stubbed into property five (5) feet behind the PUE. Sewer taps shall be marked with a 2x4 metal stud. The metal stud shall extend from the sewer tap to 3' above finished grade. Contractor shall paint top twelve (12) inches of metal stud green. The sewer tap should be installed with two 45 degree elbows and extended to within one (1) foot of finished grade. A 3/8" x 12" length of #4 rebar shall be duct taped to end of sewer tap;
- 8. Contractor shall stub water services up six (6) inches above grade and set to grade after sidewalk installation;

9. If water main valve boxes are located behind sidewalk, Contractor shall adjust them to grade after sidewalk installation;
10. Contractor shall remove any excess or miscellaneous materials from lots prior to receiving final payment;
11. Contractor will return site to +/- .3 ft. of original grade including lots, R.O.W., and P.U.E., and will be confirmed by Taylor Morrison's Designated Representative. Any excess dirt, ABC, or chips remaining after all trenches have been backfilled and compacted shall be spread evenly in the streets. Contractor will be responsible for all testing and coordination with inspectors or government entities. The Contractor will leave all trenches open long enough to allow as-built locations to be verified by the Owner's surveyor.
12. All sewer and water tie-ins that are in existing pavement will be permanently patched back by the sewer and water contractor, per governing municipality/provider requirements.
13. Contractor pricing to include municipality/private provider approved methods for backfill.
14. Contractor will provide all necessary barricades, barricade plans and traffic control plans. Contractor is responsible for city or county acceptance if necessary.
15. Contractor shall include in its bid price the cost for two air pressure and camera tests of the sewer system. One test will be after the sewer has been installed to verify that it has been installed correctly, and one test after the remainder of the underground utilities have been installed to verify that the sewer was not damaged by the installation of other utilities.
16. This proposal is to be based on the use of standard trenching equipment equivalent to a 125,000-pound class excavator with a rock bucket and with a production rate of at least 200 linear feet per an 8-hour working day. All excavation beyond the capability of the said equipment at the said production rate will be considered hard excavation.
17. Bidding Contractors to visit the site and account for any borings that may be necessary for any irrigation crossings.
18. Taylor Morrison' shall be notified by Contractor 48 hours prior to any staking being required;
19. The Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur will become the responsibility of the Contractor to repair if the original survey stakes are missing when any problems are found.
20. All costs associated with maintaining all dust control are included in the Agreement – this includes, but is not limited to, all dust generating activities, haul roads around the site, trenching, machine work, and using provided ingress/egress to and from the site. etc.
21. Contractor must use provided entrances/exits when arriving or leaving site. Any fines/violations incurred for this failure to comply will be paid by contractor. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during operations.
22. Contractor shall supply weekly safety and dust records.

GRADING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Grading Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

23. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").

24. Select applicable provision by checking either Option 2(A) **OR** 2(B):

C. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

D. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

- 25. The Work includes hurricane pump and/or pump/standpipe to fill water pulls and trucks.
- 26. Contractor shall provide earthwork calculations in its bid submittal.
- 27. Contractor shall coordinate its equipment line up with Taylor Morrison.
- 28. Contractor shall notify Taylor Morrison 48 hours prior to any staking or testing being required.
- 29. Contractor shall undercut all basins _____, or per direction of Taylor Morrison.
- 30. Contractor shall undercut all street 0.20' and leave all street subgrade flat (no crown).
- 31. Contractor shall cut all sidewalk areas 3" from top of curb elevation.
- 32. Contractor shall build stepped pads when adjacent pad differential is equal to or greater than 0.25' and rake when less than 0.25'.
- 33. Contractor shall overbuild front yards 5' from BSL on Final Plat and slope to sidewalk grade (do not bench).
- 34. Contractor shall overbuild all property lines 2' to allow for wall footing.
- 35. Contractor shall overbuild all areas with sidewalks a minimum of 18".

- 36. Contractor shall cut all retaining walls back 3' and leave spoils on the upper pad side to allow for backfill of retaining walls.
- 37. Contractor shall cut basins _____ in retention basins with dry wells, or per direction of Taylor Morrison, to make room for dry well spoils.
- 38. Contractor must supply weekly safety report and dust control records.
- 39. Contractor is required to have a Certified Dust Coordinator onsite at all times during operations, without exception.

Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during grading operation
MATERIALS TESTING AND ENGINEER OF RECORD SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Material Testing and Engineer of Record Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

- 40. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").
- 41. Select applicable provision by checking Option 2(A) OR 2(B):

E. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

F. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

Materials Testing-

- 42. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.
- 43. Contractor shall sample and test earthwork for building pads, trench backfill and subgrade beneath paving, curbs, gutters and sidewalks.
- 44. Contractor shall sample and test concrete for curbs, gutters and sidewalks.
- 45. Contractor shall sample and test ABC below asphaltic concrete pavement.

46. Contractor shall sample and test asphaltic concrete materials.

47. Contractor shall sample and test electrical for SRP equipment pads.

Observation-

48. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.

49. Contractor shall observe all earthwork and trenching operations.

50. Contractor shall observe placement of concrete for curbs, gutters and sidewalks.

51. Contractor shall observe placement of asphaltic concrete materials.

Engineer of Record-

52. Contractor shall be the Engineer of Record for ADEQ/MCESD certification and coordinate all activities with Taylor Morrison and the municipal inspector;

53. Engineer of Record shall observe construction of the water and sewer lines, keep paper record of all testing operations, and provide records to Taylor Morrison within 24 hours of testing (including but not limited to water pressure tests, water bacteriological tests, sewer air tests, sewer pressure tests, and mandrel).

54. Engineer of Record shall review the filming of the sewer lines, certify the as-built drawings, and provide the written Approval of Construction documentation to Taylor Morrison for submittal to ADEQ.

Reports-

55. Reports shall be generated in a timely manner and disseminated to Taylor Morrison and its applicable contractors.

56. Weekly field/progress reports shall be submitted to Taylor Morrison.

PAVING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Paving Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

57. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").

58. Select applicable provision by checking either Option 2(A) **OR** 2(B):

G. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

H. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

- 59. Contractor shall clean out all laydown machines and other equipment in designated areas only, as determined by Taylor Morrison's Designated Representative.
- 60. Contractor's Work shall be performed in strict accordance with the Project's Contract Documents.
- 61. Contractor is required to furnish all labor, equipment, and materials to construct the improvements as set forth in the Project's Contract Documents. This work shall include but is not limited to: paving asphalt, subgrade prep, installing and prepping A.B.C., achieving compaction, adjust manholes, valves, and cleanouts, as well as providing and installing: barricades, survey monuments, fire hydrant markers, street sign bases, signage and striping, and temporary and/or permanent barricading.
- 62. Contractor shall re-grade any areas disturbed by the water, sewer, or utility contractors. The cost of this work shall be included in the bid, assuming the grade left by all utility contractors 0.30' from the original rough grade or 0.30' from design grade.
- 63. Contractor shall notify Taylor Morrison's Designated Representative at least 48 hours prior to any staking being required.
- 64. Contractor shall notify Taylor Morrison's Designated Representative at least 24 hours prior to any asphalt being placed for the purpose of coordinating testing.
- 65. Contractor shall be responsible for coordinating with Taylor Morrison's Designated Representative to provide a water truck for flow testing curb and paving, which cost shall be included in Contractor's bid.
- 66. Contractor shall be responsible for manhole adjustments, water and gas valve adjustments, street signs and bases, barricades, fire hydrant markers, striping, monuments, etc.
- 67. Contractors' bid shall include the cost of any removals, saw cuts, etc.
- 68. Contractor's bid shall include the cost of one mobilization. Additional mobilization costs must also be provided.
- 69. All entrances used by Contractor shall be kept clean, either by sweeping or washed with a water truck. Any track out shall be cleaned by Contractor on a daily basis.
- 70. Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur shall become the responsibility of the Contractor to repair, if the original survey stakes are missing when

any problems are found. Any utilities or property pins damaged or removed during Contractor's work shall be repaired or replaced at the Contractor's expense.

- 71. Contractor shall exercise care around all existing improvements. Contractor shall arrange to walk the site with Taylor Morrison's Designated Representative before Contractor starts its work to determine the extent and location of any cracks in the concrete, the cleanliness of the manholes and the condition of water valves, etc. Any cleanup or repair needed for Contractor's pre-paving work shall be done by the Contractor at its own expense before the paving operation begins.
- 72. Contractor shall be responsible for all traffic control including barricades, as required by public authorities and Owner. Contractor shall obtain an approved traffic control plan, if the municipality or County within which the Project is located requires a traffic control plan.
- 73. Normal soil conditions are those outlined in the Soils Report. Any ripping, jack hammering, or blasting that is necessary to perform the work shall be included in Contractor's bid.

CONCRETE SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Concrete Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

- 74. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").

- 75. Select applicable provision by checking either Option 2(A) **OR** 2(B):

I. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to the Project, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

J. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

- 76. Parkway Grading - Proposal shall include backfilling against curb and sidewalk so as to prevent water settlement under concrete (parkway grading) to comply with municipal requirements and MAG specifications. Sidewalk and pavement area to be swept clean after backfilling.
- 77. Contractor to take necessary precautions to prevent debris from getting into manholes. At start and completion of concrete installation, Contractor shall schedule an inspection of manholes with Taylor Morrison Designated Representative and shall be responsible for any cleaning needed at that time

due to Contractor's operations. Contractor to provide laborer to open manhole covers for inspection and replace.

78. Contractor to maintain all water and sewer location markers. Contractor shall walk the Project prior to starting any work to verify grade and identify sewer and water markers (2" x 4" stud). Any marker damaged by the Contractor and/or its subcontractors shall be replaced immediately by the Contractor and to the acceptance of Taylor Morrison. Should Contractor fail to repair damaged markers, Taylor Morrison shall have the damaged markers repaired at Contractor's expense.
79. Contractor shall be responsible for all costs necessary to repair and/or replace water meter boxes damaged or removed by Contractor's operation.
80. Contractor shall notify Taylor Morrison Designated Representative as to the location of any concrete that Governing Authorities require be moved or replaced in order to obtain approvals prior to removing or replacing. Contractor shall also submit a T&M Rate Sheet and provide unit prices for all removal and replacement items.
81. The various types of concrete structure shall be constructed to the dimensions indicated on the plans, standard detail drawing(s), MAG specifications, and all municipal authorities.
82. All valley gutters and aprons are to be poured with 4000 psi (MAG AA) concrete with fiber mesh (***if required by municipality***). Contractor shall be responsible for the coordination and placement of the valley gutters after the asphalt base course ("ABC") has been installed and prior to paving. Paving Contractor shall coordinate schedule for valley gutters directly with Concrete Contractor.
83. Aprons shall be string lined between curb returns prior to placing concrete, to ensure proper flow at the valley gutter.
84. Contractor shall be responsible to comply with any and **all** ADA requirements that apply to sidewalks and ramps.
85. Contractor is responsible for adjustments of all water valves that end up in the concrete.
86. Contractor is responsible for all traffic control associated with this Scope of Work. Contractor is required to coordinate and submit all traffic control plans and obtain all necessary permits, if applicable.
87. All structures (i.e., headwalls, scuppers, catch basins, box culverts, spillways, etc.) are to be a separate line item bid on this Project, if applicable. Bid to include necessary excavation and backfill, as well as any required guardrails and grates. Taylor Morrison reserves the right to reject these bid items.
88. Shotcrete, grouted riprap, or loose laid rip rap are to be a separate line item on this Project, if applicable. Taylor Morrison reserves the right to reject these bid items.
89. All sewer and water services are to be stamped to comply with municipal requirements and MAG specifications. 4" Letters are preferred, "S" for sewer, "W" for water.
90. All connections between headwalls and storm drain pipe to be accomplished by use of Sonotube for flush headwall surface and proper shape of pipe opening.
91. Contractor to include a separate line item bid to upgrade all concrete to 4000 psi.

92. Contractor to include a separate line item bid to mobilize and balance curb, gutter, and sidewalk sub-grade, after dry utility backfill is complete, if necessary.
93. Contractor is required to identify any conflicts, including underground utilities, with the scope of their work prior to starting construction. Contractor shall be responsible for any damage to underground utilities during the scope of their work. All utility plans shall be provided to Contractor by Taylor Morrison, if requested.
94. Contractor is responsible for providing a water truck for water flow test at pre-final and final inspection.
95. Contractor shall instruct its employees to park in designated area(s). Taylor Morrison's Designated Representative shall designate parking and staging area(s).
96. Dust Control Fines: Contractor shall be responsible for its prorated share of any fines levied by the County Attorney's Office, or other applicable Governing Authority. Contractor shall provide water truck and adhere to strict dust control measures.
97. Contractor is responsible to notify Taylor Morrison 48 hours in advance for any staking requests. Contractor may be responsible for coordinating all staking requests with the surveyor.
98. Contractor shall provide costs on mailbox pad specification for 8" thick and verify size and locations with Taylor Morrison's Designated Representative.
99. If landscape plans are provided, Contractor's bid shall include all concrete on landscape plans.
100. All concrete debris shall be cleaned up within 24 hours of completion of the Work.
101. Contractor is responsible for periodic cleanup as needed, with a cleanup scheduled for each Friday at a minimum. The Project shall not be considered substantially complete until all debris from Contractor's operation is removed.
102. Contractor must supply weekly safety report and dust control records.
103. Contractor is required to have a Certified Dust Coordinator onsite at all times during operations, without exception.
104. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during operations.

**AUTHORIZING ADDENDUM # 8- Skye Ranch - 1
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

**EXHIBIT B
JOB SITE**

Neighborhood 4 South

LT RANCH

Sections 15, 16, 21, 27, 28 & 33, Township 37 South, Range 19 East,
Sarasota County, Florida



AUTHORIZING ADDENDUM # 8- Skye Ranch - 1
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES

Exhibit C
Schedule of Values

POTABLE WATER						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
W-1	8" PVC WM (C900 DR-18)	2,031	2,040	LF	\$ 51.25	\$104,550.00
W-2	4" PVC WM (C900 DR-18)	577	590	LF	\$ 25.62	\$15,115.80
W-3	8" Gate Valve	5	5	EA	\$ 3,010.00	\$15,050.00
W-4	4" Gate Valve	3	3	EA	\$ 1,815.00	\$5,445.00
W-5	Double Service (Short)	8		EA		\$0.00
W-6	Double Service (Long)	10	10	EA	\$ 1,793.65	\$17,936.50
W-7	1" Single Service (Short)	9	26	EA	\$ 886.00	\$23,036.00
W-8	1" Single Service (Long)	14	14	EA	\$ 1,070.00	\$14,980.00
W-9	Temporary Autoflusher	1	2	EA	\$ 2,017.50	\$4,035.00
W-10	Hydrant Assembly	3	4	EA	\$ 7,690.00	\$30,760.00
W-11	Chlorination & Testing	2,608	1	LF	\$ 6,810.00	\$6,810.00
Additional Items						
	Temp 6" Jumper		1	EA	\$ 1,545.00	\$1,545.00
	2" Temp Blow Off		2	EA	\$ 1,160.00	\$2,320.00
	Remove TBO and Connect to Exist 8"		1	EA	\$ 1,015.00	\$1,015.00
	6" PVC SDR 18		95	LF	\$ 27.80	\$2,641.00
					TOTAL	\$245,239.30
Notes:						
1. Fittings are to be included in linear foot price for pipe.						
2. Additional line items determined by the contractor are to be placed below total.						

WASTEWATER						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
WW-1	8" PVC Sanitary Sewer SDR-26 (0-6')	309	386	LF	\$ 38.85	\$14,996.10
WW-2	8" PVC Sanitary Sewer SDR-26 (6-8')	397	366	LF	\$ 48.85	\$17,879.10
WW-3	8" PVC Sanitary Sewer SDR-26 (8-10')	543	568	LF	\$ 49.80	\$28,286.40
WW-4	8" PVC Sanitary Sewer SDR-26 (10-12')	723	659	LF	\$ 57.25	\$37,727.75
WW-5	8" PVC Sanitary Sewer SDR-26 (12-14')	476	467	LF	\$ 62.90	\$29,374.30
WW-6	8" PVC Sanitary Sewer SDR-26 (14-16')	568	546	LF	\$ 93.25	\$50,914.50
WW-7	Manhole 4' Diameter (0-6')	2	3	EA	\$ 7,017.27	\$21,051.81
WW-8	Manhole 4' Diameter (6-8')	3	3	EA	\$ 7,757.97	\$23,273.91
WW-9	Manhole 4' Diameter (8-10')	3	3	EA	\$ 9,396.63	\$28,189.89
WW-10	Manhole 4' Diameter (10-12')	4	3	EA	\$ 10,334.18	\$31,002.54
WW-11	Manhole 4' Diameter (12-14')	2	1	EA	\$ 11,808.45	\$11,808.45
WW-12	Manhole 4' Diameter (14-16')	1	2	EA	\$ 13,037.15	\$26,074.30
WW-13	Single Lateral Service	11	13	EA	\$ 1,050.00	\$13,650.00
WW-14	Double Lateral Service	32	37	EA	\$ 1,480.00	\$54,760.00
WW-15	Testing and Inspection (TV, Mandrel & Air)	3,016	1	LF	\$ 9,050.00	\$9,050.00
Additional Items						
	8" PVC Sanitary Sewer SDR-26 (16-18')		24	LF	\$ 107.00	\$2,568.00
	8" PVC Boot and Connect to Exist Manhole		1	LS	\$ 32,012.89	\$32,012.89
	8" PVC Stub and Plug		2	EA	\$ 482.71	\$965.42
					TOTAL	\$433,585.36
Notes:						
1. Fittings are to be included in linear foot price for pipe.						
2. Additional line items determined by the contractor are to be placed below total.						

PAVING						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
P-1	1" Type SP-9.5 Asphalt 1st Lift	6,407	6,420	SY	\$ 11.25	\$72,225.00
P-2	7" Shell Base (98% Density LBR 100)	6,407		SY		\$0.00
P-3	8" Subgrade (Type B Stabilization LBR 40)	7,368	7,939	SY	\$ 7.23	\$57,398.97
P-4	1st Lift Temp. Striping (Sinage by others)	1		LS		\$0.00
P-5	2' Valley Gutter	3,277	3,245	LF	\$ 18.80	\$61,006.00
P-6	Type F Curb	1,812	1,965	LF	\$ 22.30	\$43,819.50
P-7	4" Concrete Sidewalk (8' wide)	406	12,894	SY	\$ 6.64	\$85,616.16
P-8	4" Concrete Sidewalk (5' wide)	901		SY		\$0.00
P-9	Bahia Sod (8' BOC - Front of Lots Only)	2,780	4,053	SY	\$ 2.80	\$11,348.40
P-10	ADA Handicapped Ramps w/ Detectable Warnings	6	6	EA	\$ 1,315.00	\$7,890.00
Additional Items						
	Temporary Striping		1	LS	\$ 2,500.00	\$2,500.00
	6" Soil Cement		6,420	SY	\$ 18.30	\$117,486.00
	Final Dress		1	LS	\$ 21,784.04	\$21,784.04
	Emergency Access Drive		327	SY	\$ 17.13	\$5,601.51
					TOTAL	\$486,675.58
Notes:						
1. Additional line items determined by the contractor are to be placed below total.						
2. Second Lift Asphalt by others.						
3. Sod BOC Common area by others.						

DRAINAGE						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
D-1	12" HDPE	874	814	LF	\$ 35.25	\$28,693.50
D-2	15" HDPE	520	520	LF	\$ 41.15	\$21,398.00
D-3	18" HDPE	118	118	LF	\$ 49.00	\$5,782.00
D-4	15" RCP	366	386	LF	\$ 53.00	\$20,458.00
D-5	18" RCP	443	443	LF	\$ 64.30	\$28,484.90
D-6	24" RCP	814	458	LF	\$ 88.25	\$40,418.50
D-7	30" RCP	820	810	LF	\$ 148.00	\$119,880.00
D-8	36" RCP	532	532	LF	\$ 188.00	\$100,016.00
D-9	42" RCP	480	480	LF	\$ 240.00	\$115,200.00
D-10	Yard Drain	17	17	EA	\$ 3,830.00	\$65,110.00
D-11	Grate Inlet	6	6	EA	\$ 5,425.00	\$32,550.00
D-12	Valley Gutter Inlet	12	12	EA	\$ 6,810.00	\$81,720.00
D-13	Type "9" Curb Inlet	5	5	EA	\$ 11,718.16	\$58,590.80
D-14	Control Structures	1	1	EA	\$ 11,140.00	\$11,140.00
D-15	Rip Rap Outfall Structures	2	2	EA	\$ 8,755.00	\$17,510.00
D-16	12" Flared End	2	2	EA	\$ 2,510.00	\$5,020.00
D-17	18" Flared End	2	2	EA	\$ 3,770.00	\$7,540.00
D-18	24" Flared End	5	5	EA	\$ 5,275.00	\$26,375.00
D-19	30" Flared End	6	6	EA	\$ 6,415.00	\$38,490.00
D-20	36" Flared End	3	3	EA	\$ 7,280.00	\$21,840.00
D-21	42" Flared End	2	2	EA	\$ 8,085.00	\$16,170.00
D-22	4" Underdrain with cleanout	4,391	4,391	LF	\$ 34.90	\$153,245.90
Additional Items						
	18" Storm Plug		2	EA	\$ 955.00	\$1,910.00
	24" Storm Plug		2	EA	\$ 1,050.00	\$2,100.00
	30" Storm Plug		2	EA	\$ 1,160.00	\$2,320.00
	24" Concrete Collar		2	EA	\$ 785.00	\$1,570.00
	Connect to Exist Pond		1	EA	\$ 5,625.00	\$5,625.00
	Connect to Exist Wetlan		2	EA	\$ 3,750.00	\$7,500.00
	Connect to End of Exist 24" RCP		2	EA	\$ 785.00	\$1,570.00
	Storm Testing		1	LS	\$ 10,235.00	\$10,235.00
					TOTAL	\$1,048,462.60
Notes:						
1. Additional line items determined by the contractor are to be placed below total.						

IRRIGATION						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
I-1	8" PVC Irrigation Main (C900 DR-18)	506	505	LF	\$ 52.94	\$26,734.70
I-2	6" PVC Irrigation Main (C900 DR-18)	1,510	1,510	LF	\$ 36.04	\$54,420.40
I-3	4" PVC Irrigation Main (C900 DR-18)	669	685	LF	\$ 25.17	\$17,241.45
I-4	8" Gate Valve	2	1	EA	\$ 3,045.00	\$3,045.00
I-5	6" Gate Valve	3	3	EA	\$ 2,270.00	\$6,810.00
I-6	4" Gate Valve	3	3	EA	\$ 1,975.00	\$5,925.00
I-7	1" Single service (short)	15	15	EA	\$ 833.00	\$12,495.00
I-8	1" Double service (short)	9	9	EA	\$ 1,830.00	\$16,470.00
I-9	1" Single service (long)	12	12	EA	\$ 1,060.00	\$12,720.00
I-10	1" Double service (long)	6	6	EA	\$ 2,220.00	\$13,320.00
I-11	2" single service (COMMON)short	4	3	EA	\$ 1,395.00	\$4,185.00
I-12	2" Blowoff Assembly	2	2	EA	\$ 4,495.00	\$8,990.00
I-13	Testing and Inspection	2,685	1	LF	\$ 3,375.00	\$3,375.00
Additional Items						
	2" Temp Blow Off Assembly		3	EA	\$ 876.00	\$2,628.00
	2" single service (COMMON)Long		1	EA	\$ 1,895.00	\$1,895.00
	Remove TBO and Connect to Exist		1	EA	\$ 627.00	\$627.00
					TOTAL	\$190,881.55
Notes:						
1. Fittings are to be included in linear foot price for pipe.						
2. Additional line items determined by the contractor are to be placed below total.						

EARTHWORK						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
E-1	Double Row Silt Fence	1,953	1,927	LF	\$ 4.30	\$8,286.10
E-2	Single Row Silt Fence	3,820	3,945	LF	\$ 2.15	\$8,481.75
E-3	Inlet Protection Device	25	77	EA	\$ 188.00	\$14,476.00
E-4	Finish Grading (Lots & ROW)	32.10	1	LS	\$ 21,785.00	\$21,785.00
E-5	Rough Grading (Lots & ROW)	32.10	1	LS	\$ 29,045.00	\$29,045.00
E-6	Seed and Mulch (Lots)	26.0	125,586	SY	\$ 0.45	\$56,513.70
E-7	Bahia Sod (pond slope stabilization TOB-NWL)	10,889	15,675	SY	\$ 2.80	\$43,890.00
E-8	Bahia Sod (6' wide rear yard swales)	2,353		SY		
E-9	NPDES Compliance	1	1	LS	\$ 9,625.00	\$9,625.00
E-10	Pond LL1 Excavation (20' depth)	18,461		CY		\$0.00
E-11	Pond L4 Excavation (20' depth)	81,458	147,505	CY	\$ 3.10	\$457,265.50
E-12	Pond L5 Excavation (15.5' depth)	70,830		CY		\$0.00
E-13	Grading Berms per Berm Plan (3' high)	2,122		LF		\$0.00
E-14	Moilization	1	1	EA	\$ 7,725.00	\$7,725.00
E-15	Construction Entrance	1	1	EA	\$ 5,625.00	\$5,625.00
Additional Items						
	Tree Barricades		240	LF	\$ 6.50	\$1,560.00
	Discing		45.2	AC	\$ 583.00	\$26,351.60
	Clearing		1	LS	\$ 123,500.00	\$123,500.00
	locate existing utilities		1	LS	\$ 1,620.00	\$1,620.00
TOTAL						\$815,749.65
Notes:						
1. Additional line items determined by the contractor are to be placed below total.						
2. Assume berm final grading/shaping by others.						

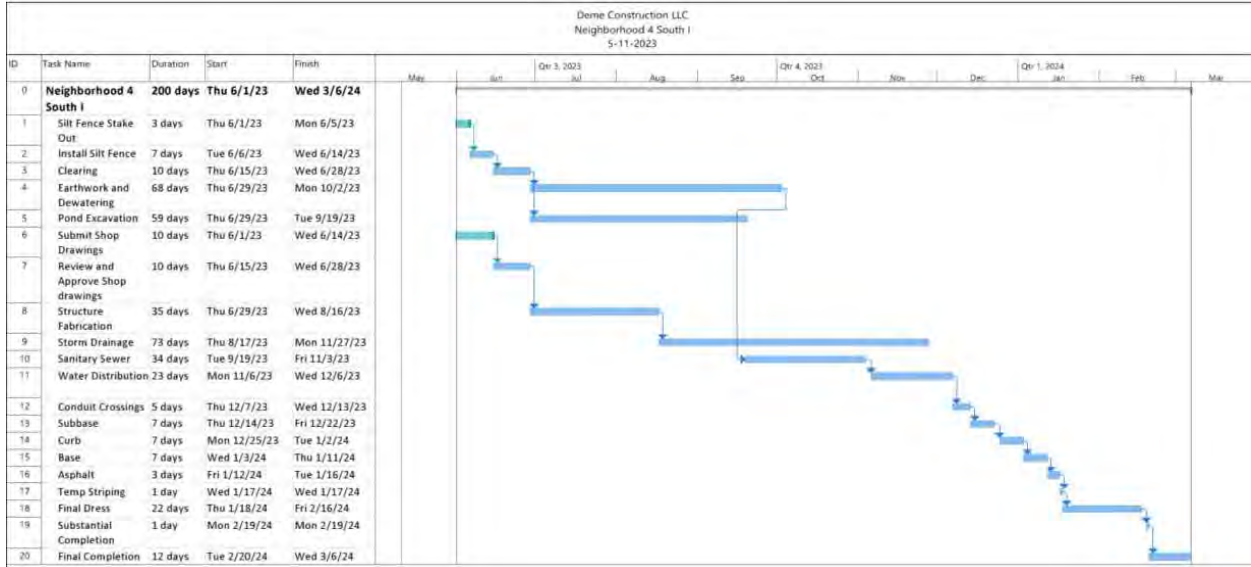
SURVEYING						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
S-1	Construction Stake-out	1		LS	\$ 19,000.00	\$19,000.00
S-2	Record As-built Survey	1	1.0	LS	\$ 74,760.00	\$74,760.00
SURVEYING TOTAL =						\$93,760.00

GEOTECHNICAL TESTING						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
G-1	Compaction Testing (Roads & Utilities)	1	1	LS	\$30,000.00	\$30,000.00
GEOTECHNICAL TOTAL =						\$30,000.00

**AUTHORIZING ADDENDUM # 8- Skye Ranch - 1
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

**EXHIBIT D
Schedule**

**** There will be a liquidated delay fee of \$500 per day assessed to the contract for every day past substantial completion and Road open. There will be no delay fee if delay is due to Taylor Morrison.**



TAYLOR MORRISON

**AMENDMENT #1
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #1 (the "Authorizing Addendum Amendment") made and entered into as of August 4, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated June 7, 2023 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated November 7, 2013 the "Agreement") made by and between **DEME CONSTRUCTION, LLC, A Florida Limited Liability Company "Contractor"** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

- 1. **Contract Price/Budget:** Add \$1,724,499.68 to previously authorized amount of \$3,344,354.04

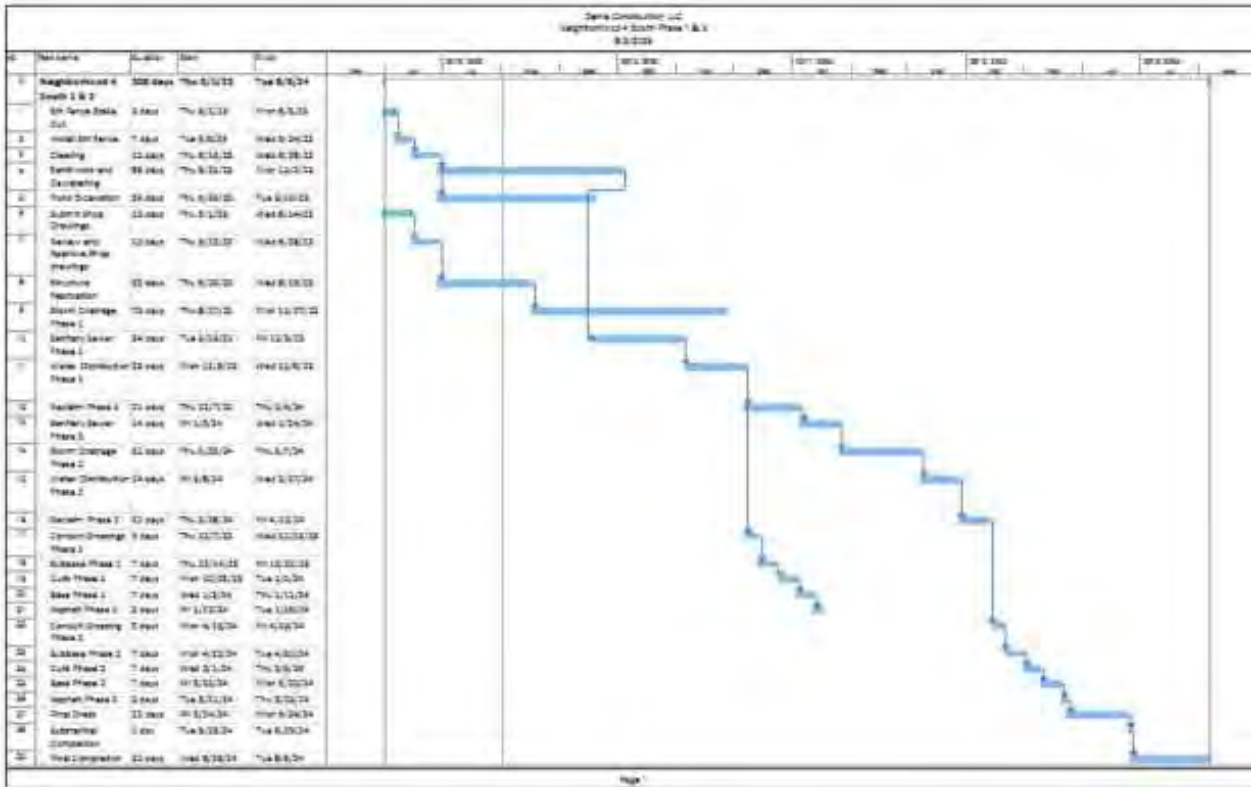
The maximum authorized for the Services under this Authorizing Addendum is \$5,068,853.72 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 8 Skye Ranch 1 (Land DEV Po 14280400-3908)
- Project and Phase Number:
- Cost Code Number:
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** Revised

**** There will be a liquidated delay fee of \$500 per day assessed to the contract for every day past substantial completion and Road open. There will be no delay fee if delay is due to Taylor Morrison.**



3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

a) Scope of Work: Add Phase 2 Utilities and Roadway

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT +/-
Earthwork				
NPDES Compliance	1	LS	\$ 9,625.00	\$ 9,625.00
Inlet Protection	33	EA	\$ 188.00	\$ 6,204.00
Grading	1	LS	\$ 23,720.00	\$ 23,720.00
Geotechnical Testing	1	LS	\$ 30,000.00	\$ 30,000.00
Survey, Stakeout and As-Builts	1	LS	\$ 74,675.00	\$ 74,675.00
Seed & Mulch	N/A	SY	\$ 0.45	IF REQUIRED
Sod	N/A	SY	\$ 2.80	IF REQUIRED
Sanitary Sewer				
8" SDR 26 (0-6' Cut)	792	LF	\$ 38.85	\$ 30,769.20
8" SDR 26 (6'-8' Cut)	262	LF	\$ 48.85	\$ 12,798.70
8" SDR 26 (8'-10' Cut)	705	LF	\$ 49.80	\$ 35,109.00
8" SDR 26 (10'-12' Cut)	247	LF	\$ 57.25	\$ 14,140.75
Sanitary Manhole (0-6' Cut)	5	EA	\$ 7,015.00	\$ 35,075.00
Sanitary Manhole (6'-10' Cut)	3	EA	\$ 9,395.00	\$ 28,185.00
Sanitary System Testing	1	LS	\$ 3,475.50	\$ 3,475.50
Sanitary Air Testing	1	LS	\$ 2,482.50	\$ 2,482.50
Single Service Connection	7	EA	\$ 1,050.00	\$ 7,350.00
Double Service Connection	18	EA	\$ 1,480.00	\$ 26,640.00

Storm				
Underdrain Cleanout Assembly	30	EA	\$ 403.00	\$ 12,090.00
4" ADS Underdrain	3,000	LF	\$ 32.90	\$ 98,700.00
12" ADS	418	LF	\$ 35.25	\$ 14,734.50
15" ADS	754	LF	\$ 41.15	\$ 31,027.10
18" ADS	536	LF	\$ 49.00	\$ 26,264.00
15" RCP	236	LF	\$ 53.00	\$ 12,508.00
18" RCP	350	LF	\$ 64.30	\$ 22,505.00
24" RCP	484	LF	\$ 88.25	\$ 42,713.00
30" RCP	808	LF	\$ 148.00	\$ 119,584.00
Type 9 Curb Inlet	2	EA	\$ 11,720.00	\$ 23,440.00
Grate Inlet	3	EA	\$ 5,425.00	\$ 16,275.00
Valley Gutter Inlet	8	EA	\$ 6,810.00	\$ 54,480.00
Yard Drain	20	EA	\$ 3,830.00	\$ 76,600.00
Storm System Testing	1	LS	\$ 7,844.38	\$ 7,844.38
Water				
6" DR-18	590	LF	\$ 27.80	\$ 16,402.00
8" DR-18	1,398	LF	\$ 40.20	\$ 56,119.20
6" Gate Valve	1	EA	\$ 2,109.71	\$ 2,109.71
8" Gate Valve	5	EA	\$ 3,010.00	\$ 15,050.00
8" x 6" MJ Tee	2	EA	\$ 695.00	\$ 1,390.00
8" -45° MJ Bend	4	EA	\$ 525.00	\$ 2,100.00

8" -22 1/2" MJ Bend	3	EA	\$ 521.00	\$ 1,563.00
6" Cap / TBO	2	EA	\$ 1,584.64	\$ 3,169.28
Fire Hydrant Assembly	2	EA	\$ 7,690.00	\$ 15,380.00
Permanent Blow-off Assembly	1	EA	\$ 4,495.86	\$ 4,495.86
Chlorine Injection Point	1	EA	\$ 855.00	\$ 855.00
Temporary 6" Jumper	1	EA	\$ 8,420.00	\$ 8,420.00
Restrained Joints	1	LS	\$ 7,958.65	\$ 7,958.65
Pressure Test	1	LS	\$ 2,482.50	\$ 2,482.50
Chlorination	1	LS	\$ 2,482.50	\$ 2,482.50
Remove TBO & Connect to Existing 8" WM	1	EA	\$ 1,013.46	\$ 1,013.46
Remove TBO & Connect to Existing 8" WM	1	EA	\$ 1,015.00	\$ 1,015.00
Remove Auto-flusher & Connect to Existing 6" WM	1	EA	\$ 1,013.46	\$ 1,013.46
Single Short Water Service	28	EA	\$ 866.00	\$ 24,808.00
Single Long Water Service	3	EA	\$ 1,070.00	\$ 3,210.00
Double Short Water Service	N/A	EA	\$ -	N/A
Double Long Water Service	5	EA	\$ 1,795.00	\$ 8,975.00
Reclaim				
4" DR-18	466	LF	\$ 18.90	\$ 8,807.40
6" DR-18	30	LF	\$ 27.80	\$ 834.00
8" DR-18	1,404	LF	\$ 40.20	\$ 56,440.80
4" Gate Valve	1	EA	\$ 1,975.00	\$ 1,975.00
6" Gate Valve	2	EA	\$ 2,270.00	\$ 4,540.00
8" Gate Valve	7	EA	\$ 3,045.00	\$ 21,315.00
8" x 6" MJ Tee	2	EA	\$ 695.00	\$ 1,390.00
8" x 4" MJ Tee	2	EA	\$ 643.85	\$ 1,287.72
4" -45" MJ Bend	2	EA	\$ 411.00	\$ 822.00
8" -45" MJ Bend	13	EA	\$ 525.00	\$ 6,825.00
8" -11 1/4" MJ Bend	2	EA	\$ 504.76	\$ 1,009.52
4" Cap / TBO	2	EA	\$ 659.21	\$ 1,318.42
Permanent Blow-off Assembly	3	EA	\$ 4,495.86	\$ 13,487.58
Restrained Joints	1	LS	\$ 6,363.49	\$ 6,363.49
Pressure Test	1	LS	\$ 2,375.00	\$ 2,375.00
Remove TBO & Connect to Existing 4" RCM	2	EA	\$ 579.89	\$ 1,159.78
Remove TBO & Connect to Existing 8" RCM	1	EA	\$ 626.70	\$ 626.70
Single Short Reclaim Service	3	EA	\$ 833.00	\$ 2,499.00
Single Long Reclaim Service	5	EA	\$ 1,060.00	\$ 5,300.00
Double Short Reclaim Service	6	EA	\$ 1,830.00	\$ 10,980.00
Double Long Reclaim Service	12	EA	\$ 2,220.00	\$ 26,640.00

Roadways				
1" SP-9.5 Asphalt (1st Lift)	6,904	SY	\$ 11.25	\$ 77,670.00
6" Soil Cement	6,904	SY	\$ 18.30	\$ 126,343.20
8" Stabilized Subbase LBR 40	8,552	SY	\$ 7.25	\$ 62,002.00
4" Thick Concrete Sidewalk Non-Reinforced	10,678	SF	\$ 6.64	\$ 70,901.92
ADA Handicap Ramps w/ Detectable Mats	4	EA	\$ 1,315.00	\$ 5,260.00
F Curb	1,227	LF	\$ 22.30	\$ 27,362.10
Valley Gutter Curb	3,390	LF	\$ 18.80	\$ 63,732.00
Final Dress	1	LS	\$ 23,950.00	\$ 23,950.00
7' BOC Bahia Sod	3,591	SY	\$ 2.80	\$ 10,054.80
Temporary Striping	1	LS	\$ 2,200.00	\$ 2,200.00
			TOTAL CO	\$ 1,724,499.68

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

DocuSigned by:
Jamie Kuca
FAD81E182E9E419...

By: _____

Print Name: Jamie Kuca

Title: PM Land Development

Date: 8/16/2023

CONTRACTOR:

DEME CONSTRUCTION, LLC, A Florida Limited Liability Company

DocuSigned by:
Alex Deme
CDB8F5CD8DC8443...

By: _____

Print Name: Alex Deme

Title: vice President

Date: 8/15/2023

DocuSigned by:
John Willard
B916F385222846F...

8/16/2023

TO OWNER: Taylor Morrison of Florida, Inc.
FROM CONTRACTOR: Deme Construction LLC
CONTRACT FOR:
PROJECT: Skye Ranch Neighborhood 4 South (Phase 1)
Contract Number: 23-008
VIA ENGINEER: Waldrop Engineering

APPLICATION NO: 23008-11
PERIOD TO: 3/16/24 - 4/15/24 COST CODE:
PROJECT NO: 14280400-3908 OWNER JOB #:
SUBCONTRACT #:
CONTRACT DATE: 6/7/2023
INVOICE DATE: 4/15/2024

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract.
Continuation Sheet is attached.

1. ORIGINAL CONTRACT SUM	\$	3,344,354.04
2. NET CHANGE BY CHANGE ORDERS	\$	1,724,499.68
3. CONTRACT SUM TO DATE (LINE 1 ± 2)	\$	5,068,853.72
4. TOTAL COMPLETED & STORED TO DATE (COLUMN H ON CONTINUATION SHEET)	\$	5,068,853.72
5. RETAINAGE:		
a. 10 % of Completed Work	\$	506,885.37
(Columns E plus F on Continuation Sheet)		
b. % of Stored Material	\$	
(Column G on Continuation Sheet)		
Total Retainage (Line 5a plus 5b or Total in Column J on Continuation Sheet)	\$	506,885.37
6. TOTAL EARNED LESS RETAINAGE (Line 4 minus Line 5 Total)	\$	4,561,968.35
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate)	\$	4,338,541.18
8. CURRENT PAYMENT DUE	\$	223,427.17
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 minus Line 6)	\$	506,885.37

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: [Signature] Date: 04/15/24

State of Florida
County of Manatee
Subscribed and sworn to before me this Monday, April 15, 2024



Notary Public
Printed Name of Notary: Lisa Antos
Commission Number: HH480379
My Commission expires: 4/6/2028

ENGINEER'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Engineer certifies to the Owner that to the best of the Engineer's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the amount certified.

AMOUNT CERTIFIED \$ 223,427.17

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ENGINEER: [Signature] Date: 04/22/2024

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Insurance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	\$ 1,724,499.68	\$
Total approved this Month	\$	\$
TOTALS	\$ 1,724,499.68	\$
NET CHANGES by Change Order		\$ 1,724,499.68

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Potable Water									
1	8" PVC WM (C900 DR-18)	2,040.0	LF	\$ 51.25	\$ 104,550.00		2,040.00	\$ -	\$ 104,550.00
2	6" PVC WM (C900 DR-18)	95.0	LF	\$ 27.80	\$ 2,641.00		95.00	\$ -	\$ 2,641.00
3	4" PVC WM (C900 DR-18)	590.0	LF	\$ 25.62	\$ 15,115.80		590.00	\$ -	\$ 15,115.80
4	8" Gate Valve	5.0	EA	\$ 3,010.00	\$ 15,050.00		5.00	\$ -	\$ 15,050.00
5	4" Gate Valve	3.0	EA	\$ 1,815.00	\$ 5,445.00		3.00	\$ -	\$ 5,445.00
5	Double Service (Short)		EA	N/A	N/A			N/A	N/A
6	Double Service (Long)	10.0	EA	\$ 1,793.65	\$ 17,936.50		10.00	\$ -	\$ 17,936.50
7	1" Single Service (Short)	26.0	EA	\$ 886.00	\$ 23,036.00		26.00	\$ -	\$ 23,036.00
8	1" Single Service (Long)	14.0	EA	\$ 1,070.00	\$ 14,980.00		14.00	\$ -	\$ 14,980.00
9	Temporary Autoflusher	2.0	EA	\$ 2,017.50	\$ 4,035.00		2.00	\$ -	\$ 4,035.00
10	Hydrant Assembly	4.0	EA	\$ 7,690.00	\$ 30,760.00		4.00	\$ -	\$ 30,760.00
11	Chlorination and Testing	1.0	LS	\$ 6,810.00	\$ 6,810.00		1.00	\$ -	\$ 6,810.00
12	Temporary 6" Jumper	1.0	EA	\$ 1,545.00	\$ 1,545.00		1.00	\$ -	\$ 1,545.00
13	2" Temporary Blow-off	2.0	EA	\$ 1,160.00	\$ 2,320.00		2.00	\$ -	\$ 2,320.00
14	Remove TBO and Connect to End of Existing 8" WM	1.0	EA	\$ 1,015.00	\$ 1,015.00		1.00	\$ -	\$ 1,015.00
Subtotal					\$ 245,239.30			\$ -	\$ 245,239.30
TOTAL PAGE:					\$ 245,239.30			\$ -	\$ 245,239.30

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Wastewater									
1	8" PVC Sanitary Sewer SDR 26 (0-6')	386.0	LF	\$ 38.85	\$ 14,996.10		386.00	\$ -	\$ 14,996.10
2	8" PVC Sanitary Sewer SDR 26 (6'-8')	366.0	LF	\$ 48.85	\$ 17,879.10		366.00	\$ -	\$ 17,879.10
3	8" PVC Sanitary Sewer SDR 26 (8'-10')	568.0	LF	\$ 49.80	\$ 28,286.40		568.00	\$ -	\$ 28,286.40
4	8" PVC Sanitary Sewer SDR 26 (10'-12')	659.0	LF	\$ 57.25	\$ 37,727.75		659.00	\$ -	\$ 37,727.75
5	8" PVC Sanitary Sewer SDR 26 (12'-14')	467.0	LF	\$ 62.90	\$ 29,374.30		467.00	\$ -	\$ 29,374.30
6	8" PVC Sanitary Sewer SDR 26 (14'-16')	546.0	LF	\$ 93.25	\$ 50,914.50		546.00	\$ -	\$ 50,914.50
7	8" PVC Sanitary Sewer SDR 26 (16'-18')	24.0	LF	\$ 107.00	\$ 2,568.00		24.00	\$ -	\$ 2,568.00
8	Manhole 4' Diameter (0-6')	3.0	EA	\$ 7,017.27	\$ 21,051.81		3.00	\$ -	\$ 21,051.81
9	Manhole 4' Diameter (6'-8')	3.0	EA	\$ 7,757.97	\$ 23,273.91		3.00	\$ -	\$ 23,273.91
10	Manhole 4' Diameter (8'-10')	3.0	EA	\$ 9,396.63	\$ 28,189.89		3.00	\$ -	\$ 28,189.89
11	Manhole 4' Diameter (10'-12')	3.0	EA	\$ 10,334.18	\$ 31,002.54		3.00	\$ -	\$ 31,002.54
12	Manhole 4' Diameter (12'-14')	1.0	EA	\$ 11,808.45	\$ 11,808.45		1.00	\$ -	\$ 11,808.45
13	Manhole 4' Diameter (14'-16')	2.0	EA	\$ 13,037.15	\$ 26,074.30		2.00	\$ -	\$ 26,074.30
14	Single Lateral Service	13.0	EA	\$ 1,050.00	\$ 13,650.00		13.00	\$ -	\$ 13,650.00
15	Double Lateral Service	37.0	EA	\$ 1,480.00	\$ 54,760.00		37.00	\$ -	\$ 54,760.00
16	Testing and Inspection (TV, Mandrel & Air)	1.0	LS	\$ 9,050.00	\$ 9,050.00	0.50	1.00	\$ 4,525.00	\$ 9,050.00
17	8" PVC Boot and Connect to Existing Manhole	1.0	LS	\$ 32,012.89	\$ 32,012.89		1.00	\$ -	\$ 32,012.89
18	8" PVC Stub and Plug	2.0	EA	\$ 482.71	\$ 965.42		2.00	\$ -	\$ 965.42
Subtotal					\$ 433,585.36			\$ 4,525.00	\$ 433,585.36
TOTAL PAGE:					\$ 433,585.36			\$ 4,525.00	\$ 433,585.36

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Paving									
1	1" Type SP-9.5 Asphalt 1st Lift	6,420.0	SY	\$ 11.25	\$ 72,225.00		6,420.00	\$ -	\$ 72,225.00
2	7" Shell Base (98% Density LBR 100)		SY	N/A	N/A			N/A	N/A
3	8" Subgrade (Type B Stabilization LBR 40)	7,939.0	SY	\$ 7.23	\$ 57,398.97		7,939.00	\$ -	\$ 57,398.97
4	1st Lift Temporary Striping (Signage By Others)		LS	N/A	N/A			N/A	N/A
5	2' Valley Gutter	3,245.0	LF	\$ 18.80	\$ 61,006.00		3,245.00	\$ -	\$ 61,006.00
6	Type F Curb	1,965.0	LF	\$ 22.30	\$ 43,819.50		1,965.00	\$ -	\$ 43,819.50
7	4" Concrete Sidewalk (8' Wide)	12,894.0	SF	\$ 6.64	\$ 85,616.16	12,894.00	12,894.00	\$ 85,616.16	\$ 85,616.16
8	4" Concrete Sidewalk (5' Wide)		SF	N/A	N/A			N/A	N/A
9	Bahia Sod (8' BOC - Front Lots Only)	4,053.0	SY	\$ 2.80	\$ 11,348.40	4,053.00	4,053.00	\$ 11,348.40	\$ 11,348.40
10	ADA Handicapped Ramps w/ Detectable Warnings	6.0	EA	\$ 1,315.00	\$ 7,890.00	6.00	6.00	\$ 7,890.00	\$ 7,890.00
11	Temporary Striping	1.0	LS	\$ 2,500.00	\$ 2,500.00		1.00	\$ -	\$ 2,500.00
12	6" Soil Cement	6,420.0	SY	\$ 18.30	\$ 117,486.00		6,420.00	\$ -	\$ 117,486.00
13	Final Dress	1.0	LS	\$ 21,784.04	\$ 21,784.04	0.60	1.00	\$ 13,070.42	\$ 21,784.04
14	Emergency Access Drive	327.0	SY	\$ 17.13	\$ 5,601.51	327.00	327.00	\$ 5,601.51	\$ 5,601.51
Subtotal					\$ 486,675.58			\$ 123,526.49	\$ 486,675.58
TOTAL PAGE:					\$ 486,675.58			\$ 123,526.49	\$ 486,675.58

DEME CONSTRUCTION, LLC

3301 Whilfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Drainage									
1	12" HPDE	814.0	LF	\$ 35.25	\$ 28,693.50		814.00	\$ -	\$ 28,693.50
2	15" HPDE	520.0	LF	\$ 41.15	\$ 21,398.00		520.00	\$ -	\$ 21,398.00
3	18" HDPE	118.0	LF	\$ 49.00	\$ 5,782.00		118.00	\$ -	\$ 5,782.00
4	15" RCP	386.0	LF	\$ 53.00	\$ 20,458.00		386.00	\$ -	\$ 20,458.00
5	18" RCP	443.0	LF	\$ 64.30	\$ 28,484.90		443.00	\$ -	\$ 28,484.90
6	24" RCP	458.0	LF	\$ 88.25	\$ 40,418.50		458.00	\$ -	\$ 40,418.50
7	30" RCP	810.0	LF	\$ 148.00	\$ 119,880.00		810.00	\$ -	\$ 119,880.00
8	36" RCP	532.0	LF	\$ 188.00	\$ 100,016.00		532.00	\$ -	\$ 100,016.00
9	42" RCP	480.0	LF	\$ 240.00	\$ 115,200.00		480.00	\$ -	\$ 115,200.00
10	Yard Drain	17.0	EA	\$ 3,830.00	\$ 65,110.00		17.00	\$ -	\$ 65,110.00
11	Grate Inlet	6.0	EA	\$ 5,425.00	\$ 32,550.00		6.00	\$ -	\$ 32,550.00
12	Valley Gutter Inlet	12.0	EA	\$ 6,810.00	\$ 81,720.00		12.00	\$ -	\$ 81,720.00
13	Type "9" Curb Inlet	5.0	EA	\$ 11,718.16	\$ 58,590.80		5.00	\$ -	\$ 58,590.80
14	Control Structures	1.0	EA	\$ 11,140.00	\$ 11,140.00	0.10	1.00	\$ 1,114.00	\$ 11,140.00
15	Rip Rap Outfall Structures	2.0	EA	\$ 8,755.00	\$ 17,510.00		2.00	\$ -	\$ 17,510.00
16	12" Flared End	2.0	EA	\$ 2,510.00	\$ 5,020.00		2.00	\$ -	\$ 5,020.00
17	18" Flared End	2.0	EA	\$ 3,770.00	\$ 7,540.00		2.00	\$ -	\$ 7,540.00
18	24" Flared End	5.0	EA	\$ 5,275.00	\$ 26,375.00		5.00	\$ -	\$ 26,375.00
19	30" Flared End	6.0	EA	\$ 6,415.00	\$ 38,490.00		6.00	\$ -	\$ 38,490.00
20	36" Flared End	3.0	EA	\$ 7,280.00	\$ 21,840.00		3.00	\$ -	\$ 21,840.00
21	42" Flared End	2.0	EA	\$ 8,085.00	\$ 16,170.00		2.00	\$ -	\$ 16,170.00
22	4" Underdrain with Cleanout	4,391.0	LF	\$ 34.90	\$ 153,245.90		4,391.00	\$ -	\$ 153,245.90
23	18" Storm Plug	2.0	EA	\$ 955.00	\$ 1,910.00		2.00	\$ -	\$ 1,910.00
24	24" Storm Plug	2.0	EA	\$ 1,050.00	\$ 2,100.00		2.00	\$ -	\$ 2,100.00
25	30" Storm Plug	2.0	EA	\$ 1,160.00	\$ 2,320.00		2.00	\$ -	\$ 2,320.00
26	24" Concrete Collar	2.0	EA	\$ 785.00	\$ 1,570.00		2.00	\$ -	\$ 1,570.00
27	Connect to Existing Pond	1.0	EA	\$ 5,625.00	\$ 5,625.00		1.00	\$ -	\$ 5,625.00
28	Connect to Existing Wetland	2.0	EA	\$ 3,750.00	\$ 7,500.00		2.00	\$ -	\$ 7,500.00
29	RCP	2.0	EA	\$ 785.00	\$ 1,570.00		2.00	\$ -	\$ 1,570.00
30	Storm Testing	1.0	LS	\$ 10,235.00	\$ 10,235.00		1.00	\$ -	\$ 10,235.00
Subtotal					\$ 1,048,462.60			\$ 1,114.00	\$ 1,048,462.60
TOTAL PAGE:					\$ 1,048,462.60			\$ 1,114.00	\$ 1,048,462.60

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Irrigation									
1	8" PVC Irrigation Main (C900 DR-18)	505.0	LF	\$ 52.94	\$ 26,734.70		505.00	\$ -	\$ 26,734.70
2	6" PVC Irrigation Main (C900 DR-18)	1,510.0	LF	\$ 36.04	\$ 54,420.40		1,510.00	\$ -	\$ 54,420.40
3	4" PVC Irrigation Main (C900 DR-18)	685.0	LF	\$ 25.17	\$ 17,241.45		685.00	\$ -	\$ 17,241.45
4	8" Gate Valve	1.0	EA	\$ 3,045.00	\$ 3,045.00		1.00	\$ -	\$ 3,045.00
5	6" Gate Valve	3.0	EA	\$ 2,270.00	\$ 6,810.00		3.00	\$ -	\$ 6,810.00
6	4" Gate Valve	3.0	EA	\$ 1,975.00	\$ 5,925.00		3.00	\$ -	\$ 5,925.00
7	1" Single Service (Short)	15.0	EA	\$ 833.00	\$ 12,495.00		15.00	\$ -	\$ 12,495.00
8	1" Double Service (Short)	9.0	EA	\$ 1,830.00	\$ 16,470.00		9.00	\$ -	\$ 16,470.00
9	1" Single Service (Long)	12.0	EA	\$ 1,060.00	\$ 12,720.00		12.00	\$ -	\$ 12,720.00
10	1" Double Service (Long)	6.0	EA	\$ 2,220.00	\$ 13,320.00		6.00	\$ -	\$ 13,320.00
11	(Short)	3.0	EA	\$ 1,395.00	\$ 4,185.00		3.00	\$ -	\$ 4,185.00
12	(Long)	1.0	EA	\$ 1,895.00	\$ 1,895.00		1.00	\$ -	\$ 1,895.00
13	2" Blow-off Assembly	2.0	EA	\$ 4,495.00	\$ 8,990.00		2.00	\$ -	\$ 8,990.00
14	Testing and Inspection	1.0	LS	\$ 3,375.00	\$ 3,375.00		1.00	\$ -	\$ 3,375.00
15	2" Temporary Blow-off Assembly	3.0	EA	\$ 876.00	\$ 2,628.00		3.00	\$ -	\$ 2,628.00
16	Remove TBO and Connect to Existing	1.0	EA	\$ 627.00	\$ 627.00		1.00	\$ -	\$ 627.00
Subtotal					\$ 190,881.55			\$ -	\$ 190,881.55
TOTAL PAGE:					\$ 190,881.55			\$ -	\$ 190,881.55

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Earthwork									
1	Double Row Silt Fence	1,927.0	LF	\$ 4.30	\$ 8,286.10		1,927.00	\$ -	\$ 8,286.10
2	Single Row Silt Fence	3,945.0	LF	\$ 2.15	\$ 8,481.75		3,945.00	\$ -	\$ 8,481.75
3	Inlet Protection Device	77.0	EA	\$ 188.00	\$ 14,476.00		77.00	\$ -	\$ 14,476.00
4	Finish Grading (Lots & ROW)	1.0	LS	\$ 21,785.00	\$ 21,785.00	0.05	1.00	\$ 1,089.25	\$ 21,785.00
5	Rough Grading (Lots & ROW)	1.0	LS	\$ 29,045.00	\$ 29,045.00		1.00	\$ -	\$ 29,045.00
6	Seed and Mulch (Lots)	125,586.0	SY	\$ 0.45	\$ 56,513.70	5,586.00	125,586.00	\$ 2,513.70	\$ 56,513.70
7	Bahia Sod (Pond Slope Stabilization TOB-NWL)	15,675.0	SY	\$ 2.80	\$ 43,890.00		15,675.00	\$ -	\$ 43,890.00
8	Bahia Sod (6' Wide Rear Yard Swales)		SY	N/A	N/A			N/A	N/A
9	NPDES Compliance	1.0	LS	\$ 9,625.00	\$ 9,625.00		1.00	\$ -	\$ 9,625.00
10	Pond LL1 Excavation (20' Depth)		CY	NA	N/A			N/A	N/A
11	Pond L4 Excavation (20' Depth)	147,505.0	CY	\$ 3.10	\$ 457,265.50		147,505.00	\$ -	\$ 457,265.50
12	Pond L5 Excavation (15.5' Depth)		CY	NA	N/A			N/A	N/A
13	Grading Berms per Berm Plan (3' High)		LF	NA	N/A			N/A	N/A
14	Mobilization	1.0	EA	\$ 7,725.00	\$ 7,725.00		1.00	\$ -	\$ 7,725.00
15	Construction Entrance	1.0	EA	\$ 5,625.00	\$ 5,625.00		1.00	\$ -	\$ 5,625.00
16	Tree Barricades	240.0	LF	\$ 6.50	\$ 1,560.00		240.00	\$ -	\$ 1,560.00
17	Discing	45.2	AC	\$ 583.00	\$ 26,351.60		45.20	\$ -	\$ 26,351.60
18	Clearing	1.0	LS	\$ 123,500.00	\$ 123,500.00		1.00	\$ -	\$ 123,500.00
19	Locate Existing Utilities	1.0	LS	\$ 1,620.00	\$ 1,620.00		1.00	\$ -	\$ 1,620.00
Subtotal					\$ 815,749.65			\$ 3,602.95	\$ 815,749.65
TOTAL PAGE:					\$ 815,749.65			\$ 3,602.95	\$ 815,749.65

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Survey									
1	Construction Stake-Out	1.0	LS	\$ 19,000.00	\$ 19,000.00	0.05	1.00	\$ 950.00	\$ 19,000.00
2	Record As-Built Survey	1.0	LS	\$ 74,760.00	\$ 74,760.00	0.05	1.00	\$ 3,738.00	\$ 74,760.00
Subtotal					\$ 93,760.00			\$ 4,688.00	\$ 93,760.00
TOTAL PAGE:					\$ 93,760.00			\$ 4,688.00	\$ 93,760.00

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

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PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To: 3/16/24 - 4/15/24 , Inclusive DATE: 04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Geotechnical Testing									
1	Compaction Testing (Roads & Utilities)	1.0	LS	\$ 30,000.00	\$ 30,000.00	0.05	1.00	\$ 1,500.00	\$ 30,000.00
Subtotal					\$ 30,000.00			\$ 1,500.00	\$ 30,000.00
TOTAL PAGE:					\$ 30,000.00			\$ 1,500.00	\$ 30,000.00

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

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PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT		
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE	
	Amendment #1 - Add Phase 2 Utilities & Roadways									
	Earthwork									
1	NPDES Compliance	1.0	LS	\$ 9,625.00	\$ 9,625.00		1.00	\$ -	\$ 9,625.00	
2	Inlet Protection	33.0	EA	\$ 188.00	\$ 6,204.00		33.00	\$ -	\$ 6,204.00	
3	Grading	1.0	LS	\$ 23,720.00	\$ 23,720.00		1.00	\$ -	\$ 23,720.00	
4	Geotechnical Testing	1.0	LS	\$ 30,000.00	\$ 30,000.00	0.05	1.00	\$ 1,500.00	\$ 30,000.00	
5	Survey, Stakeout and As-Builts	1.0	LS	\$ 74,675.00	\$ 74,675.00	0.05	1.00	\$ 3,733.75	\$ 74,675.00	
6	Seed & Mulch	N/A	SY	\$ 0.45	IF REQUIRED			\$ -	\$ -	
7	Sod	N/A	SY	\$ 2.80	IF REQUIRED			\$ -	\$ -	
	Subtotal					\$ 144,224.00			\$ 5,233.75	\$ 144,224.00
	TOTAL PAGE:					\$ 144,224.00			\$ 5,233.75	\$ 144,224.00

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
	Amendment #1 - Add Phase 2 Utilities & Roadways (Continued)								
	Sanitary Sewer								
1	8" SDR 26 (0-6' Cut)	792.0	LF	\$ 38.85	\$ 30,769.20		792.00	\$ -	\$ 30,769.20
2	8" SDR 26 (6'-8' Cut)	262.0	LF	\$ 48.85	\$ 12,798.70		262.00	\$ -	\$ 12,798.70
3	8" SDR 26 (8'-10' Cut)	705.0	LF	\$ 49.80	\$ 35,109.00		705.00	\$ -	\$ 35,109.00
4	8" SDR 26 (10'-12' Cut)	247.0	LF	\$ 57.25	\$ 14,140.75		247.00	\$ -	\$ 14,140.75
5	Sanitary Manhole (0-6' Cut)	5.0	EA	\$ 7,015.00	\$ 35,075.00		5.00	\$ -	\$ 35,075.00
6	Sanitary Manhole (8'-10' Cut)	3.0	EA	\$ 9,395.00	\$ 28,185.00		3.00	\$ -	\$ 28,185.00
7	Sanitary System Testing	1.0	LS	\$ 3,475.50	\$ 3,475.50	1.00	1.00	\$ 3,475.50	\$ 3,475.50
8	Sanitary Air Testing	1.0	LS	\$ 2,482.50	\$ 2,482.50		1.00	\$ -	\$ 2,482.50
9	Single Service Connection	7.0	EA	\$ 1,050.00	\$ 7,350.00		7.00	\$ -	\$ 7,350.00
10	Double Service Connection	18.0	EA	\$ 1,480.00	\$ 26,640.00		18.00	\$ -	\$ 26,640.00
	Subtotal				\$ 196,025.65			\$ 3,475.50	\$ 196,025.65
	TOTAL PAGE:				\$ 196,025.65			\$ 3,475.50	\$ 196,025.65

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

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Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Amendment #1 - Add Phase 2 Utilities & Roadways (Continued)									
Storm									
1	Underdrain Cleanout Assembly	30.0	EA	\$ 403.00	\$ 12,090.00		30.00	\$ -	\$ 12,090.00
2	4" ADS Underdrain	3,000.0	LF	\$ 32.90	\$ 98,700.00		3,000.00	\$ -	\$ 98,700.00
3	12" ADS	418.0	LF	\$ 35.25	\$ 14,734.50		418.00	\$ -	\$ 14,734.50
4	15" ADS	754.0	LF	\$ 41.15	\$ 31,027.10		754.00	\$ -	\$ 31,027.10
5	18" ADS	536.0	LF	\$ 49.00	\$ 26,264.00		536.00	\$ -	\$ 26,264.00
6	15" RCP	236.0	LF	\$ 53.00	\$ 12,508.00		236.00	\$ -	\$ 12,508.00
7	18" RCP	350.0	LF	\$ 64.30	\$ 22,505.00		350.00	\$ -	\$ 22,505.00
8	24" RCP	484.0	LF	\$ 88.25	\$ 42,713.00		484.00	\$ -	\$ 42,713.00
9	30" RCP	808.0	LF	\$ 148.00	\$ 119,584.00		808.00	\$ -	\$ 119,584.00
10	Type 9 Curb Inlet	2.0	EA	\$ 11,720.00	\$ 23,440.00		2.00	\$ -	\$ 23,440.00
11	Grate Inlet	3.0	EA	\$ 5,425.00	\$ 16,275.00		3.00	\$ -	\$ 16,275.00
12	Valley Gutter Inlet	8.0	EA	\$ 6,810.00	\$ 54,480.00		8.00	\$ -	\$ 54,480.00
13	Yard Drain	20.0	EA	\$ 3,830.00	\$ 76,600.00		20.00	\$ -	\$ 76,600.00
14	Storm System Testing	1.0	LS	\$ 7,844.38	\$ 7,844.38		1.00	\$ -	\$ 7,844.38
Subtotal					\$ 558,764.98			\$ -	\$ 558,764.98
TOTAL PAGE:					\$ 558,764.98			\$ -	\$ 558,764.98

DEME CONSTRUCTION, LLC

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3/16/24 - 4/15/24

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04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
	Amendment #1 - Add Phase 2 Utilities & Roadways (Continued)								
	Water								
1	6" DR-18	590.0	LF	\$ 27.80	\$ 16,402.00		590.00	\$ -	\$ 16,402.00
2	8" DR-18	1,396.0	LF	\$ 40.20	\$ 56,119.20		1,396.00	\$ -	\$ 56,119.20
3	6" Gate Valve	1.0	EA	\$ 2,109.71	\$ 2,109.71		1.00	\$ -	\$ 2,109.71
4	8" Gate Valve	5.0	EA	\$ 3,010.00	\$ 15,050.00		5.00	\$ -	\$ 15,050.00
5	8" x 6" MJ Tee	2.0	EA	\$ 695.00	\$ 1,390.00		2.00	\$ -	\$ 1,390.00
6	8" -45° MJ Bend	4.0	EA	\$ 525.00	\$ 2,100.00		4.00	\$ -	\$ 2,100.00
7	8" -22 1/2° MJ Bend	3.0	EA	\$ 521.00	\$ 1,563.00		3.00	\$ -	\$ 1,563.00
8	6" Cap / TBO	2.0	EA	\$ 1,584.64	\$ 3,169.28		2.00	\$ -	\$ 3,169.28
9	Fire Hydrant Assembly	2.0	EA	\$ 7,690.00	\$ 15,380.00		2.00	\$ -	\$ 15,380.00
10	Permanent Blow-off Assembly	1.0	EA	\$ 4,495.86	\$ 4,495.86		1.00	\$ -	\$ 4,495.86
11	Chlorine Injection Point	1.0	EA	\$ 855.00	\$ 855.00		1.00	\$ -	\$ 855.00
12	Temporary 6" Jumper	1.0	EA	\$ 8,420.00	\$ 8,420.00		1.00	\$ -	\$ 8,420.00
13	Restrained Joints	1.0	LS	\$ 7,958.65	\$ 7,958.65		1.00	\$ -	\$ 7,958.65
14	Pressure Test	1.0	LS	\$ 2,482.50	\$ 2,482.50		1.00	\$ -	\$ 2,482.50
15	Chlorination	1.0	LS	\$ 2,482.50	\$ 2,482.50		1.00	\$ -	\$ 2,482.50
16	Remove TBO & Connect to Existing 6" WM	1.0	EA	\$ 1,013.46	\$ 1,013.46		1.00	\$ -	\$ 1,013.46
17	Remove TBO & Connect to Existing 8" WM	1.0	EA	\$ 1,015.00	\$ 1,015.00		1.00	\$ -	\$ 1,015.00
18	Remove Auto-flusher & Connect to Existing 6" WM	1.0	EA	\$ 1,013.46	\$ 1,013.46		1.00	\$ -	\$ 1,013.46
19	Single Short Water Service	28.0	EA	\$ 886.00	\$ 24,808.00		28.00	\$ -	\$ 24,808.00
20	Single Long Water Service	3.0	EA	\$ 1,070.00	\$ 3,210.00		3.00	\$ -	\$ 3,210.00
21	Double Short Water Service	N/A	EA	-	N/A			\$ -	\$ -
22	Double Long Water Service	5.0	EA	\$ 1,795.00	\$ 8,975.00		5.00	\$ -	\$ 8,975.00
	Subtotal				\$ 180,012.62			\$ -	\$ 180,012.62
	TOTAL PAGE:				\$ 180,012.62			\$ -	\$ 180,012.62

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

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PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT		
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE	
	Amendment #1 - Add Phase 2 Utilities & Roadways (Continued)									
	Reclaim									
1	4" DR-18	466.0	LF	\$ 18.90	\$ 8,807.40		466.00	\$ -	\$ 8,807.40	
2	6" DR-18	30.0	LF	\$ 27.80	\$ 834.00		30.00	\$ -	\$ 834.00	
3	8" DR-18	1,404.0	LF	\$ 40.20	\$ 56,440.80		1,404.00	\$ -	\$ 56,440.80	
4	4" Gate Valve	1.0	EA	\$ 1,975.00	\$ 1,975.00		1.00	\$ -	\$ 1,975.00	
5	6" Gate Valve	2.0	EA	\$ 2,270.00	\$ 4,540.00		2.00	\$ -	\$ 4,540.00	
6	8" Gate Valve	7.0	EA	\$ 3,045.00	\$ 21,315.00		7.00	\$ -	\$ 21,315.00	
7	8" x 6" MJ Tee	2.0	EA	\$ 695.00	\$ 1,390.00		2.00	\$ -	\$ 1,390.00	
8	8" x 4" MJ Tee	2.0	EA	\$ 643.86	\$ 1,287.72		2.00	\$ -	\$ 1,287.72	
9	4" -45° MJ Bend	2.0	EA	\$ 411.00	\$ 822.00		2.00	\$ -	\$ 822.00	
10	8" -45° MJ Bend	13.0	EA	\$ 525.00	\$ 6,825.00		13.00	\$ -	\$ 6,825.00	
11	8" -11 1/4° MJ Bend	2.0	EA	\$ 504.76	\$ 1,009.52		2.00	\$ -	\$ 1,009.52	
12	4" Cap / TBO	2.0	EA	\$ 659.21	\$ 1,318.42		2.00	\$ -	\$ 1,318.42	
13	Permanent Blow-off Assembly	3.0	EA	\$ 4,495.86	\$ 13,487.58		3.00	\$ -	\$ 13,487.58	
14	Restrained Joints	1.0	LS	\$ 6,363.49	\$ 6,363.49		1.00	\$ -	\$ 6,363.49	
15	Pressure Test	1.0	LS	\$ 2,375.00	\$ 2,375.00		1.00	\$ -	\$ 2,375.00	
16	Remove TBO & Connect to Existing 4" RCM	2.0	EA	\$ 579.89	\$ 1,159.78		2.00	\$ -	\$ 1,159.78	
17	Remove TBO & Connect to Existing 8" RCM	1.0	EA	\$ 626.70	\$ 626.70		1.00	\$ -	\$ 626.70	
18	Single Short Reclaim Service	3.0	EA	\$ 833.00	\$ 2,499.00		3.00	\$ -	\$ 2,499.00	
19	Single Long Reclaim Service	5.0	EA	\$ 1,060.00	\$ 5,300.00		5.00	\$ -	\$ 5,300.00	
20	Double Short Reclaim Service	6.0	EA	\$ 1,830.00	\$ 10,980.00		6.00	\$ -	\$ 10,980.00	
21	Double Long Reclaim Service	12.0	EA	\$ 2,220.00	\$ 26,640.00		12.00	\$ -	\$ 26,640.00	
	Subtotal					\$ 175,996.41			\$ -	\$ 175,996.41
	TOTAL PAGE:					\$ 175,996.41			\$ -	\$ 175,996.41

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
	Amendment #1 - Add Phase 2 Utilities & Roadways (Continued)								
	Roadways								
1	1" SP-9.5 Asphalt (1st Lift)	6,904.0	SY	\$ 11.25	\$ 77,670.00		6,904.00	\$ -	\$ 77,670.00
2	6" Soil Cement	6,904.0	SY	\$ 18.30	\$ 126,343.20		6,904.00	\$ -	\$ 126,343.20
3	8" Stabilized Subbase LBR 40	8,552.0	SY	\$ 7.25	\$ 62,002.00		8,552.00	\$ -	\$ 62,002.00
4	4" Thick Concrete Sidewalk Non-Reinforced	10,678.0	SF	\$ 6.64	\$ 70,901.92	10,678.00	10,678.00	\$ 70,901.92	\$ 70,901.92
5	ADA Handicap Ramps w/ Detectable Mats	4.0	EA	\$ 1,315.00	\$ 5,260.00	4.00	4.00	\$ 5,260.00	\$ 5,260.00
6	F Curb	1,227.0	LF	\$ 22.30	\$ 27,362.10		1,227.00	\$ -	\$ 27,362.10
7	Valley Gutter Curb	3,390.0	LF	\$ 18.80	\$ 63,732.00		3,390.00	\$ -	\$ 63,732.00
8	Final Dress	1.0	LS	\$ 23,950.00	\$ 23,950.00	0.60	1.00	\$ 14,370.00	\$ 23,950.00
9	7' BOC Bahia Sod	3,591.0	SY	\$ 2.80	\$ 10,054.80	3,591.00	3,591.00	\$ 10,054.80	\$ 10,054.80
10	Temporary Striping	1.0	LS	\$ 2,200.00	\$ 2,200.00		1.00	\$ -	\$ 2,200.00
	Subtotal					\$ 469,476.02		\$ 100,586.72	\$ 469,476.02
	GRAND TOTAL					\$ 5,068,853.72		\$ 248,252.41	\$ 5,068,853.72

**AUTHORIZING ADDENDUM #144 Skye Ranch 4
TO
MASTER LAND DEVELOPMENT SERVICES AGREEMENT**

TAYLOR MORRISON:
Taylor Morrison of Florida, Inc., a Florida corporation

CONTRACTOR:
RYAN GOLF CORPORATION, a Florida corporation

Job Code: 14280100
PO: 14280100-355

NOTICE TO PROCEED DATE: 09/03/2021
SUBSTANTIAL COMPLETION DATE: See EXHIBIT C

DESCRIPTION OF WORK:

This Authorizing Addendum to Master Land Development Services Agreement (“**Authorizing Addendum**”) is made and entered into effective as of 3rd day of September, 2021 by and between **Taylor Morrison of Florida, Inc., a Florida corporation** (“**Taylor Morrison**”) and **RYAN GOLF CORPORATION, a Florida corporation** (“**Contractor**”), with respect to the Master Land Development Services Agreement between Taylor Morrison and Contractor dated January 12, 2012 (the “**Agreement**”).

1. Scope/Work. Pursuant to the Agreement, Contractor shall perform the Work for the Contract Price and within the time frame set forth on **Exhibit A** attached to this Authorizing Addendum.
2. Site. The Work will be performed at the job site (the “**Site**”), the location of which is legally described on **Exhibit B** attached hereto.

Unless otherwise defined herein, all capitalized terms used in this Authorizing Addendum shall have the meanings set forth in the Agreement. This Authorizing Addendum may be executed simultaneously or in counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. In the event of a conflict between the provisions of the Agreement and this Authorizing Addendum, the Agreement shall control except to the extent that the Authorizing Addendum specifically states that a provision is intended to modify the Agreement. Except as supplemented by this Authorizing Addendum, all provisions of the Agreement shall remain in full force and effect.

TAYLOR MORRISON:
Taylor Morrison of Florida, Inc., a Florida corporation

CONTRACTOR:
RYAN GOLF CORPORATION

DocuSigned by:
Morris Hill
D4A4E0982E50477...

By: _____
Name: Morris Hill
Title: PM Land Development
Date: 9/30/2021

DocuSigned by:
Liz Garrido
850BA698F9E6454...

By: _____
Name: Liz Garrido
Title: Treasurer
Date: 9/30/2021

DocuSigned by:
John Wollard
B916F0B5222646F...

9/30/2021

DocuSigned by:
Jason Besse
B0862F246EB9403...

10/4/2021

DocuSigned by:
Steve Kempton
2575F6A56EC5404...

10/4/2021

DocuSigned by:
Dave Cone
7021D87EB3364C5...

10/4/2021

AUTHORIZING ADDENDUM #144 Skye Ranch 4
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES

EXHIBIT A
 SCOPE/CONTRACT PRICE/SCHEDULE

Job No.: 14280100

PO: 14280100-355

Taylor Morrison's Representative: Morris Hill

Contractor's Representative: Cort Byrnes

1. **Schedule.** The Work shall be completed during the following time frames: **See EXHIBIT C**
2. **Contract Price/Budget.** The Contract Price is as follows: **See EXHIBIT D for details**
3. **Hourly Fee Schedule.** Contractor's hourly fee schedule including time period for which rates apply: N/A
4. **Additional or Modified Provisions.** **NONE**
5. **Description of Work.** Contractor shall provide the following services for the Project (the "Work"):

Skye Ranch Neighborhood 2	
16s & 20s - Phase 1	
BID SCHEDULE - REV 00	
Bid Date:	<u>Monday, August 9, 2021</u>
Bid Due Date:	<u>Monday, August 16, 2021</u>
Bid Plan No., Rev No.	<u>386-040 Skye Ranch 16s 20s, Phase 1</u>
Contractor	<u>RYANGOLF CORPORATION</u>
SUMMARY	
Potable Water	\$273,496.70
Wastewater	\$263,234.05
Paving	\$441,492.29
Drainage	\$743,407.50
Irrigation	\$124,578.20
Earthwork	\$194,771.48
Survey	\$71,350.00
Geotech	\$23,000.00
TOTAL =	\$2,135,330.22
Notes:	
1. It is the responsibility of the contractor to verify all quantities prior to submitting any bids. Any discrepancies shall be noted in the Contractor Quantity Column and calculated into the line item amount.	

GRADING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Grading Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

1. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").
2. Select applicable provision by checking either Option 2(A) **OR** 2(B):

A. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

B. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

3. The Work includes hurricane pump and/or pump/standpipe to fill water pulls and trucks.
4. Contractor shall provide earthwork calculations in its bid submittal.
5. Contractor shall coordinate its equipment line up with Taylor Morrison.
6. Contractor shall notify Taylor Morrison 48 hours prior to any staking or testing being required.
7. Contractor shall undercut all basins _____, or per direction of Taylor Morrison.
8. Contractor shall undercut all street 0.20' and leave all street subgrade flat (no crown).
9. Contractor shall cut all sidewalk areas 3" from top of curb elevation.
10. Contractor shall build stepped pads when adjacent pad differential is equal to or greater than 0.25' and rake when less than 0.25'.
11. Contractor shall overbuild front yards 5' from BSL on Final Plat and slope to sidewalk grade (do not bench).
12. Contractor shall overbuild all property lines 2' to allow for wall footing.
13. Contractor shall overbuild all areas with sidewalks a minimum of 18".
14. Contractor shall cut all retaining walls back 3' and leave spoils on the upper pad side to allow for backfill of retaining walls.

15. Contractor shall cut basins _____ in retention basins with dry wells, or per direction of Taylor Morrison, to make room for dry well spoils.
16. Contractor must supply weekly safety report and dust control records.
17. Contractor is required to have a Certified Dust Coordinator onsite at all times during operations, without exception.
18. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during grading operations.

MATERIALS TESTING AND ENGINEER OF RECORD SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Material Testing and Engineer of Record Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

19. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "Soils Report").
20. Select applicable provision by checking Option 2(A) OR 2(B):

C. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

D. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

Materials Testing-

21. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.
22. Contractor shall sample and test earthwork for building pads, trench backfill and subgrade beneath paving, curbs, gutters and sidewalks.
23. Contractor shall sample and test concrete for curbs, gutters and sidewalks.
24. Contractor shall sample and test ABC below asphaltic concrete pavement.
25. Contractor shall sample and test asphaltic concrete materials.
26. Contractor shall sample and test electrical for SRP equipment pads.

Observation-

27. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.
28. Contractor shall observe all earthwork and trenching operations.
29. Contractor shall observe placement of concrete for curbs, gutters and sidewalks.
30. Contractor shall observe placement of asphaltic concrete materials.

Engineer of Record-

31. Contractor shall be the Engineer of Record for ADEQ/MCESD certification and coordinate all activities with Taylor Morrison and the municipal inspector;
32. Engineer of Record shall observe construction of the water and sewer lines, keep paper record of all testing operations, and provide records to Taylor Morrison within 24 hours of testing (including but not limited to water pressure tests, water bacteriological tests, sewer air tests, sewer pressure tests, and mandrel).
33. Engineer of Record shall review the filming of the sewer lines, certify the as-built drawings, and provide the written Approval of Construction documentation to Taylor Morrison for submittal to ADEQ.

Reports-

34. Reports shall be generated in a timely manner and disseminated to Taylor Morrison and its applicable contractors.
35. Weekly field/progress reports shall be submitted to Taylor Morrison.

PAVING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Paving Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

36. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").
37. Select applicable provision by checking either Option 2(A) **OR** 2(B):

E. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

F. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

38. Contractor shall clean out all laydown machines and other equipment in designated areas only, as determined by Taylor Morrison's Designated Representative.
39. Contractor's Work shall be performed in strict accordance with the Project's Contract Documents.
40. Contractor is required to furnish all labor, equipment, and materials to construct the improvements as set forth in the Project's Contract Documents. This work shall include but is not limited to: paving asphalt, subgrade prep, installing and prepping A.B.C., achieving compaction, adjust manholes, valves, and cleanouts, as well as providing and installing: barricades, survey monuments, fire hydrant markers, street sign bases, signage and striping, and temporary and/or permanent barricading.
41. Contractor shall re-grade any areas disturbed by the water, sewer, or utility contractors. The cost of this work shall be included in the bid, assuming the grade left by all utility contractors 0.30' from the original rough grade or 0.30' from design grade.
42. Contractor shall notify Taylor Morrison's Designated Representative at least 48 hours prior to any staking being required.
43. Contractor shall notify Taylor Morrison's Designated Representative at least 24 hours prior to any asphalt being placed for the purpose of coordinating testing.
44. Contractor shall be responsible for coordinating with Taylor Morrison's Designated Representative to provide a water truck for flow testing curb and paving, which cost shall be included in Contractor's bid.
45. Contractor shall be responsible for manhole adjustments, water and gas valve adjustments, street signs and bases, barricades, fire hydrant markers, striping, monuments, etc.
46. Contractors' bid shall include the cost of any removals, saw cuts, etc.

47. Contractor's bid shall include the cost of one mobilization. Additional mobilization costs must also be provided.
48. All entrances used by Contractor shall be kept clean, either by sweeping or washed with a water truck. Any track out shall be cleaned by Contractor on a daily basis.
49. Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur shall become the responsibility of the Contractor to repair, if the original survey stakes are missing when any problems are found. Any utilities or property pins damaged or removed during Contractor's work shall be repaired or replaced at the Contractor's expense.
50. Contractor shall exercise care around all existing improvements. Contractor shall arrange to walk the site with Taylor Morrison's Designated Representative before Contractor starts its work to determine the extent and location of any cracks in the concrete, the cleanliness of the manholes and the condition of water valves, etc. Any cleanup or repair needed for Contractor's pre-paving work shall be done by the Contractor at its own expense before the paving operation begins.
51. Contractor shall be responsible for all traffic control including barricades, as required by public authorities and Owner. Contractor shall obtain an approved traffic control plan, if the municipality or County within which the Project is located requires a traffic control plan.
52. Normal soil conditions are those outlined in the Soils Report. Any ripping, jack hammering, or blasting that is necessary to perform the work shall be included in Contractor's bid.

WET UTILITIES SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Wet Utilities Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

53. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").

54. Select applicable provision by checking Option 2(A) OR 2(B):

G. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

H. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

55. One mobilization to be included in Agreement. Additional mobilization costs must also be provided.

56. Contractor shall coordinate services of surveying and observation contractors designated by Taylor Morrison;

57. The Contractor shall provide all materials, equipment, and labor necessary to install sewer, water and storm drain improvements as set forth in the Contract Documents. The Work shall include, but is not limited to: trenching, excavating, backfilling and compacting, bacteria, compaction, camera, and pressure testing, furnishing and installing bedding, pipe, fittings, valves, valve boxes and covers, fire hydrants, manholes, plugs, clean-outs, taps, services, meter boxes and lids, and any other necessary appurtenances.

58. Prior to commencing any other Work, the Contractor shall expose all existing sewer tie-ins so that the surveyors can verify their locations.

59. Contractor shall install sewer services as follows: Sewer services to be stubbed into property five (5) feet behind the PUE. Sewer taps shall be marked with a 2x4 metal stud. The metal stud shall extend from the sewer tap to 3' above finished grade. Contractor shall paint top twelve (12) inches of metal stud green. The sewer tap should be installed with two 45 degree elbows and extended to within one (1) foot of finished grade. A 3/8" x 12" length of #4 rebar shall be duct taped to end of sewer tap;

60. Contractor shall stub water services up six (6) inches above grade and set to grade after sidewalk installation;

61. If water main valve boxes are located behind sidewalk, Contractor shall adjust them to grade after sidewalk installation;

62. Contractor shall remove any excess or miscellaneous materials from lots prior to receiving final payment;

63. Contractor will return site to +/- .3 ft. of original grade including lots, R.O.W., and P.U.E., and will be confirmed by Taylor Morrison's Designated Representative. Any excess dirt, ABC, or chips remaining after all trenches have been backfilled and compacted shall be spread evenly in the streets. Contractor will be responsible for all testing

and coordination with inspectors or government entities. The Contractor will leave all trenches open long enough to allow as-built locations to be verified by the Owner's surveyor.

64. All sewer and water tie-ins that are in existing pavement will be permanently patched back by the sewer and water contractor, per governing municipality/provider requirements.
65. Contractor pricing to include municipality/private provider approved methods for backfill.
66. Contractor will provide all necessary barricades, barricade plans and traffic control plans. Contractor is responsible for city or county acceptance if necessary.
67. Contractor shall include in its bid price the cost for two air pressure and camera tests of the sewer system. One test will be after the sewer has been installed to verify that it has been installed correctly, and one test after the remainder of the underground utilities have been installed to verify that the sewer was not damaged by the installation of other utilities.
68. This proposal is to be based on the use of standard trenching equipment equivalent to a 125,000-pound class excavator with a rock bucket and with a production rate of at least 200 linear feet per an 8-hour working day. All excavation beyond the capability of the said equipment at the said production rate will be considered hard excavation.
69. Bidding Contractors to visit the site and account for any borings that may be necessary for any irrigation crossings.
70. Taylor Morrison' shall be notified by Contractor 48 hours prior to any staking being required;
71. The Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur will become the responsibility of the Contractor to repair if the original survey stakes are missing when any problems are found.
72. All costs associated with maintaining all dust control are included in the Agreement – this includes, but is not limited to, all dust generating activities, haul roads around the site, trenching, machine work, and using provided ingress/egress to and from the site. etc.
73. Contractor must use provided entrances/exits when arriving or leaving site. Any fines/violations incurred for this failure to comply will be paid by contractor. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during operations.
74. Contractor shall supply weekly safety and dust records.

**AUTHORIZING ADDENDUM #144 Skye Ranch 4
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

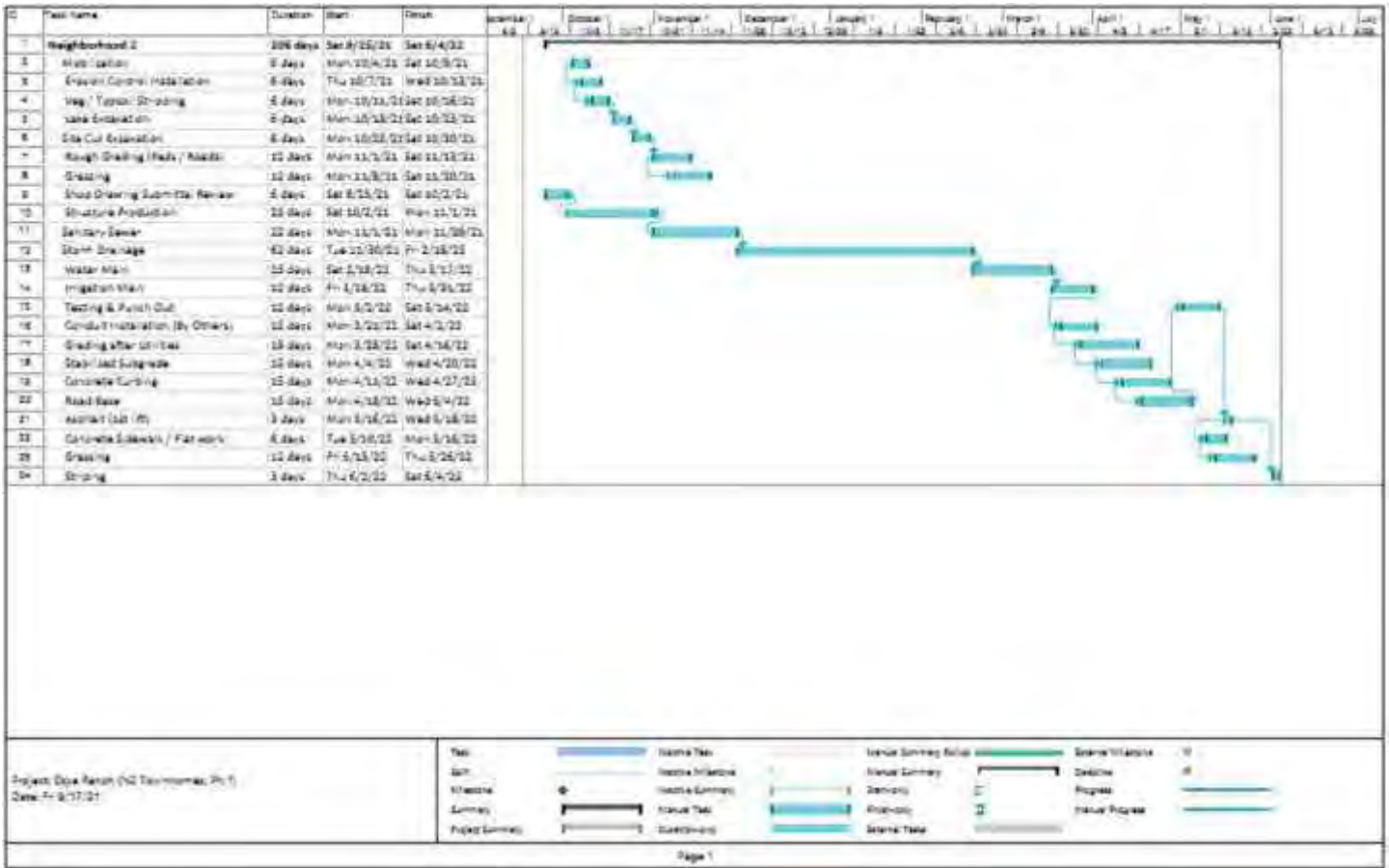
EXHIBIT B
JOB SITE

SKYE RANCH NEIGHBORHOOD TWO TOWNHOMES
BEING REPLAT OF A PORTION OF TRACT 501 (FUTURE DEVELOPMENT AREA), LT RANCH NEIGHBORHOOD ONE, AS RECORDED IN PLAT BOOK 53,
PAGES 175 - 224, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; TOGETHER WITH A PORTION OF THE NORTHWEST 1/4 OF
SECTION 22, LYING IN SECTIONS 16, 21 AND 22, TOWNSHIP 37 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA

AUTHORIZING ADDENDUM #144 Skye Ranch 4 TO MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES

EXHIBIT C SCHEDULE

**** There will be a liquidated delay fee of \$500 per day assessed to the contract for every day past substantial completion and Road open. There will be no delay fee if delay is due to Taylor Morrison.**



**AUTHORIZING ADDENDUM #144 Skye Ranch 4
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

**EXHIBIT D
SCHEDULE OF VALUES**

SURVEYING							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
S-1	Construction Stake-out	1	1	LS	\$71,350.00	\$71,350.00	10
S-2	Record As-built Survey	1	1	LS	N/A	Incl Above	
SURVEYING TOTAL =						\$71,350.00	

GEOTECH							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
S-1	Geotech Testing	1	1	LS	\$23,000.00	\$23,000.00	20
GEOTECH TOTAL =						\$23,000.00	

EARTHWORK							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
E-1	Double Row Silt Fence	734	734	LF	\$3.70	\$2,715.80	30
E-2	Single Row Silt Fence	4,206	4,206	LF	\$1.85	\$7,781.10	40
E-3	Inlet Protection Device	36	47	EA	\$135.00	\$6,345.00	50
E-4	Finish Grading	17	17	AC	\$1,850.00	\$31,450.00	60
E-5	Seed and Mulch (Lots)	6	6	AC	\$1,100.00	\$6,600.00	70
E-6	Bahia Sod (20' pond slope stabilization)	1,773	1,773	SY	\$2.07	\$3,670.11	80
E-7	NPDES Compliance	1	1	LS	\$13,000.00	\$13,000.00	90
E-8	Lake Excavation (unclassified)	10,513	10,909	CY	\$2.75	\$29,999.75	100
E-9	Bahia Sod (Perimeter Slopes, Berm & Swale)	10,000	14,721	SY	\$2.07	\$30,472.47	110
E-10	Topsoil / Veg Stripping (allowance)	17	17	AC	\$950.00	\$16,150.00	120
E-11	Construction Entrance	1	1	EA	\$5,750.00	\$5,750.00	130
**	Mobilization & Supervision		1	LS	\$15,000.00	\$15,000.00	140
**	Site Cut Excavation		6,576	BCY	\$2.25	\$14,796.00	150
**	Swale Grading		2,950	LF	\$2.25	\$6,637.50	160
**	Berm Grading		1,355	LF	\$3.25	\$4,403.75	170
EARTHWORK TOTAL =						\$194,771.48	
POTABLE WATER							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Street A (Entrance TH's)							
W-1	8" PVC Water Main	71	71	LF	\$42.50	\$3,017.50	180
W-2	8" Gate Valve	1	1	EA	\$2,430.00	\$2,430.00	190
W-3	Chlorination & Testing	71	71	LF	\$1.10	\$78.10	200
**	Connect to Ex. WM		1	EA	\$4,400.00	\$4,400.00	210
TOTAL =						\$9,925.60	
Street C (16' TH's) Phase 1							
W-4	6" PVC Water Main	117	2,011	LF	\$29.00	\$58,319.00	220
W-5	4" PVC Water Main	449	60	LF	\$27.50	\$1,650.00	230
W-6	6" Gate Valve	1	5	EA	\$1,850.00	\$9,250.00	240
W-7	4" Gate Valve	1	1	EA	\$1,750.00	\$1,750.00	250
W-8	Hydrant Assembly	1	3	EA	\$5,600.00	\$16,800.00	260
W-9	1" Single Service (Short)	16	89	EA	\$1,000.00	\$89,000.00	270
W-10	1" Single Service (Long)	12	62	EA	\$1,300.00	\$80,600.00	280
W-11	Chlorination & Testing	566	2,161	LF	\$1.10	\$2,377.10	290
**	8" PVC Water Main		90	LF	\$42.50	\$3,825.00	300
TOTAL =						\$263,571.10	
POTABLE WATER TOTAL =						\$273,496.70	
Notes:							
1. Fittings are to be included in linear foot price for pipe.							

WASTEWATER							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
	Street A (Entry TH's)						
WW-1	8" PVC Sanitary Sewer SDR-26 (10-12')	25	25	LF	\$69.00	\$1,725.00	310
WW-2	8" PVC Sanitary Sewer SDR-26 (12-14')	65	65	LF	\$86.00	\$5,590.00	320
WW-3	Manhole 4' Diameter (10-12')	1	1	EA	\$7,850.00	\$7,850.00	330
WW-4	Testing and Inspection	90	90	LF	\$1.35	\$121.50	340
**	Connect to Ex. Manhole		1	EA	\$8,500.00	\$8,500.00	350
					TOTAL =	\$23,786.50	
	Street C (16' TH's) Phsae 1						
WW-5	8" PVC Sanitary Sewer SDR-26 (6-8')	562	800	LF	\$48.00	\$38,400.00	360
WW-6	8" PVC Sanitary Sewer SDR-26 (8-10')	964	710	LF	\$55.00	\$39,050.00	370
WW-7	8" PVC Sanitary Sewer SDR-26 (10-12')	275	283	LF	\$69.00	\$19,527.00	380
WW-8	Manhole 4' Diameter (6-8')	2	3	EA	\$6,000.00	\$18,000.00	390
WW-9	Manhole 4' Diameter (8-10')	4	3	EA	\$7,350.00	\$22,050.00	400
WW-10	Manhole 4' Diameter (10-12')	1	1	EA	\$8,000.00	\$8,000.00	410
WW-11	Double Lateral Service	80	80	EA	\$1,150.00	\$92,000.00	420
WW-12	Testing and Inspection	1,801	1,793	LF	\$1.35	\$2,420.55	430
					TOTAL =	\$239,447.55	
					WASTEWATER TOTAL =	\$263,234.05	
Notes:							
1. Fittings are to be included in linear foot price for pipe.							
2. Lift Station testing to be included in unit price for lift station							

PAVING							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
	Street A & Street C Phase 1						
P-1	1" Type SP-9.5 Asphalt 1st Lift	11,030	10,905	SY	\$7.40	\$80,697.00	440
P-2	6" Crushed Concrete Base (7" FDOT Shell base in lieu)	11,030	11,400	SY	\$12.00	\$136,800.00	450
P-3	8" Stabilized Subgrade*	12,685	13,250	SY	\$7.05	\$93,412.50	460
P-4	Type D curb	196	1,520	LF	\$15.00	\$22,800.00	470
P-5	Type F curb	1,680	385	LF	\$17.65	\$6,795.25	480
P-6	2' Valley Gutter	3,664	3,525	LF	\$12.15	\$42,828.75	490
P-7	4" Concrete Sidewalk (5' wide)	1,957	460	SY	\$35.55	\$16,353.00	500
P-8	"Temporary Paint" Striping	1	1	LS	\$23,250.00	\$23,250.00	510
P-9	Sod Behind Curbs (8ft)	4,924	4,972	SY	\$2.07	\$10,292.04	520
**	Type "A" Curb		170	LF	\$15.50	\$2,635.00	530
**	Thickened Edge Concrete		395	LF	\$14.25	\$5,628.75	540
					PAVING TOTAL =	\$441,492.29	

DRAINAGE							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Neighborhood 2 16' & 20' Townhomes Phase 1							
D-1	4" HDPE	435	490	LF	\$19.00	\$9,310.00	550
D-2	18" RCP	92	418	LF	\$62.00	\$25,916.00	560
D-3	24" RCP	273	499	LF	\$76.50	\$38,173.50	570
D-4	30" RCP	796	796	LF	\$98.00	\$78,008.00	580
D-5	36" RCP	661	661	LF	\$127.00	\$83,947.00	590
D-6	42" RCP	272	272	LF	\$174.00	\$47,328.00	600
D-7	48" RCP	549	549	LF	\$215.00	\$118,035.00	610
D-8	54" RCP	342	342	LF	\$265.00	\$90,630.00	620
D-9	42" Flared End	1	1	EA	\$6,575.00	\$6,575.00	630
D-10	48" Flared End	1	1	EA	\$7,665.00	\$7,665.00	640
D-11	54" Flared End	2	2	EA	\$8,100.00	\$16,200.00	650
D-12	Valley Gutter	20	26	EA	\$5,225.00	\$135,850.00	660
D-13	Junction Box	3	3	EA	\$5,950.00	\$17,850.00	670
D-14	4" Yard Drain	12	13	EA	\$1,335.00	\$17,355.00	680
D-15	Grate Inlet	7	8	EA	\$4,650.00	\$37,200.00	690
**	15" RCP		105	LF	\$53.00	\$5,565.00	700
**	24" Flared End		2	EA	\$3,900.00	\$7,800.00	710
DRAINAGE TOTAL =						\$743,407.50	

IRRIGATION							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Street A (Entrance TH's)							
I-7	Connect to Existing	1	1	EA	\$4,500.00	\$4,500.00	720
I-8	4" PVC Irrigation Main	135	137	LF	\$29.50	\$4,041.50	730
I-9	4" Gate Valve	1	1	EA	\$1,850.00	\$1,850.00	740
I-10	2" single service (COMMON) short	1	1	EA	\$2,375.00	\$2,375.00	750
I-11	2" single service (COMMON) long	2	2	EA	\$2,845.00	\$5,690.00	760
I-12	Testing	135	137	LF	\$0.55	\$75.35	770
TOTAL						\$18,531.85	
Street C (16' TH's) Phase 1							
I-19	4" PVC Irrigation Main	1,727	1,727	LF	\$29.50	\$50,946.50	780
I-20	4" Gate Valve	3	3	EA	\$1,850.00	\$5,550.00	790
I-21	2" single service (COMMON) short	10	10	EA	\$2,375.00	\$23,750.00	800
I-22	2" single service (COMMON) long	9	10	EA	\$2,485.00	\$24,850.00	810
I-23	Testing	1,727	1,727	LF	\$0.55	\$949.85	820
TOTAL						\$106,046.35	
IRRIGATION TOTAL =						\$124,578.20	
Notes:							
1. Fittings are to be included in linear foot price for pipe.							

TAYLOR MORRISON

**AMENDMENT #1
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #1 (the "Authorizing Addendum Amendment") made and entered into as of June 15, 2022 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated August 16, 2021 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$2,541.00 to previously authorized amount of 2,135,330.22

The maximum authorized for the Services under this Authorizing Addendum is \$2,137,871.22 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Morris Hill. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 144 Skye Ranch 4 (PO 14280100-355, Land DEV PO 727)
- Project and Phase Number:
- Cost Code Number: 021520 Grading
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

- a) Scope of Work: RG CO1

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	AMOUNT (+) (-)
ADDITIONS					
1	LABOR Excavation (continued)	50.00	CY	\$1.70	\$8,500.00
2					\$0.00

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

DocuSigned by:
Jamie Kuca
FAD81E182E9E419...

By: _____

Print Name: Jamie Kuca

Title: PM Land Development

Date: 6/16/2022

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

DocuSigned by:
Liz Garrido
850BA696F0E6454...

By: _____

Liz Garrido

Print Name: _____

Title: Treasurer

Date: 6/16/2022

TAYLOR MORRISON

**AMENDMENT #2
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #2 (the "Authorizing Addendum Amendment") made and entered into as of October 10, 2022 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated August 16, 2021 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$16,138.83 to previously authorized amount of 2,137,871.22

The maximum authorized for the Services under this Authorizing Addendum is \$2,154,010.05 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 144 Skye Ranch 4 (PO 14280100-355, Land DEV PO 727)
- Project and Phase Number:
- Cost Code Number: 320120 Sanitary Sewerage, 320145 Storm Water
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C
3. **Hourly Fee Schedule:** N/A
4. **Modifications to Description of Work:**

- a) Scope of Work: RG CO1

RYANGOLF CORPORATION 614 S. Military Trail, Deerfield Beach, FL 33442 SKYE RANCH (N2 Towahomes - Core-in Connection #2) (Sarasota Co., Florida)	BID		UNIT COST	BID AMOUNT
	QUANTITY	UNIT		
Core in Ex. Manhole #615 (Labor, Equipment & Materials (including 8" x 12" boot) used to facilitate core-in connection)	1.00	LS	\$2,795.00	\$2,795.00
PROJECT TOTAL				\$13,343.83

RYANGOLF CORPORATION 614 S. Military Trail, Deerfield Beach, FL 33442 SKYE RANCH (N2 - 6" HDPE pipe & Yard Drains), rev.1 (Sarasota Co., Florida)	BID		UNIT COST	BID AMOUNT
	QUANTITY	UNIT		
6" HDPE ADS Drainage Pipe	490.00	LF	\$25.00	\$12,250.00
4" HDPE	(490.00)	LF	\$19.00	(\$9,310.00)
6" Yard Drain	17.00	EA	\$1,500.00	\$25,500.00
4" Yard Drain	(13.00)	EA	\$1,335.00	(\$17,355.00)
Restocking Fee for 4" pipe, Inline Drains & fittings	1.00	LS	\$2,258.83	\$2,258.83
PROJECT TOTAL				\$13,343.83

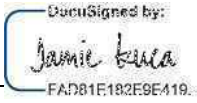
5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.
6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.
7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____  _____
FAD81E182E9E419...

Print Name: Jamie Kuca

Title: PM Land Development

Date: 10/31/2022

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By: _____  _____
850BA696F0E6454...

Print Name: Liz Garrido

Title: Treasurer

Date: 10/27/2022

TAYLOR MORRISON**AMENDMENT #3
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")****(FLORIDA)**

This Amendment #3 (the "Authorizing Addendum Amendment") made and entered into as of January 4, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated August 16, 2021 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$22,970.00 to previously authorized amount of 2,154,010.05

The maximum authorized for the Services under this Authorizing Addendum is \$2,176,980.05 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 144 Skye Ranch 4 (PO 14280100-355, Land DEV PO 727)
- Project and Phase Number:
- Cost Code Number: 320145 Drainage
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

- a) Scope of Work:

SKYE RANCH (N2 Townhomes - Added Pipe & Yard Drains) (Narasota Co., Florida)	QUANTITY	UNIT	UNIT COST	BID AMOUNT
Labor & Equipment for Yard Drains and Pipe install	1.00	LS	\$11,600.00	\$11,600.00
Materials for Yard Drains & Pipe	1.00	LS	\$9,895.00	\$9,895.00
Remove / Replace Concrete Sidewalk (10' length)	1.00	LS	\$1,475.00	\$1,475.00

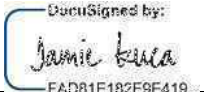
5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.
6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.
7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By:  _____
FAD81E182E9E419

Print Name: Jamie Kuca

Title: PM Land Development

Date: 1/5/2023

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By:  _____
650BA696F0E6454...

Print Name: Liz Garrido

Title: Treasurer

Date: 1/5/2023

TAYLOR MORRISON

**AMENDMENT #4
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #4 (the "Authorizing Addendum Amendment") made and entered into as of June 14, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated August 16, 2021 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$1,900.00 to previously authorized amount of 2,176,980.05

The maximum authorized for the Services under this Authorizing Addendum is \$2,178,880.05 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 144 Skye Ranch 4 (PO 14280100-355, Land DEV PO 727)
- Project and Phase Number:
- Cost Code Number: 320100 Water
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C
3. **Hourly Fee Schedule:** N/A
4. **Modifications to Description of Work:**

- a) Scope of Work:

<u>KYE RANCH - N2 Townhomes (BACTERIOLOGICAL TESTING)</u> (Sarasota Co., Florida)	<u>QUANTITY</u>	<u>UNIT</u>	<u>UNIT COST</u>	<u>BID AMOUNT</u>
Bacteriological Testing - N2 Townhomes	1.00	LS	\$1,900.00	\$1,900.00


5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.
6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.
7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By:  _____
FAD81E182E9E419

Print Name: Jamie Kuca

Title: PM Land Development

 6/21/2023

Date: _____

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By:  _____
B508A698F0E6454...

Print Name: Liz Garrido

Title: Treasurer

 6/20/2023

Date: _____

TAYLOR MORRISON

**AMENDMENT #5
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #5 (the "Authorizing Addendum Amendment") made and entered into as of July 10, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated August 16, 2021 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Deduct (\$5,955.80) from previously authorized amount of 2,178,880.05

The maximum authorized for the Services under this Authorizing Addendum is \$2,172,924.25 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 144 Skye Ranch 4 (PO 14280100-355, Land DEV PO 727)
- Project and Phase Number:
- Cost Code Number: 021520 Excavation
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C
3. **Hourly Fee Schedule:** N/A
4. **Modifications to Description of Work:**

- a) Scope of Work:

CREDITS					
1	Double Row 38t Fence	-734.90	LF	\$3.70	-\$2,718.80
2	Inlet Protection Device	-24.00	EA	\$175.00	-\$4,200.00
3					\$0.00

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.
6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.
7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____ 

Print Name: Jamie Kuca

Title: PM Land Development

Date: 7/11/2023

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By: _____ 

Print Name: Liz Garrido

Title: Treasurer

Date: 7/11/2023

**AUTHORIZING ADDENDUM #151 Skye Ranch 8
TO
MASTER LAND DEVELOPMENT SERVICES AGREEMENT**

TAYLOR MORRISON:
Taylor Morrison of Florida, Inc., a Florida corporation

CONTRACTOR:
RYAN GOLF CORPORATION, a Florida corporation

Job Code: 14280100
PO: 14280100-411

NOTICE TO PROCEED DATE: 01/28/2022
SUBSTANTIAL COMPLETION DATE: See EXHIBIT C

DESCRIPTION OF WORK:

This Authorizing Addendum to Master Land Development Services Agreement (“**Authorizing Addendum**”) is made and entered into effective as of 28th day of January, 2022 by and between **Taylor Morrison of Florida, Inc., a Florida corporation** (“**Taylor Morrison**”) and **RYAN GOLF CORPORATION, a Florida corporation** (“**Contractor**”), with respect to the Master Land Development Services Agreement between Taylor Morrison and Contractor dated January 12, 2012 (the “**Agreement**”).

1. **Scope/Work.** Pursuant to the Agreement, Contractor shall perform the Work for the Contract Price and within the time frame set forth on **Exhibit A** attached to this Authorizing Addendum.
2. **Site.** The Work will be performed at the job site (the “**Site**”), the location of which is legally described on **Exhibit B** attached hereto.

Unless otherwise defined herein, all capitalized terms used in this Authorizing Addendum shall have the meanings set forth in the Agreement. This Authorizing Addendum may be executed simultaneously or in counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. In the event of a conflict between the provisions of the Agreement and this Authorizing Addendum, the Agreement shall control except to the extent that the Authorizing Addendum specifically states that a provision is intended to modify the Agreement. Except as supplemented by this Authorizing Addendum, all provisions of the Agreement shall remain in full force and effect.

TAYLOR MORRISON:
Taylor Morrison of Florida, Inc., a Florida corporation

CONTRACTOR:
RYAN GOLF CORPORATION,

DocuSigned by:
Morris Hill
By: _____
D4A4E0832F50477...
Name: Morris Hill
Title: PM Land Development
2/3/2022
Date: _____

DocuSigned by:
Liz Garrido
By: _____
850BA696F0E6454...
Name: LIZ Garrido
Title: Treasurer
2/3/2022
Date: _____

DocuSigned by:
John Wollard
B916F3B5222646F...
2/3/2022

DocuSigned by:
[Signature]
B0802F246E99403...
2/3/2022

DocuSigned by:
Steve Kempton
25D75F6A56EC5404...
2/4/2022

DocuSigned by:
Louis E. Steffens
81D124F06156419...
2/4/2022

AUTHORIZING ADDENDUM #151 Skye Ranch 8
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES

EXHIBIT A
 SCOPE/CONTRACT PRICE/SCHEDULE

Job No.: 14280100

PO: 14280100-411

Taylor Morrison's Representative: Morris Hill

Contractor's Representative: Cort Byrnes

1. **Schedule.** The Work shall be completed during the following time frames: **See Exhibit C**
2. **Contract Price/Budget.** The Contract Price is as follows: **Not to exceed \$6,816,408.24**
3. **Hourly Fee Schedule.** Contractor's hourly fee schedule including time period for which rates apply: N/A
4. **Additional or Modified Provisions.** **NONE**
5. **Description of Work.** Contractor shall provide the following services for the Project (the "Work"):

Skye Ranch			
Neighborhood 5			
BID SCHEDULE - REV 02			
	Bid Date:	Friday, November 12, 2021	
	Bid Due Date:	Friday, December 10, 2021	
	Bid Plan No., Rev No.	Skye Ranch N5 - REV02	
	Contractor	RYANGOLF CORPORATION	
SUMMARY			
	Potable Water		\$680,265.90
	Wastewater		\$1,244,715.30
	Paving		\$871,592.76
	Drainage		\$1,528,330.50
	Irrigation		\$559,660.50
	Earthwork		\$1,773,843.28
	Survey		\$104,000.00
	Geotechnical Testing		\$54,000.00
		TOTAL =	\$6,816,408.24

GRADING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Grading Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

1. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "Soils Report").
2. Select applicable provision by checking either Option 2(A) **OR** 2(B):

A. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

B. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

3. The Work includes hurricane pump and/or pump/standpipe to fill water pulls and trucks.
4. Contractor shall provide earthwork calculations in its bid submittal.
5. Contractor shall coordinate its equipment line up with Taylor Morrison.
6. Contractor shall notify Taylor Morrison 48 hours prior to any staking or testing being required.
7. Contractor shall undercut all basins _____, or per direction of Taylor Morrison.
8. Contractor shall undercut all street 0.20' and leave all street subgrade flat (no crown).
9. Contractor shall cut all sidewalk areas 3" from top of curb elevation.
10. Contractor shall build stepped pads when adjacent pad differential is equal to or greater than 0.25' and rake when less than 0.25'.
11. Contractor shall overbuild front yards 5' from BSL on Final Plat and slope to sidewalk grade (do not bench).
12. Contractor shall overbuild all property lines 2' to allow for wall footing.
13. Contractor shall overbuild all areas with sidewalks a minimum of 18".
14. Contractor shall cut all retaining walls back 3' and leave spoils on the upper pad side to allow for backfill of retaining walls.

- 15. Contractor shall cut basins _____ in retention basins with dry wells, or per direction of Taylor Morrison, to make room for dry well spoils.
- 16. Contractor must supply weekly safety report and dust control records.
- 17. Contractor is required to have a Certified Dust Coordinator onsite at all times during operations, without exception.
- 18. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during grading operations.

MATERIALS TESTING AND ENGINEER OF RECORD SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Material Testing and Engineer of Record Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

- 19. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").
- 20. Select applicable provision by checking Option 2(A) OR 2(B):

C. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

D. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

Materials Testing-

- 21. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.
- 22. Contractor shall sample and test earthwork for building pads, trench backfill and subgrade beneath paving, curbs, gutters and sidewalks.
- 23. Contractor shall sample and test concrete for curbs, gutters and sidewalks.
- 24. Contractor shall sample and test ABC below asphaltic concrete pavement.
- 25. Contractor shall sample and test asphaltic concrete materials.
- 26. Contractor shall sample and test electrical for SRP equipment pads.

Observation-

- 27. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.
- 28. Contractor shall observe all earthwork and trenching operations.
- 29. Contractor shall observe placement of concrete for curbs, gutters and sidewalks.
- 30. Contractor shall observe placement of asphaltic concrete materials.

Engineer of Record-

- 31. Contractor shall be the Engineer of Record for ADEQ/MCESD certification and coordinate all activities with Taylor Morrison and the municipal inspector;
- 32. Engineer of Record shall observe construction of the water and sewer lines, keep paper record of all testing operations, and provide records to Taylor Morrison within 24 hours of testing (including but not limited to water pressure tests, water bacteriological tests, sewer air tests, sewer pressure tests, and mandrel).
- 33. Engineer of Record shall review the filming of the sewer lines, certify the as-built drawings, and provide the written Approval of Construction documentation to Taylor Morrison for submittal to ADEQ.

Reports-

- 34. Reports shall be generated in a timely manner and disseminated to Taylor Morrison and its applicable contractors.
- 35. Weekly field/progress reports shall be submitted to Taylor Morrison.

PAVING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Paving Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

- 36. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "Soils Report").
- 37. Select applicable provision by checking either Option 2(A) **OR** 2(B):

E. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

F. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

38. Contractor shall clean out all laydown machines and other equipment in designated areas only, as determined by Taylor Morrison's Designated Representative.
39. Contractor's Work shall be performed in strict accordance with the Project's Contract Documents.
40. Contractor is required to furnish all labor, equipment, and materials to construct the improvements as set forth in the Project's Contract Documents. This work shall include but is not limited to: paving asphalt, subgrade prep, installing and prepping A.B.C., achieving compaction, adjust manholes, valves, and cleanouts, as well as providing and installing: barricades, survey monuments, fire hydrant markers, street sign bases, signage and striping, and temporary and/or permanent barricading.
41. Contractor shall re-grade any areas disturbed by the water, sewer, or utility contractors. The cost of this work shall be included in the bid, assuming the grade left by all utility contractors 0.30' from the original rough grade or 0.30' from design grade.
42. Contractor shall notify Taylor Morrison's Designated Representative at least 48 hours prior to any staking being required.
43. Contractor shall notify Taylor Morrison's Designated Representative at least 24 hours prior to any asphalt being placed for the purpose of coordinating testing.
44. Contractor shall be responsible for coordinating with Taylor Morrison's Designated Representative to provide a water truck for flow testing curb and paving, which cost shall be included in Contractor's bid.
45. Contractor shall be responsible for manhole adjustments, water and gas valve adjustments, street signs and bases, barricades, fire hydrant markers, striping, monuments, etc.
46. Contractors' bid shall include the cost of any removals, saw cuts, etc.
47. Contractor's bid shall include the cost of one mobilization. Additional mobilization costs must also be provided.
48. All entrances used by Contractor shall be kept clean, either by sweeping or washed with a water truck. Any track out shall be cleaned by Contractor on a daily basis.
49. Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur shall become the responsibility of the Contractor to repair, if the original survey stakes are missing when any problems are found. Any utilities or property pins damaged or removed during Contractor's work shall be repaired or replaced at the Contractor's expense.
50. Contractor shall exercise care around all existing improvements. Contractor shall arrange to walk the site with Taylor Morrison's Designated Representative before Contractor starts its work to determine the extent and location of any cracks in the concrete, the cleanliness of the manholes and the condition of water valves, etc. Any cleanup or repair needed for Contractor's pre-paving work shall be done by the Contractor at its own expense before the paving operation begins.
51. Contractor shall be responsible for all traffic control including barricades, as required by public authorities and Owner. Contractor shall obtain an approved traffic control plan, if the municipality or County within which the Project is located requires a traffic control plan.
52. Normal soil conditions are those outlined in the Soils Report. Any ripping, jack hammering, or blasting that is necessary to perform the work shall be included in Contractor's bid.

WET UTILITIES SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Wet Utilities Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

53. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").

54. Select applicable provision by checking Option 2(A) OR 2(B):

G. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

H. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

55. One mobilization to be included in Agreement. Additional mobilization costs must also be provided.

56. Contractor shall coordinate services of surveying and observation contractors designated by Taylor Morrison;

57. The Contractor shall provide all materials, equipment, and labor necessary to install sewer, water and storm drain improvements as set forth in the Contract Documents. The Work shall include, but is not limited to: trenching, excavating, backfilling and compacting, bacteria, compaction, camera, and pressure testing, furnishing and installing bedding, pipe, fittings, valves, valve boxes and covers, fire hydrants, manholes, plugs, clean-outs, taps, services, meter boxes and lids, and any other necessary appurtenances.

58. Prior to commencing any other work, the Contractor shall expose all existing sewer tie-ins so that the surveyors can verify their locations.

59. Contractor shall install sewer services as follows: Sewer services to be stubbed into property five (5) feet behind the PUE. Sewer taps shall be marked with a 2x4 metal stud. The metal stud shall extend from the sewer tap to 3' above finished grade. Contractor shall paint top twelve (12) inches of metal stud green. The sewer tap should be installed with two 45 degree elbows and extended to within one (1) foot of finished grade. A 3/8" x 12" length of #4 rebar shall be duct taped to end of sewer tap;

60. Contractor shall stub water services up six (6) inches above grade and set to grade after sidewalk installation;

61. If water main valve boxes are located behind sidewalk, Contractor shall adjust them to grade after sidewalk installation;

62. Contractor shall remove any excess or miscellaneous materials from lots prior to receiving final payment;

63. Contractor will return site to +/- .3 ft. of original grade including lots, R.O.W., and P.U.E., and will be confirmed by Taylor Morrison's Designated Representative. Any excess dirt, ABC, or chips remaining after all trenches have been backfilled and compacted shall be spread evenly in the streets. Contractor will be responsible for all testing and coordination with inspectors or government entities. The Contractor will leave all trenches open long enough to allow as-built locations to be verified by the Owner's surveyor.

64. All sewer and water tie-ins that are in existing pavement will be permanently patched back by the sewer and water contractor, per governing municipality/provider requirements.

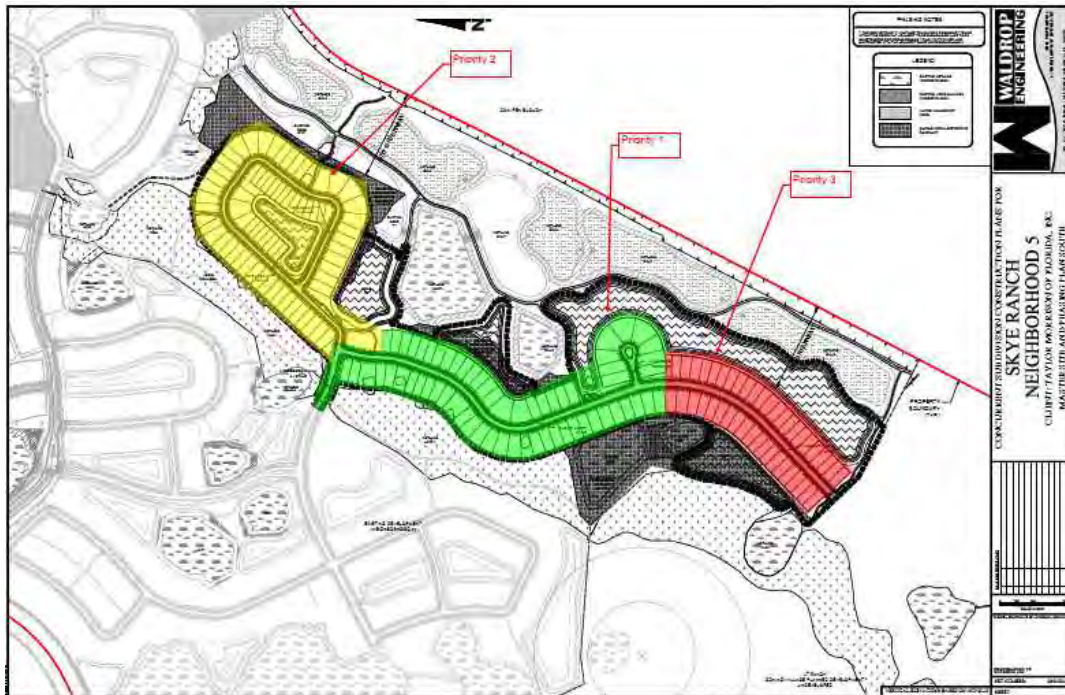
65. Contractor pricing to include municipality/private provider approved methods for backfill.
66. Contractor will provide all necessary barricades, barricade plans and traffic control plans. Contractor is responsible for city or county acceptance if necessary.
67. Contractor shall include in its bid price the cost for two air pressure and camera tests of the sewer system. One test will be after the sewer has been installed to verify that it has been installed correctly, and one test after the remainder of the underground utilities have been installed to verify that the sewer was not damaged by the installation of other utilities.
68. This proposal is to be based on the use of standard trenching equipment equivalent to a 125,000-pound class excavator with a rock bucket and with a production rate of at least 200 linear feet per an 8-hour working day. All excavation beyond the capability of the said equipment at the said production rate will be considered hard excavation.
69. Bidding Contractors to visit the site and account for any borings that may be necessary for any irrigation crossings.
70. Taylor Morrison' shall be notified by Contractor 48 hours prior to any staking being required;
71. The Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur will become the responsibility of the Contractor to repair if the original survey stakes are missing when any problems are found.
72. All costs associated with maintaining all dust control are included in the Agreement – this includes, but is not limited to, all dust generating activities, haul roads around the site, trenching, machine work, and using provided ingress/egress to and from the site. etc.
73. Contractor must use provided entrances/exits when arriving or leaving site. Any fines/violations incurred for this failure to comply will be paid by contractor. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during operations.
74. Contractor shall supply weekly safety and dust records.

**AUTHORIZING ADDENDUM #151 Skye Ranch 8
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

**EXHIBIT B
JOB SITE**

LT RANCH

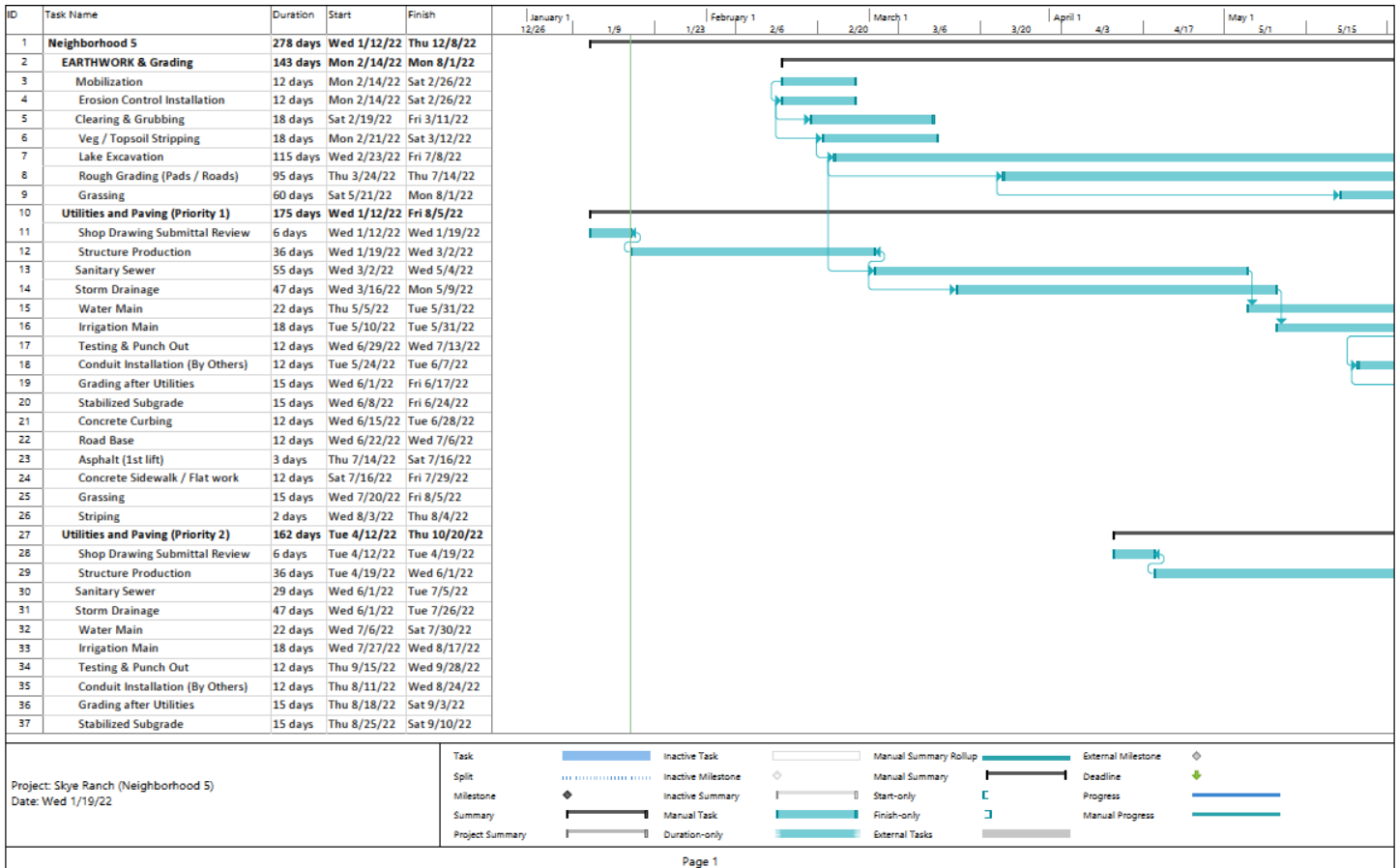
Sections 15, 16, 21, 27, 28 & 33, Township 37 South, Range 19 East,
Sarasota County, Florida



AUTHORIZING ADDENDUM #151 Skye Ranch 8 TO MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES

EXHIBIT C SCHEDULE

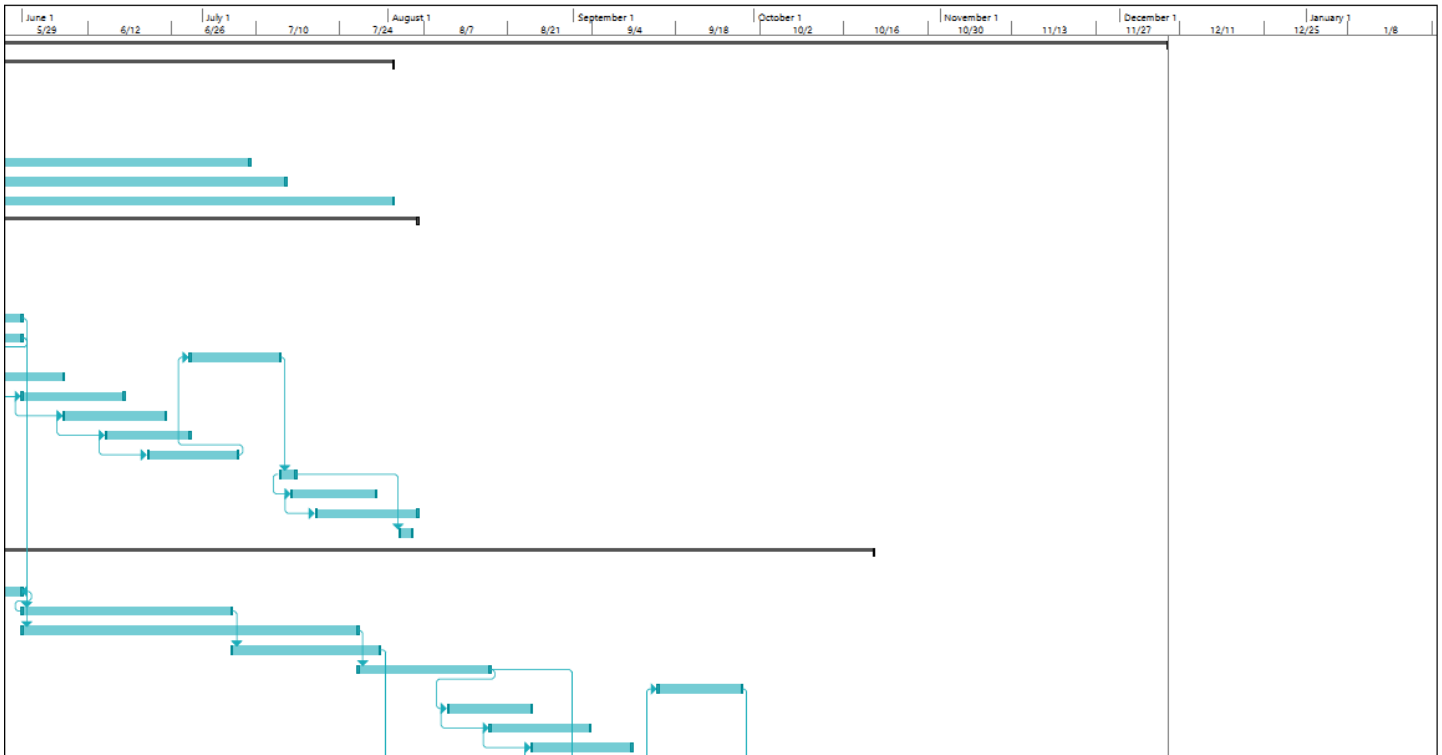
**** There will be a liquidated delay fee of \$500 per day assessed to the contract for every day past substantial completion and Road open. There will be no delay fee if delay is due to Taylor Morrison.**



ID	Task Name	Duration	Start	Finish	January 1 12/26	1/9	February 1 1/23	2/6	2/20	March 1 3/6	3/20	April 1 4/3	4/17	May 1 5/1	5/15
38	Concrete Curbing	12 days	Thu 9/1/22	Wed 9/14/22											
39	Road Base	12 days	Thu 9/8/22	Wed 9/21/22											
40	Asphalt (1st lift)	2 days	Thu 9/29/22	Fri 9/30/22											
41	Concrete Sidewalk / Flat work	12 days	Sat 10/1/22	Fri 10/14/22											
42	Grassing	15 days	Tue 10/4/22	Thu 10/20/22											
43	Striping	2 days	Tue 10/18/22	Wed 10/19/22											
44	Utilities and Paving (Priority 3)	138 days	Sat 6/25/22	Thu 12/8/22											
45	Shop Drawing Submittal Review	6 days	Sat 6/25/22	Sat 7/2/22											
46	Structure Production	24 days	Sat 7/2/22	Mon 8/1/22											
47	Sanitary Sewer	17 days	Mon 8/1/22	Sat 8/20/22											
48	Storm Drainage	24 days	Mon 8/22/22	Sat 9/17/22											
49	Water Main	11 days	Thu 9/1/22	Tue 9/13/22											
50	Irrigation Main	9 days	Wed 9/14/22	Fri 9/23/22											
51	Testing & Punch Out	6 days	Tue 11/8/22	Mon 11/14/22											
52	Conduit Installation (By Others)	10 days	Sat 9/24/22	Wed 10/5/22											
53	Grading after Utilities	12 days	Thu 10/6/22	Wed 10/19/22											
54	Stabilized Subgrade	10 days	Thu 10/13/22	Mon 10/24/22											
55	Concrete Curbing	10 days	Thu 10/20/22	Mon 10/31/22											
56	Road Base	10 days	Thu 10/27/22	Mon 11/7/22											
57	Asphalt (1st lift)	2 days	Tue 11/15/22	Wed 11/16/22											
58	Concrete Sidewalk / Flat work	10 days	Thu 11/17/22	Thu 12/1/22											
59	Grassing	12 days	Sat 11/19/22	Tue 12/6/22											
60	Striping	2 days	Wed 12/7/22	Thu 12/8/22											

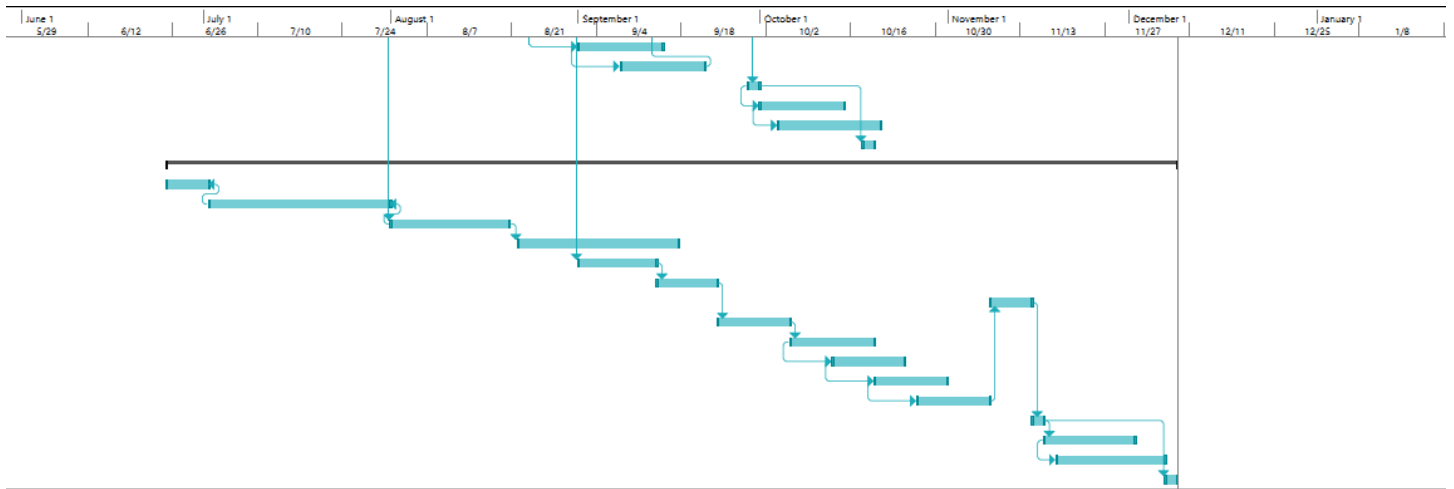
Project: Skye Ranch (Neighborhood 5)
Date: Wed 1/19/22

Task	Inactive Task	Manual Summary Rollup	External Milestone
Split	Inactive Milestone	Manual Summary	Deadline
Milestone	Inactive Summary	Start-only	Progress
Summary	Manual Task	Finish-only	Manual Progress
Project Summary	Duration-only	External Tasks	



Project: Skye Ranch (Neighborhood 5)
Date: Wed 1/19/22

Task	Inactive Task	Manual Summary Rollup	External Milestone
Split	Inactive Milestone	Manual Summary	Deadline
Milestone	Inactive Summary	Start-only	Progress
Summary	Manual Task	Finish-only	Manual Progress
Project Summary	Duration-only	External Tasks	



Project: Skye Ranch (Neighborhood 5)
Date: Wed 1/19/22

Task		Inactive Task		Manual Summary Rollup		External Milestone	
Split		Inactive Milestone		Manual Summary		Deadline	
Milestone		Inactive Summary		Start-only		Progress	
Summary		Manual Task		Finish-only		Manual Progress	
Project Summary		Duration-only		External Tasks			

Page 4

**AUTHORIZING ADDENDUM #151 Skye Ranch 8
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

EXHIBIT D
SCHEDULE OF VALUES

POTABLE WATER							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
W-1	12" PVC WM (C900 DR-18)	838	843	LF	\$97.00	\$81,771.00	10
W-2	8" PVC WM (C900 DR-18)	4,491	4,504	LF	\$49.50	\$222,948.00	20
W-3	6" PVC WM (C900 DR-18)	1,341	1,345	LF	\$35.50	\$47,747.50	30
W-4	4" PVC WM (C900 DR-18)	162	161	LF	\$35.00	\$5,635.00	40
W-5	2" HDPE WM (C900 DR-18)	89	91	LF	\$18.00	\$1,638.00	50
W-6	2" PE Discharge pipe	232	241	LF	\$18.00	\$4,338.00	60
W-7	12" Gate Valve	1	1	EA	\$4,215.00	\$4,215.00	70
W-8	8" Gate Valve	11	11	EA	\$2,475.00	\$27,225.00	80
W-9	6" Gate Valve	4	4	EA	2050	\$8,200.00	90
W-10	1" Single Service (Short)	100	99	EA	1150	\$113,850.00	100
W-11	1" Single Service (Long)	70	71	EA	\$1,275.00	\$90,525.00	110
W-12	Hydrant Assembly	9	9	EA	\$5,265.00	\$47,385.00	120
W-13	2" HG-2 Autoflusher	1	1	EA	\$12,000.00	\$12,000.00	130
W-14	Chlorination & Testing	6,921	6,944	LF	\$1.10	\$7,638.40	140
**	Remove Temp Auto Flshr & CTE 12" WM		1	EA	\$5,150.00	\$5,150.00	150
TOTAL						\$680,265.90	

WASTEWATER							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
WW-1	8" PVC Sanitary Sewer SDR-26 (0-6')	1,386	1,314	LF	\$48.00	\$63,072.00	160
WW-2	8" PVC Sanitary Sewer SDR-26 (6-8')	1,560	1,917	LF	\$53.00	\$101,601.00	170
WW-3	8" PVC Sanitary Sewer SDR-26 (8-10')	1,083	678	LF	\$60.00	\$40,680.00	180
WW-4	8" PVC Sanitary Sewer SDR-26 (10-12')	637	780	LF	\$73.50	\$57,330.00	190
WW-5	8" PVC Sanitary Sewer SDR-26 (12-14')	630	659	LF	\$91.00	\$59,969.00	200
WW-6	8" PVC Sanitary Sewer SDR-26 (14-16')	614	562	LF	\$110.00	\$61,820.00	210
WW-7	8" PVC Sanitary Sewer SDR-26 (16-18')	400	400	LF	\$141.00	\$56,400.00	220
WW-8	8" PVC Sanitary Sewer DR-14 (16-18')	44	44	LF	\$179.00	\$7,876.00	230
WW-9	Manhole 4' Diameter (0-6')	8	8	EA	\$6,000.00	\$48,000.00	240
WW-10	Manhole 4' Diameter (6-8')	5	5	EA	\$7,000.00	\$35,000.00	250
WW-11	Manhole 4' Diameter (8-10')	4	4	EA	\$8,500.00	\$34,000.00	260
WW-12	Manhole 4' Diameter (10-12')	2	2	EA	\$9,500.00	\$19,000.00	270
WW-13	Manhole 4' Diameter (12-14')	2	2	EA	\$10,500.00	\$21,000.00	280
WW-14	Manhole 4' Diameter (14-16')	1	1	EA	\$11,750.00	\$11,750.00	290
WW-15	Manhole 4' Diameter (16-18')	1	1	EA	\$13,000.00	\$13,000.00	300
WW-16	Manhole 4' Diameter LINED (16-18')	1	1	EA	\$18,500.00	\$18,500.00	310
WW-17	Single Lateral Service	23	23	EA	\$1,575.00	\$36,225.00	320
WW-18	Double Lateral Service	169	73	EA	\$1,700.00	\$124,100.00	330
WW-19	Testing and Inspection (TV, Mandrel & Air)	6,354	6,354	LF	1.35	\$8,577.90	340
WW-20	Lift Station	1	1	EA	355000	\$355,000.00	350
WW-21	4" PVC FM (C900 DR-18)	2,081	2,093	LF	30.25	\$63,313.25	360
WW-22	4" Gate Valve	1	1	EA	2850	\$2,850.00	370
WW-23	Testing and Inspection (FM)	2,081	2,093	LF	0.55	\$1,151.15	380
**	Remove Ex. B/O and Connect to Ex.		1	EA	4500	\$4,500.00	390
TOTAL						\$1,244,715.30	

PAVING							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
P-1	1" Type SP-9.5 Asphalt 1st Lift	18,889	18,889	SY	\$6.30	\$119,000.70	400
P-2	7" Shell Base (98% Density LBR 100)	18,889	18,889	SY	\$13.00	\$245,557.00	410
P-3	8" Subgrade (Type B Stabilization LBR 40)	21,722	23,425	SY	\$7.05	\$165,146.25	420
P-4	1st Lift Temp. Striping (Sinage by others)	1	1	LS	\$4,400.00	\$4,400.00	430
P-5	2' Valley Gutter	8,673	10,425	LF	11.35	\$118,323.75	440
P-6	Type F Curb	2,618	2,995	LF	12.9	\$38,635.50	450
P-7	Type A Curb	191	191	LF	\$20.35	\$3,886.85	460
P-8	4" Concrete Sidewalk (12' wide)	937	937	SY	\$36.90	\$34,575.30	470
P-9	4" Concrete Sidewalk (8' wide)	718	718	SY	\$36.90	\$26,494.20	480
P-10	4" Concrete Sidewalk (5' wide)	1,925	1,925	SY	\$36.90	\$71,029.27	490
P-11	Bahia Sod (8' BOC - Front of Lots Only)	7,581	7,581	SY	\$2.16	\$16,374.96	500
P-12	Bahia Sod (2' BOC - See exhibit)	128	128	SY	\$2.16	\$276.48	510
P-13	ADA Handicapped Ramps w/ Detectable Warnings	10	10	EA	\$975.00	\$9,750.00	520
**	Temp Turnaround		1	EA	\$9,300.00	\$9,300.00	530
**	Lift Station Driveway, 6"		110	SY	\$67.50	\$7,425.00	540
**	Bench Concrete Pad, 6"		21	SY	\$67.50	\$1,417.50	550
TOTAL						\$871,592.76	

DRAINAGE							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
D-1	10" HDPE	1,995	1,987	LF	\$30.00	\$59,610.00	560
D-2	12" HDPE	1,835	1,835	LF	\$37.00	\$67,895.00	570
D-3	15" HDPE	1,240	1,256	LF	\$47.00	\$59,032.00	580
D-4	18" HDPE	238	174	LF	\$57.00	\$9,918.00	590
D-5	30" HDPE	692	692	LF	\$125.00	\$86,500.00	600
D-6	15" RCP	977	853	LF	\$57.00	\$48,621.00	610
D-7	18" RCP	1,182	1,182	LF	\$79.00	\$93,378.00	620
D-8	24" RCP	1,613	1,613	LF	\$83.00	\$133,879.00	630
D-9	30" RCP	2,271	2,241	LF	\$112.50	\$252,112.50	640
D-10	36" RCP	720	720	LF	\$146.00	\$105,120.00	650
D-11	42" RCP	177	177	LF	\$195.00	\$34,515.00	660
D-12	Yard Drain	55	54	EA	\$1,350.00	\$72,900.00	670
D-13	Grate Inlet	17	17	EA	4950	\$84,150.00	680
D-14	Valley Gutter Inlet	22	22	EA	5800	\$127,600.00	690
D-15	Type "9" Curb Inlet	6	6	EA	5250	\$31,500.00	700
D-16	Junction Box	9	9	EA	\$5,950.00	\$53,550.00	710
D-17	Type "C" Inlet	2	2	EA	\$4,000.00	\$8,000.00	720
D-18	Type "D" Inlet	3	2	EA	\$5,800.00	\$11,600.00	730
D-19	Type "F" Inlet	2	2	EA	5500	\$11,000.00	740
D-20	Type "H" Inlet	1	2	EA	13700	\$27,400.00	750
D-21	Control Structures	5	3	EA	8250	\$24,750.00	760
D-22	Rip Rap Outfall Structures	6	6	EA	1500	\$9,000.00	770
D-23	10" Flared End	5	5	EA	3000	\$15,000.00	780
D-24	15" Flared End	1	1	EA	\$3,750.00	\$3,750.00	790
D-25	24" Flared End	5	5	EA	\$4,250.00	\$21,250.00	800
D-26	30" Flared End	7	7	EA	\$4,850.00	\$33,950.00	810
D-27	36" Flared End	4	4	EA	\$5,600.00	\$22,400.00	820
D-28	42" Flared End	1	1	EA	\$6,700.00	\$6,700.00	830
**	Connect to Ex. 30" RCP (added 5 tons gr)		1	EA	\$3,950.00	\$3,950.00	840
**	Connect to Ex. 36" RCP (added 5 tons gr)		2	EA	\$4,650.00	\$9,300.00	850
TOTAL =						\$1,528,330.50	

IRRIGATION							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
I-1	8" PVC Irrigation Main (C900 DR-18)	4,306	4,329	LF	\$51.50	\$222,943.50	860
I-2	6" PVC Irrigation Main (C900 DR-18)	731	741	LF	\$34.50	\$25,564.50	870
I-3	4" PVC Irrigation Main (C900 DR-18)	1,372	1,680	LF	\$27.00	\$45,360.00	880
I-4	8" Gate Valve	6	6	EA	2700	\$16,200.00	890
I-5	6" Gate Valve	2	1	EA	2250	\$2,250.00	900
I-6	4" Gate Valve	4	5	EA	1825	\$9,125.00	910
I-7	1" Single service (short)	26	27	EA	1125	\$30,375.00	920
I-8	1" Double service (short)	22	22	EA	\$1,925.00	\$42,350.00	930
I-9	1" Single service (long)	17	14	EA	\$1,375.00	\$19,250.00	940
I-10	1" Double service (long)	41	42	EA	\$2,200.00	\$92,400.00	950
I-11	2" single service (COMMON)	11	8	EA	\$2,650.00	\$21,200.00	960
I-12	6" Permanent Blowoff	2	2	EA	\$2,915.00	\$5,830.00	970
I-13	4" Permanent Blowoff	1	1	EA	2800	\$2,800.00	980
I-14	2" Permanent Blowoff	2	2	EA	2100	\$4,200.00	990
I-15	Testing and Inspection	6,409	6,750	LF	0.55	\$3,712.50	1000
**	Remove B/O & CTE, 8"		1	EA	4500	\$4,500.00	1010
**	2" single service (COMMON) long		4	EA	2900	\$11,600.00	1020
TOTAL						\$559,660.50	

EARTHWORK							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
E-1	Mobilization	1	1	LS	\$85,000.00	\$85,000.00	1030
E-2	Clearing and Grubbing	-	75.3	AC	\$1,650.00	\$124,245.00	1040
E-3	Double Row Silt Fence	10,683	10,683	LF	\$3.70	\$39,527.23	1050
E-4	Single Row Silt Fence	2,352	2,352	LF	\$1.85	\$4,350.87	1060
E-5	Inlet Protection Device	100	100	EA	\$125.00	\$12,500.00	1070
E-6	Finish Grading (Lots & ROW)	49.0	49.0	AC	\$1,200.00	\$58,742.61	1080
E-7	Seed and Mulch (Lots)	34.4	34.4	AC	\$1,100.00	\$37,860.77	1090
E-8	Bahia Sod (pond slope stabilization TOB-NWL)	33,158	33,158	SY	\$2.16	\$71,621.60	1100
E-9	Bahia Sod (6' wide rear yard swales)	5,076	5,076	SY	\$2.16	\$10,964.82	1110
E-10	NPDES Compliance	1	1	LS	\$28,500.00	\$28,500.00	1120
E-11	Pond M1 Excavation (20' depth)	26,863	26,863	CY	\$2.85	\$76,559.55	1130
E-12	Pond N1 Excavation (12' depth)	40,453	40,453	CY	\$2.85	\$115,291.05	1140
E-13	Pond U1 Excavation (20' depth)	37,511	37,511	CY	\$2.85	\$106,906.35	1150
E-14	Pond V1 Excavation (20' depth)	254,223	254,223	CY	\$2.85	\$724,535.55	1160
E-15	Pond W1 Excavation (14' depth)	45,146	45,146	CY	\$2.85	\$128,666.10	1170
E-16	Berm placement and rough grading - See Landscape Plans	-	-	CY	N/A	t.b.d.	
**	Tree Protection Fence (Orange Constr Fnc)		2,100	LF	\$3.50	\$7,350.00	1180
**	Construction Entrance		1	EA	\$5,850.00	\$5,850.00	1190
**	Rough Grading		49	AC	\$850.00	\$41,650.00	1200
**	Swale Grading		7,230	LF	\$2.35	\$16,990.50	1210
**	Berm Grading (@ pond int)		6,200	LF	\$3.35	\$20,770.00	1220
**	Bahia Sodding (Pad Back Slopes & berms)		25,908	SY	\$2.16	\$55,961.28	1230
EARTHWORK TOTAL						\$1,773,843.28	

SURVEYING							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
S-1	Construction Stake-out	1	1	LS	\$104,000.00	\$104,000.00	1240
S-2	Record As-built Survey	1	1	LS	N/A	incl above	
SURVEYING TOTAL =						\$104,000.00	

GEOTECHNICAL TESTING							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
G-1	Compaction Testing (Roads & Utilities)	1	1	LS	\$54,000.00	\$54,000.00	1250
GEOTECHNICAL TOTAL =						\$54,000.00	

TAYLOR MORRISON**AMENDMENT #1
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")****(FLORIDA)**

This Amendment #1 (the "Authorizing Addendum Amendment") made and entered into as of July 12, 2022 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation** ("Contractor") and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation** ("Taylor Morrison") as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$15,153.19 to previously authorized amount of \$6,816,408.24

The maximum authorized for the Services under this Authorizing Addendum is \$6,831,571.43 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 151 Skye Ranch 8 (PO 14280100-411, Land DEV PO 735)
- Project and Phase Number:
- Cost Code Number: 310100 Paving
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

- a) Scope of Work:

SKYE RANCH (Missing section from N4 to N5) (Sarasota Co., Florida)	QUANTITY	UNIT	UNIT COST	BID AMOUNT
Finish Grading (Lots & ROW)	0.20	AC	\$1,200.00	\$240.00
**Rough Gading	0.20	AC	\$850.00	\$170.00
1" Type SP-9.5 Asphalt 1st Lift	240.00	SY	\$6.30	\$1,512.00
7" Shell Base (98% Density LBR 100)	240.00	SY	\$13.00	\$3,120.00
8" Subgrade (Type B Stabilization LBR 40)	292.00	SY	\$7.05	\$2,058.60
1st Lift Temp. Striping (Signage by others)	1.00	LS	\$600.00	\$600.00
Type F Curb	155.00	LF	\$12.90	\$1,999.50
4" Concrete Sidewalk (12' wide x 76')	101.34	SY	\$36.90	\$3,739.45
4" Concrete Sidewalk (5' wide x 80')	44.45	SY	\$36.90	\$1,640.21
Bahia Sod (2' BOC - See exhibit)	34.00	SY	\$2.16	\$73.44

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.
6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.
7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____  _____
FAD81E182E9E419

Print Name: Jamie Kuca

Title: PM Land Development

Date: 7/13/2022

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By: _____  _____
850BA698F9E6454

Print Name: Liz Garrido

Title: Treasurer

Date: 7/12/2022

TAYLOR MORRISON

**AMENDMENT #2
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #2 (the "Authorizing Addendum Amendment") made and entered into as of November 10, 2022 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$80,804.60 to previously authorized amount of \$6,831,571.43

The maximum authorized for the Services under this Authorizing Addendum is \$6,912,376.03 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 151 Skye Ranch 8 (PO 14280100-411, Land DEV PO 735)
- Project and Phase Number:
- Cost Code Number: 021520 Grading
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

a) Scope of Work:

SKYE RANCH - Neighborhood 5 (Over-Excavation) (Sarasota Co., Florida)	QUANTITY	UNIT	UNIT COST	TOT. AMOUNT
N5 Pond Over - Excavation (V1)	26,066.00	CY	\$3.10	\$80,804.60

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

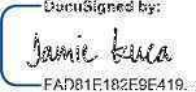
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By:  _____
FAD81E182E9E419

Print Name: Jamie Kuca

Title: PM Land Development

 11/11/2022

Date: _____

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By:  _____
850BA696F9E6454

Print Name: Liz Garrido

Title: Treasurer

 11/10/2022

Date: _____

TAYLOR MORRISON

**AMENDMENT #3
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #3 (the "Authorizing Addendum Amendment") made and entered into as of January 12, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$8,755.00 to previously authorized amount of \$6,912,376.03

The maximum authorized for the Services under this Authorizing Addendum is \$6,921,131.03 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 151 Skye Ranch 8 (PO 14280100-411, Land DEV PO 735)
- Project and Phase Number:
- Cost Code Number: 320100 Water
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

- a) Scope of Work:

<u>(Barrow Co., Florida)</u>	QUANTITY	UNIT	UNIT COST	BID AMOUNT
<u>Labor & Equipment for Installation of Accessories</u>	1.00	LS	<u>\$8,853.00</u>	<u>\$8,853.00</u>
<u>Materials for Connecting accessories and pipe</u>	1.00	LS	<u>\$2,100.00</u>	<u>\$2,100.00</u>

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

Taylor Morrison

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____  _____
FAD81E182E9E419

Print Name: Jamie Kuca

Title: PM Land Development

Date: 1/18/2023

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By: _____  _____
85GBA696F0E6454...

Print Name: Liz Garrido

Title: Treasurer

Date: 1/18/2023

TAYLOR MORRISON

**AMENDMENT #4
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #4 (the "Authorizing Addendum Amendment") made and entered into as of June 14, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$1,350.00 to previously authorized amount of \$6,921,131.03

The maximum authorized for the Services under this Authorizing Addendum is \$6,922,481.03 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 151 Skye Ranch 8 (PO 14280100-411, Land DEV PO 735)
- Project and Phase Number:
- Cost Code Number: 320100 Water
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

- a) Scope of Work:

<u>SKYE RANCH- NS (BACTERIOLOGICAL TESTING)</u> <u>(Sarasota Co., Florida)</u>	<u>QUANTITY</u>	<u>UNIT</u>	<u>UNIT COST</u>	<u>BID AMOUNT</u>
Bacteriological Testing - NS	1.00	LS	\$1,350.00	\$1,350.00

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

DocuSigned by:
Jamie Kuca
FAD81E182E9E419...

By: _____

Print Name: Jamie Kuca

Title: PM Land Development

Date: 6/21/2023

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

DocuSigned by:
Liz Garrido
B508A698F0E6454...

By: _____

Print Name: Liz Garrido

Title: Treasurer

Date: 6/20/2023

TAYLOR MORRISON

**AMENDMENT #5
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #5 (the "Authorizing Addendum Amendment") made and entered into as of November 1, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

Amend 4 has finishing amount \$6,922,481.03 which is overstated by \$10, Correct amount is 6,922,471.03

RK

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$354,467.00 to previously authorized amount of \$6,922,471.03

The maximum authorized for the Services under this Authorizing Addendum is \$7,276,938.03 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 151 Skye Ranch 8 (PO 14280100-411, Land DEV PO 735)
- Project and Phase Number:
- Cost Code Number: 021520 Grading, 00150 Surveying, 320145 Drainage, 320120 Wastewater, 320100 Potable Water, 320150 Irrigation, 310100 Paving
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C
3. **Hourly Fee Schedule:** N/A
4. **Modifications to Description of Work:**

a) Scope of Work:

ITEM	RYANGOLF CORPORATION 614 S. Military Trail, Deerfield Beach, FL 33442 SKYE RANCH Neighborhood 5, (Priority 3), rev.2 (Sarasota Co., Florida)	BID		UNIT COST	BID AMOUNT
		QUANTITY	UNIT		
*	Mobilization & Supervision	1.00	LS	\$15,000.00	\$15,000.00
*	Silt Fence - Single Row	3,060.00	LF	\$2.35	\$7,191.00
*	Inlet Protection	17.00	EA	\$135.00	\$2,295.00
*	Construction Entrance	-	EA	\$7,500.00	Unit Price

ITEM	RYANGOLF CORPORATION		BID		UNIT COST	BID AMOUNT
	614 S. Military Trail, Deerfield Beach, FL 33442 SKYE RANCH Neighborhood 5, (Priority 3), rev.2 (Sarasota Co., Florida)		QUANTITY	UNIT		
*	NPDES Compliance	1.00	LS		\$8,000.00	\$8,000.00
	Remove Ex. Stockpile	1.00	LS		t.b.d.	t.b.d.
	Site Cut Excavation to local fills	-	CY		\$2.50	t.b.d.
*	Rough Grading	11.00	AC		\$1,100.00	\$12,100.00
*	Finish Grading (Lots & ROW)	-	AC		\$1,400.00	Unit Price
*	Seed & Mulch (Lots)	-	AC		\$1,150.00	Unit Price
*	Bahia Sod	3,045.00	SY		\$2.52	\$7,673.40
I	EARTHWORK & GEN CONDITIONS SUBTOTAL					\$52,259.40
	Surveying, Construction Stake-out & As-builts	1.00	LS		\$15,750.00	\$15,750.00
II	SURVEYING SUBTOTAL					\$15,750.00
	Geotech Testing	1.00	LS		\$0.00	\$0.00
III	GEOTECH SUBTOTAL					\$0.00
	10" HDPE	669.00	LF		\$9.00	\$6,021.00
	15" HDPE	366.00	LF		\$10.00	\$3,660.00
	15" RCP	158.00	LF		\$18.00	\$2,844.00
	18" RCP	216.00	LF		\$14.00	\$3,024.00
	24" RCP	199.00	LF		\$17.00	\$3,383.00
	30" RCP	202.00	LF		\$85.00	\$17,170.00
	Valley Gutter Inlet	4.00	EA		\$1,240.00	\$4,960.00
	Grate Inlet	2.00	EA		\$735.00	\$1,470.00
	10" Flared End Section	1.00	EA		\$735.00	\$735.00
	24" Flared End Section	1.00	EA		\$855.00	\$855.00
	30" Flared End Section	1.00	EA		\$1,100.00	\$1,100.00
	Yard Drains	11.00	EA		\$640.00	\$7,040.00
*	Remove and Replace existing 30" RCP to install sew	1.00	LS		\$2,500.00	\$2,500.00
*	Dewatering	1.00	LS		\$20,000.00	\$20,000.00
IV	DRAINAGE SUBTOTAL					\$74,762.00
*	Connect to Existing Manhole	1.00	EA		\$3,145.00	\$3,145.00
	Manhole 4' Diameter (0-6')	1.00	EA		\$1,700.00	\$1,700.00
	Manhole 4' Diameter (6-8')	2.00	EA		\$1,800.00	\$3,600.00
	Manhole 4' Diameter (8-10')	1.00	EA		\$1,900.00	\$1,900.00
	8" PVC Sanitary Sewer (0-6')	396.00	LF		\$9.00	\$3,564.00
	8" PVC Sanitary Sewer (6-8')	529.00	LF		\$10.00	\$5,290.00
	8" PVC Sanitary Sewer (8-10')	206.00	LF		\$13.00	\$2,678.00
	Single Lateral Service	6.00	EA		\$205.00	\$1,230.00
	Double Lateral Service	17.00	EA		\$225.00	\$3,825.00
	Testing and Inspection	1,131.00	LF		\$12.00	\$13,572.00
*	Repurchase Sewer Pipe & Fittings	1.00	LS		\$47,945.00	\$47,945.00
*	Credit for Previously Un-delivered Sewer Materials	1.00	LS		(\$9,688.50)	(\$9,688.50)
V	WASTERWATER SUBTOTAL					\$78,760.50

I T E M	RYANGOLF CORPORATION 614 S. Military Trail, Deerfield Beach, FL 33442 SKYE RANCH Neighborhood 5, (Priority 3), rev.2 (Sarasota Co., Florida)		BID		UNIT	BID
	QUANTITY	UNIT	QUANTITY	UNIT	COST	AMOUNT
*	Connect to Existing Water Main	1.00	EA		\$1,825.00	\$1,825.00
*	Remove and Relocate Autoflushing Device	1.00	EA		\$975.00	\$975.00
	2" PE Discharge Pipe for autoflushing device	232.00	LF		\$7.50	\$1,740.00
*	Temporary Blow-off Assembly	1.00	EA		\$2,865.00	\$2,865.00
	8" PVC Water Main	1,173.00	LF		\$6.00	\$7,038.00
	8" Gate Valve	3.00	EA		\$1,620.00	\$4,860.00
	1" Single Service (Short)	19.00	EA		\$510.00	\$9,690.00
	1" Single Service (Long)	23.00	EA		\$635.00	\$14,605.00
	Hydrant Assembly	2.00	EA		\$1,330.00	\$2,660.00
	Chlorination & Testing	1,173.00	LF		\$1.75	\$2,052.75
VI	POTABLE WATER SUBTOTAL					\$48,310.75
*	Connect to Existing Irrigation Main	1.00	EA		\$1,655.00	\$1,655.00
	6" Blow-off Assembly	1.00	EA		\$960.00	\$960.00
	8" PVC Irrigation Main	1,239.00	LF		\$6.00	\$7,434.00
	8" Gate Valve	1.00	EA		\$1,620.00	\$1,620.00
	1" Single service (short)	5.00	EA		\$470.00	\$2,350.00
	1" Single service (long)	3.00	EA		\$630.00	\$1,890.00
	1" Double service (short)	9.00	EA		\$510.00	\$4,590.00
	1" Double service (long)	8.00	EA		\$630.00	\$5,040.00
	2" single service (COMMON) short	1.00	EA		\$900.00	\$900.00
*	2" single service (COMMON) long	1.00	EA		\$1,025.00	\$1,025.00
	Pressure Testing	1,239.00	LF		\$0.85	\$1,053.15
VII	IRRIGATION SUBTOTAL					\$28,517.15
	1" Type SP-9.5 Asphalt, 1st Lift (prem)	4,729.00	SY		\$2.25	\$10,640.25
	7" Shell Base (LBR 100) (prem)	4,169.00	SY		\$3.25	\$13,549.25
	8" Stabilized Subgrade (LBR 40) (prem)	4,451.00	SY		\$1.45	\$6,453.95
*	Hammerhead Turnaround - 7" Shell Base (LBR 100)	505.00	SY		\$3.25	\$1,641.25
*	Hammerhead Turnaround - 8" Stabilized Subgrade (LB	550.00	SY		\$1.45	\$797.50
	1st Lift Striping	1.00	LS		\$1,500.00	\$1,500.00
	2" Valley Gutter (prem)	2,229.00	LF		\$2.00	\$4,458.00
	Type "F" Curb (prem)	128.00	LF		\$13.75	\$1,760.00
	4" Concrete Sidewalk (8' wide) (prem)	253.00	SY		\$27.45	\$6,944.85
	4" Concrete Sidewalk (5' wide) (prem)	99.36	SY		\$27.45	\$2,727.43
*	8" Shell Sidewalk, 4" thick	220.00	SY		N/A	By Others
	Bahia Sod, 8" BOC	2,236.00	SY		\$2.52	\$5,634.72
VIII	PAVING SUBTOTAL					\$56,107.20

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement. [Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____

FA781E192E9E419

Print Name: Jamie Kuca

Title: PM Land Development

Date: 11/13/2023

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

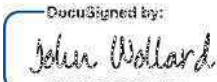
By: _____

850BA698F0E8454...

Print Name: Liz Garrido

Title: Treasurer

Date: 11/13/2023


BB16F38522846E
John Wollard

VP of Land Development
11/13/2023

**AUTHORIZING ADDENDUM #152 Skye Ranch 9
TO
MASTER LAND DEVELOPMENT SERVICES AGREEMENT**

TAYLOR MORRISON:
Taylor Morrison of Florida, Inc., a Florida corporation

CONTRACTOR:
RYAN GOLF CORPORATION, a Florida corporation

Job Code: 14280100
PO: 14280100-482

NOTICE TO PROCEED DATE: 03/04/2022
SUBSTANTIAL COMPLETION DATE: See EXHIBIT C

DESCRIPTION OF WORK:

This Authorizing Addendum to Master Land Development Services Agreement (“**Authorizing Addendum**”) is made and entered into effective as of 4th day of March, 2022 by and between **Taylor Morrison of Florida, Inc., a Florida corporation** (“**Taylor Morrison**”) and **RYAN GOLF CORPORATION, a Florida corporation** (“**Contractor**”), with respect to the Master Land Development Services Agreement between Taylor Morrison and Contractor dated January 12, 2012 (the “**Agreement**”).

1. **Scope/Work.** Pursuant to the Agreement, Contractor shall perform the Work for the Contract Price and within the time frame set forth on **Exhibit A** attached to this Authorizing Addendum.

2. **Site.** The Work will be performed at the job site (the “**Site**”), the location of which is legally described on **Exhibit B** attached hereto.

Unless otherwise defined herein, all capitalized terms used in this Authorizing Addendum shall have the meanings set forth in the Agreement. This Authorizing Addendum may be executed simultaneously or in counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. In the event of a conflict between the provisions of the Agreement and this Authorizing Addendum, the Agreement shall control except to the extent that the Authorizing Addendum specifically states that a provision is intended to modify the Agreement. Except as supplemented by this Authorizing Addendum, all provisions of the Agreement shall remain in full force and effect.

TAYLOR MORRISON:
Taylor Morrison of Florida, Inc., a Florida corporation

CONTRACTOR:
RYAN GOLF CORPORATION,

DocuSigned by:
Morris Hill
By: D4A4E0982E50477...
Name: Morris Hill
Title: PM Land Development
4/8/2022
Date: _____

DocuSigned by:
Liz Garrido
By: 850BA696F0E6454...
Name: Liz Garrido
Title: Treasurer
4/7/2022
Date: _____

DocuSigned by:
John Wollard
By: BA16F3B5222646F...
4/28/2022

DocuSigned by:
Steve Kempton
By: 25D5F6A56EC5404...
4/28/2022

AUTHORIZING ADDENDUM #152 Skye Ranch 9

**TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

EXHIBIT A
SCOPE/CONTRACT PRICE/SCHEDULE

Job No.: 14280100

PO: 14280100-482

Taylor Morrison's Representative: Morris Hill

Contractor's Representative: Cort Byrnes

1. **Schedule.** The Work shall be completed during the following time frames: **See Exhibit C**
2. **Contract Price/Budget.** The Contract Price is as follows: **Not to exceed \$886,741.30**
3. **Hourly Fee Schedule.** Contractor's hourly fee schedule including time period for which rates apply: N/A
4. **Additional or Modified Provisions.** **NONE**
5. **Description of Work.** Contractor shall provide the following services for the Project (the "Work"): N2 TH PH 2

GRADING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Grading Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

1. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "Soils Report").
2. Select applicable provision by checking either Option 2(A) **OR** 2(B):

A. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

B. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be

used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

3. The Work includes hurricane pump and/or pump/standpipe to fill water pulls and trucks.
4. Contractor shall provide earthwork calculations in its bid submittal.
5. Contractor shall coordinate its equipment line up with Taylor Morrison.
6. Contractor shall notify Taylor Morrison 48 hours prior to any staking or testing being required.
7. Contractor shall undercut all basins _____, or per direction of Taylor Morrison.
8. Contractor shall undercut all street 0.20' and leave all street subgrade flat (no crown).
9. Contractor shall cut all sidewalk areas 3" from top of curb elevation.
10. Contractor shall build stepped pads when adjacent pad differential is equal to or greater than 0.25' and rake when less than 0.25'.
11. Contractor shall overbuild front yards 5' from BSL on Final Plat and slope to sidewalk grade (do not bench).
12. Contractor shall overbuild all property lines 2' to allow for wall footing.
13. Contractor shall overbuild all areas with sidewalks a minimum of 18".
14. Contractor shall cut all retaining walls back 3' and leave spoils on the upper pad side to allow for backfill of retaining walls.
15. Contractor shall cut basins _____ in retention basins with dry wells, or per direction of Taylor Morrison, to make room for dry well spoils.
16. Contractor must supply weekly safety report and dust control records.
17. Contractor is required to have a Certified Dust Coordinator onsite at all times during operations, without exception.
18. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during grading operations.

MATERIALS TESTING AND ENGINEER OF RECORD SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Material Testing and Engineer of Record Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

19. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").
20. Select applicable provision by checking Option 2(A) OR 2(B):

C. Construction Water IS Supplied by Taylor Morrison

Construction water ***shall*** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

D. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

Materials Testing-

21. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.
22. Contractor shall sample and test earthwork for building pads, trench backfill and subgrade beneath paving, curbs, gutters and sidewalks.
23. Contractor shall sample and test concrete for curbs, gutters and sidewalks.
24. Contractor shall sample and test ABC below asphaltic concrete pavement.
25. Contractor shall sample and test asphaltic concrete materials.
26. Contractor shall sample and test electrical for SRP equipment pads.

Observation-

27. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.
28. Contractor shall observe all earthwork and trenching operations.
29. Contractor shall observe placement of concrete for curbs, gutters and sidewalks.
30. Contractor shall observe placement of asphaltic concrete materials.

Engineer of Record-

31. Contractor shall be the Engineer of Record for ADEQ/MCESD certification and coordinate all activities with Taylor Morrison and the municipal inspector;
32. Engineer of Record shall observe construction of the water and sewer lines, keep paper record of all testing operations, and provide records to Taylor Morrison within 24 hours of testing (including but not limited to water pressure tests, water bacteriological tests, sewer air tests, sewer pressure tests, and mandrel).
33. Engineer of Record shall review the filming of the sewer lines, certify the as-built drawings, and provide the written Approval of Construction documentation to Taylor Morrison for submittal to ADEQ.

Reports-

34. Reports shall be generated in a timely manner and disseminated to Taylor Morrison and its applicable contractors.
35. Weekly field/progress reports shall be submitted to Taylor Morrison.

PAVING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Paving Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

36. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").

37. Select applicable provision by checking either Option 2(A) OR 2(B):

E. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

F. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

38. Contractor shall clean out all laydown machines and other equipment in designated areas only, as determined by Taylor Morrison's Designated Representative.

39. Contractor's Work shall be performed in strict accordance with the Project's Contract Documents.

40. Contractor is required to furnish all labor, equipment, and materials to construct the improvements as set forth in the Project's Contract Documents. This work shall include but is not limited to: paving asphalt, subgrade prep, installing and prepping A.B.C., achieving compaction, adjust manholes, valves, and cleanouts, as well as providing and installing: barricades, survey monuments, fire hydrant markers, street sign bases, signage and striping, and temporary and/or permanent barricading.

41. Contractor shall re-grade any areas disturbed by the water, sewer, or utility contractors. The cost of this work shall be included in the bid, assuming the grade left by all utility contractors 0.30' from the original rough grade or 0.30' from design grade.

42. Contractor shall notify Taylor Morrison's Designated Representative at least 48 hours prior to any staking being required.

43. Contractor shall notify Taylor Morrison's Designated Representative at least 24 hours prior to any asphalt being placed for the purpose of coordinating testing.

44. Contractor shall be responsible for coordinating with Taylor Morrison's Designated Representative to provide a water truck for flow testing curb and paving, which cost shall be included in Contractor's bid.

45. Contractor shall be responsible for manhole adjustments, water and gas valve adjustments, street signs and bases, barricades, fire hydrant markers, striping, monuments, etc.

46. Contractors' bid shall include the cost of any removals, saw cuts, etc.

47. Contractor's bid shall include the cost of one mobilization. Additional mobilization costs must also be provided.

- 48. All entrances used by Contractor shall be kept clean, either by sweeping or washed with a water truck. Any track out shall be cleaned by Contractor on a daily basis.
- 49. Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur shall become the responsibility of the Contractor to repair, if the original survey stakes are missing when any problems are found. Any utilities or property pins damaged or removed during Contractor's work shall be repaired or replaced at the Contractor's expense.
- 50. Contractor shall exercise care around all existing improvements. Contractor shall arrange to walk the site with Taylor Morrison's Designated Representative before Contractor starts its work to determine the extent and location of any cracks in the concrete, the cleanliness of the manholes and the condition of water valves, etc. Any cleanup or repair needed for Contractor's pre-paving work shall be done by the Contractor at its own expense before the paving operation begins.
- 51. Contractor shall be responsible for all traffic control including barricades, as required by public authorities and Owner. Contractor shall obtain an approved traffic control plan, if the municipality or County within which the Project is located requires a traffic control plan.
- 52. Normal soil conditions are those outlined in the Soils Report. Any ripping, jack hammering, or blasting that is necessary to perform the work shall be included in Contractor's bid.

WET UTILITIES SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Wet Utilities Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

53. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "Soils Report").

54. Select applicable provision by checking Option 2(A) OR 2(B):

G. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

H. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

55. One mobilization to be included in Agreement. Additional mobilization costs must also be provided.

56. Contractor shall coordinate services of surveying and observation contractors designated by Taylor Morrison;

57. The Contractor shall provide all materials, equipment, and labor necessary to install sewer, water and storm drain improvements as set forth in the Contract Documents. The Work shall include, but is not limited to: trenching, excavating, backfilling and compacting, bacteria, compaction, camera, and pressure testing, furnishing and installing bedding, pipe, fittings, valves, valve boxes and covers, fire hydrants, manholes, plugs, clean-outs, taps, services, meter boxes and lids, and any other necessary appurtenances.
58. Prior to commencing any other work, the Contractor shall expose all existing sewer tie-ins so that the surveyors can verify their locations.
59. Contractor shall install sewer services as follows: Sewer services to be stubbed into property five (5) feet behind the PUE. Sewer taps shall be marked with a 2x4 metal stud. The metal stud shall extend from the sewer tap to 3' above finished grade. Contractor shall paint top twelve (12) inches of metal stud green. The sewer tap should be installed with two 45 degree elbows and extended to within one (1) foot of finished grade. A 3/8" x 12" length of #4 rebar shall be duct taped to end of sewer tap;
60. Contractor shall stub water services up six (6) inches above grade and set to grade after sidewalk installation;
61. If water main valve boxes are located behind sidewalk, Contractor shall adjust them to grade after sidewalk installation;
62. Contractor shall remove any excess or miscellaneous materials from lots prior to receiving final payment;
63. Contractor will return site to +/- .3 ft. of original grade including lots, R.O.W., and P.U.E., and will be confirmed by Taylor Morrison's Designated Representative. Any excess dirt, ABC, or chips remaining after all trenches have been backfilled and compacted shall be spread evenly in the streets. Contractor will be responsible for all testing and coordination with inspectors or government entities. The Contractor will leave all trenches open long enough to allow as-built locations to be verified by the Owner's surveyor.
64. All sewer and water tie-ins that are in existing pavement will be permanently patched back by the sewer and water contractor, per governing municipality/provider requirements.
65. Contractor pricing to include municipality/private provider approved methods for backfill.
66. Contractor will provide all necessary barricades, barricade plans and traffic control plans. Contractor is responsible for city or county acceptance if necessary.
67. Contractor shall include in its bid price the cost for two air pressure and camera tests of the sewer system. One test will be after the sewer has been installed to verify that it has been installed correctly, and one test after the remainder of the underground utilities have been installed to verify that the sewer was not damaged by the installation of other utilities.
68. This proposal is to be based on the use of standard trenching equipment equivalent to a 125,000-pound class excavator with a rock bucket and with a production rate of at least 200 linear feet per an 8-hour working day. All excavation beyond the capability of the said equipment at the said production rate will be considered hard excavation.
69. Bidding Contractors to visit the site and account for any borings that may be necessary for any irrigation crossings.
70. Taylor Morrison' shall be notified by Contractor 48 hours prior to any staking being required;
71. The Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur will become the responsibility of the Contractor to repair if the original survey stakes are missing when any problems are found.
72. All costs associated with maintaining all dust control are included in the Agreement – this includes, but is not limited to, all dust generating activities, haul roads around the site, trenching, machine work, and using provided ingress/egress to and from the site. etc.

73. Contractor must use provided entrances/exits when arriving or leaving site. Any fines/violations incurred for this failure to comply will be paid by contractor. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during operations.
74. Contractor shall supply weekly safety and dust records.

**AUTHORIZING ADDENDUM #152 Skye Ranch 9
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

**EXHIBIT B
JOB SITE**

LT RANCH

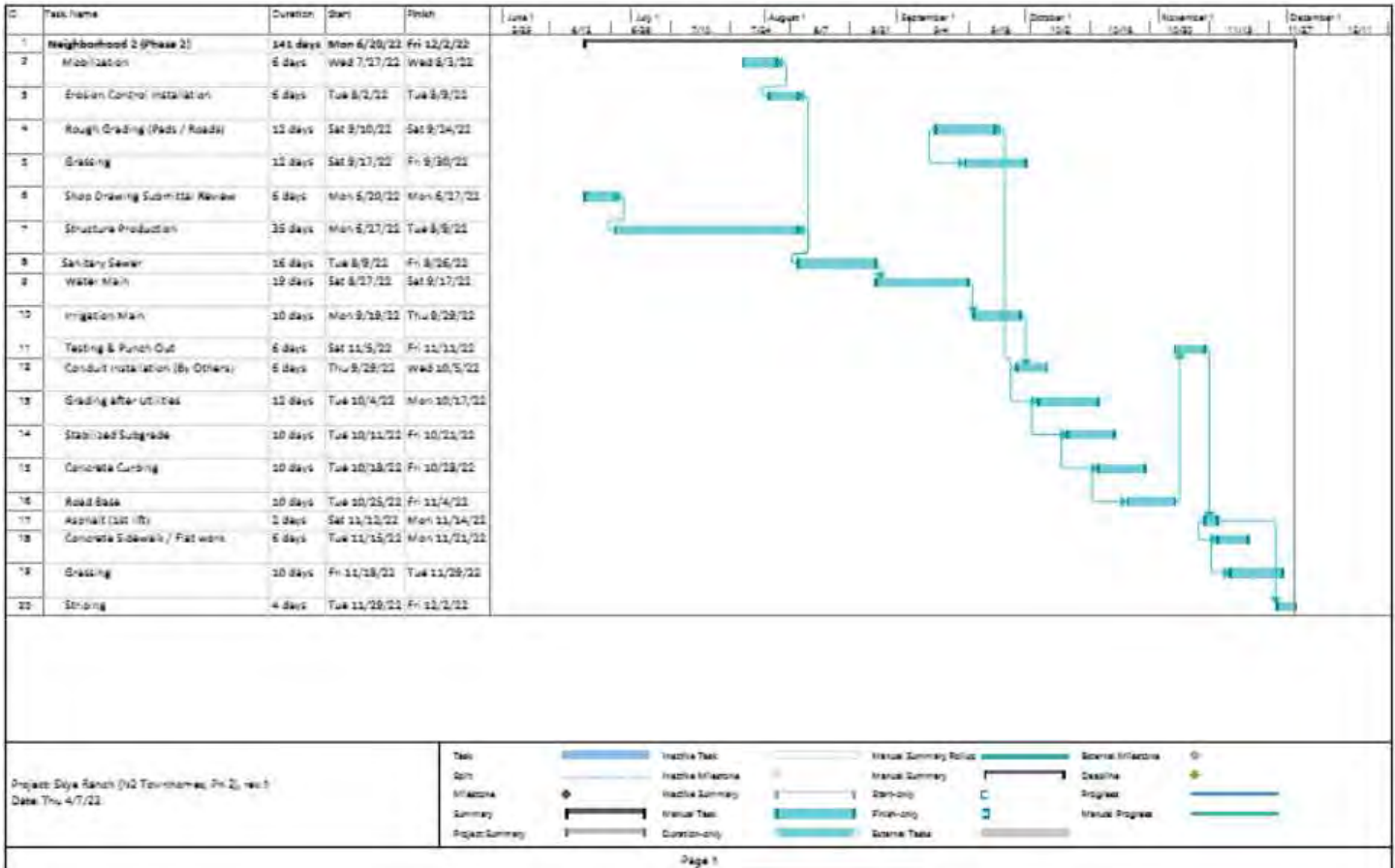
Sections 15, 16, 21, 27, 28 & 33, Township 37 South, Range 19 East,
Sarasota County, Florida



AUTHORIZING ADDENDUM #152 Skye Ranch 9 TO MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES

EXHIBIT C SCHEDULE

**** There will be a liquidated delay fee of \$500 per day assessed to the contract for every day past substantial completion and Road open. There will be no delay fee if delay is due to Taylor Morrison.**



**AUTHORIZING ADDENDUM #152 Skye Ranch 9
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

**EXHIBIT D
SCHEDULE OF VALUES**

						Line
	Inlet Protection Device	14.00	EA	\$165.00	\$2,310.00	10
	Finish Grading	8.40	AC	\$1,600.00	\$13,440.00	20
	Seed and Mulch (Lots)	6.00	AC	\$1,100.00	\$6,600.00	30
	NPDES Compliance	1.00	LS	\$7,500.00	\$7,500.00	40
	Construction Entrance	1.00	EA	\$6,000.00	\$6,000.00	50
	Mobilization & Supervision	1.00	LS	\$9,500.00	\$9,500.00	60
I	EARTHWORK SUBTOTAL				\$45,350.00	
	Construction Stakes-out	1.00	LS	\$41,000.00	\$41,000.00	70
	Record As-built Survey	1.00	LS	N/A	incl above	
II	SURVEY SUBTOTAL				\$41,000.00	
	Geotech Testing	1.00	LS	\$19,500.00	\$19,500.00	80
III	GEOTECH SUBTOTAL				\$19,500.00	
	1" Type SP-9.5 Asphalt 1st Lift	5,100.00	SY	\$7.40	\$37,740.00	90
	(7" FDOT Shell base in lieu)	5,250.00	SY	\$12.25	\$64,312.50	100
	8" Stabilized Subgrade*	6,380.00	SY	\$7.05	\$44,979.00	110
	Type D curb	300.00	LF	\$16.75	\$5,025.00	120
	Type F curb	430.00	LF	\$17.65	\$7,589.50	130
	2" Valley Gutter	2,525.00	LF	\$13.15	\$33,203.75	140
	4" Concrete Sidewalk (5' wide)	1,000.00	SY	\$35.55	\$35,550.00	150
	Thickened Edge Concrete	345.00	LF	\$14.50	\$5,002.50	160
	Handicap Ramps	4.00	EA	\$900.00	\$3,600.00	170
	Handicap Ramp Matting	360.00	SF	\$30.00	\$10,800.00	180
	Temporary Paint Striping	1.00	LS	\$2,000.00	\$2,000.00	190
	Wheel Stops	88.00	EA	\$71.00	\$6,248.00	200
	Sod Behind Curbs (6ft)	2,885.00	SY	\$2.07	\$5,971.95	210
IV	PAVING SUBTOTAL				\$262,022.20	
	8" PVC Sanitary Sewer SDR-26 (0-6')	65.00	LF	\$48.50	\$3,152.50	220
	8" PVC Sanitary Sewer SDR-26 (6-8')	400.00	LF	\$53.00	\$21,200.00	230
	8" PVC Sanitary Sewer SDR-26 (8-10')	658.00	LF	\$60.00	\$39,480.00	240
	8" PVC Sanitary Sewer SDR-26 (14-16')	119.00	LF	\$128.50	\$15,291.50	250
	Manhole 4' Diameter (0-6')	2.00	EA	\$6,000.00	\$12,000.00	260
	Manhole 4' Diameter (6-8')	1.00	EA	\$6,600.00	\$6,600.00	270
	Manhole 4' Diameter (8-10')	1.00	EA	\$7,600.00	\$7,600.00	280
	Manhole 4' Diameter (10-12')	1.00	EA	\$8,500.00	\$8,500.00	290

Double Lateral Service	51.00	EA	\$1,200.00	\$61,200.00	300
Connect to Existing Manhole 18.5' deep	1.00	EA	\$13,750.00	\$13,750.00	310
Testing and Inspection	1,242.00	LF	\$1.35	\$1,676.70	320
SANITARY SEWER SUBTOTAL				\$190,450.70	
6" PVC Water Main	1,000.00	LF	\$33.00	\$33,000.00	330
6" DI Water Main	20.00	LF	\$134.00	\$2,680.00	340
4" PVC Water Main	457.00	LF	\$28.50	\$13,024.50	350
4" DI Water Main	20.00	LF	\$142.50	\$2,850.00	360
6" Gate Valve	4.00	EA	\$1,950.00	\$7,800.00	370
4" Gate Valve	1.00	EA	\$1,800.00	\$1,800.00	380
Hydrant Assembly	3.00	EA	\$5,650.00	\$16,950.00	390
1" Single Service (Short)	60.00	EA	\$1,030.00	\$61,800.00	400
1" Single Service (Long)	42.00	EA	\$1,435.00	\$60,270.00	410
2" SDR9 HDPE Water Pipe	150.00	LF	\$23.00	\$3,450.00	420
2" Gate Valve	4.00	EA	\$1,565.00	\$6,260.00	430
Chlorination & Testing	1,443.00	LF	\$1.10	\$1,587.30	440
Connect to Existing WM	1.00	EA	\$4,625.00	\$4,625.00	450
EOL Permanent Blow Off Assembly	2.00	EA	\$2,050.00	\$4,100.00	460
POTABLE WATER SUBTOTAL				\$220,196.80	
4" PVC Irrigation Main	1,420.00	LF	\$33.50	\$47,570.00	470
4" DI Irrigation Main	60.00	LF	\$142.50	\$8,550.00	480
4" Gate Valve	7.00	EA	\$1,875.00	\$13,125.00	490
2" single service (COMMON) short	7.00	EA	\$2,500.00	\$17,500.00	500
2" single service (COMMON) long	6.00	EA	\$2,700.00	\$16,200.00	510
Testing	1,412.00	LF	\$0.55	\$776.60	520
Connect to Existing IR WM	1.00	EA	\$4,500.00	\$4,500.00	530
IRRIGATION SUBTOTAL				\$108,221.60	
PROJECT TOTAL				\$886,741.30	

TAYLOR MORRISON

**AMENDMENT #1
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #1 (the "Authorizing Addendum Amendment") made and entered into as of July 28, 2022 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$25,135.00 to previously authorized amount of \$886,741.30

The maximum authorized for the Services under this Authorizing Addendum is \$911,876.30 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 152 Skye Ranch 9 (PO 14280100-482, Land DEV PO 736)
- Project and Phase Number:
- Cost Code Number: 320100 Utility Water
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

a) Scope of Work:

E	SKYE RANCH - Neighborhood 2 Townhomes (Utility Field Deviations)			UNIT	COST	BID
M	(Sarasota Co., Florida)	QUANTITY		UNIT	COST	AMOUNT
1	F & I Single Water Service (Short) to Ex. 4" PVC W/M	1.00		EA	\$1,535.00	\$1,535.00
1	F & I Single Sewer Service to Ex. 8" PVC San. Sewer Main (9.5' depth)	1.00		EA	\$7,100.00	\$7,100.00
A	Additional Utilities for Amenity Site Subtotal					\$8,635.00

1	Horizontal Deflection of 6" WM (Deflect around Drainage Structure #D5-16)	1.00	EA	\$5,500.00	\$5,500.00
2	Vertical Deflection of 6" WM (Deflection above 30" RCP at Station 20+00 reduced cover)	1.00	EA	\$5,500.00	\$5,500.00
3	Vertical Deflection of 6" WM (Deflection above 48" RCP at Station 23+40 reduced cover)	1.00	EA	\$5,500.00	\$5,500.00
B	New Deflection on Existing Water Main Subtotal				\$16,500.00

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

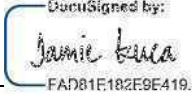
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____  _____
FAD81E182E9E419...

Print Name: Jamie Kuca

Title: PM Land Development

Date: 9/11/2022

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By: _____  _____
850BA696F0E6454...

Print Name: Liz Garrido

Title: Treasurer

Date: 9/9/2022

TAYLOR MORRISON

**AMENDMENT #2
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #2 (the "Authorizing Addendum Amendment") made and entered into as of September 9, 2022 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation** ("Contractor") and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation** ("Taylor Morrison") as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$2,795.00 to previously authorized amount of \$911,876.30

The maximum authorized for the Services under this Authorizing Addendum is \$914,671.30 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 152 Skye Ranch 9 (PO 14280100-482, Land DEV PO 736)
- Project and Phase Number:
- Cost Code Number: 320120 Sanitary Sewerage Utilities
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

a) Scope of Work:

E M	<u>SKYE RANCH (N2 Townhomes - Core-in Connection)</u> (Sarasota Co., Florida)	QUANTITY	UNIT	UNIT COST	BID AMOUNT
	Core in Ex. Manhole #612 (Labor, Equipment & Materials used to facilitate core-in connection)	1.00	LS	<u>\$2,795.00</u>	<u>\$2,795.00</u>

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

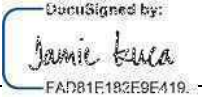
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____  _____
FAD81E182E9E419

Print Name: Jamie Kuca

Title: PM Land Development

Date: 9/14/2022

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By: _____  _____
850BA696F9E6454

Print Name: Liz Garrido

Title: Treasurer

Date: 9/14/2022

TAYLOR MORRISON

**AMENDMENT #3
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #3 (the "Authorizing Addendum Amendment") made and entered into as of May 9, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$188,939.10 to previously authorized amount of \$914,671.30

The maximum authorized for the Services under this Authorizing Addendum is \$1,103,610.40 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 152 Skye Ranch 9 (PO 14280100-482, Land DEV PO 736)
- Project and Phase Number:
- Cost Code Number: 0021520 Earthwork, 310100 Paving, 320100 Water, 320120 Sewer, 320145 Drainage, 320150 Irrigation
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** Revised completion date of **December 31, 2023**

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

- a) Scope of Work:

DESCRIPTION OF THE SERVICE CHANGE AND SCOPE OF WORK (Gersons Co, Florida)	QUANTITY	UNIT	UNIT COST	BID AMOUNT
Construction Entrance - old	(1.00)	EA	\$4,000.00	(\$4,000.00)
Construction Entrance - new	1.00	EA	\$4,517.50	\$4,517.50
EARTHWORK SUBTOTAL				\$517.50

1" Type II-3.1 Asphalt (in Lift) - old	(5,196.00)	SY	\$7.40	(\$37,740.00)
1" Type II-3.1 Asphalt (in Lift) - new	5,100.00	SY	\$9.70	\$49,470.00
7" FDOT Shell base (in Lift) - old	(5,250.00)	SY	\$12.25	(\$64,212.50)
7" FDOT Shell base - new	5,250.00	SY	\$14.25	\$74,812.50
8" Stabilized Subgrade* - old	(6,180.00)	SY	\$7.02	(\$44,976.00)
8" Stabilized Subgrade - new	6,380.00	SY	\$7.49	\$48,007.00
Type F curb - old	(490.00)	LF	\$17.65	(\$7,389.50)
Type F Curb - new	490.00	LF	\$23.40	\$10,086.00
2" Valley Gutter - old	(2,525.00)	LF	\$13.15	(\$33,203.75)
2" Valley Gutter - new	2,525.00	LF	\$17.90	\$45,123.75
4" Concrete Sidewalk (3' wide) - old	(818.00)	SY	\$35.25	(\$29,079.00)
4" Concrete Sidewalk (3' wide) - new	818.00	SY	\$51.75	\$42,331.50
Handicap Ramp Matting - old	(360.00)	SF	\$30.00	(\$10,800.00)
Handicap Ramp Matting - new	360.00	SF	\$35.00	\$12,600.00
Temporary Paint Striping - old	(1.00)	LS	\$2,000.00	(\$2,000.00)
Temporary Paint Striping - new	1.00	LS	\$3,500.00	\$3,500.00
Wheel Stops - old	(88.00)	EA	\$71.00	(\$6,248.00)
Wheel Stops - new	88.00	EA	\$81.00	\$7,128.00
Soil Behind Curb (18") - old	(2,885.00)	SY	\$2.07	(\$5,971.95)
Soil Behind Curb - new	2,885.00	SY	\$2.25	\$6,491.25
PAVING SUBTOTAL				\$58,601.40
**Additional Dewatering Pumping Lower Pond Dr & Cr	1.00	LS	\$8,415.00	\$8,415.00
STORM DRAINAGE SUBTOTAL				\$6,415.00
**Mobilization / Demob Lower Crew	1.00	LS	\$17,902.50	\$17,902.50
8" PVC Sanitary Sewer SDR-24 (8-4) - old	(85.00)	LF	\$48.50	(\$3,152.50)
8" PVC Sanitary Sewer SDR-24 (8-4) - new	85.00	LF	\$56.50	\$3,672.50
8" PVC Sanitary Sewer SDR-24 (8-4) - old	(400.00)	LF	\$53.00	(\$21,200.00)
8" PVC Sanitary Sewer SDR-24 (8-4) - new	400.00	LF	\$64.00	\$25,600.00
Manhole # Diameter 3-4 - old	(2.00)	EA	\$6,000.00	(\$12,000.00)
Manhole # Diameter 3-4 - new	2.00	EA	\$6,600.00	\$13,200.00
Double Lateral Service - old	(51.00)	EA	\$1,200.00	(\$61,200.00)
Double Lateral Service - new	51.00	EA	\$1,370.00	\$69,870.00
**Connect to Existing Manhole	2.00	EA	\$10,850.00	\$21,700.00
SANITARY SEWER SUBTOTAL				\$54,392.00

**Mobilization / Demob Pressure Pipe Crew	1.00	LS	\$11,946.00	\$11,946.00
8" PVC Water Main - old	(1,000.00)	LF	\$33.00	(\$33,000.00)
8" PVC Water Main - new	1,000.00	LF	\$36.30	\$36,300.00
8" DI Water Main - old	(20.00)	LF	\$134.00	(\$2,680.00)
8" DI Water Main - new	20.00	LF	\$142.00	\$2,840.00
4" PVC Water Main - old	(457.00)	LF	\$28.50	(\$13,024.50)
4" PVC Water Main - new	657.00	LF	\$34.10	\$22,403.70
4" DI Water Main - old	(20.00)	LF	\$142.50	(\$2,850.00)
4" DI Water Main - new	20.00	LF	\$146.50	\$2,930.00
8" Gate Valve - old	(4.00)	EA	\$1,950.00	(\$7,800.00)
8" Gate Valve - new	4.00	EA	\$2,250.00	\$9,000.00
4" Gate Valve - old	(1.00)	EA	\$1,800.00	(\$1,800.00)
4" Gate Valve - new	1.00	EA	\$2,100.00	\$2,100.00
Hydrant Assembly - old	(3.00)	EA	\$5,650.00	(\$16,950.00)
Hydrant Assembly - new	3.00	EA	\$6,700.00	\$20,100.00
1" Single Service (Short) - old	(60.00)	EA	\$1,030.00	(\$61,800.00)
1" Single Service (Short) - new	60.00	EA	\$1,170.00	\$70,200.00
1" Single Service (Long) - old	(42.00)	EA	\$4,435.00	(\$186,270.00)
1" Single Service (Long) - new	42.00	EA	\$1,580.00	\$66,360.00
2" SDR9 HDPE Water Pipe - old	(150.00)	LF	\$23.00	(\$3,450.00)
2" SDR9 HDPE Water Pipe - new	150.00	LF	\$26.95	\$4,042.50
2" Gate Valve - old	(4.00)	EA	\$1,565.00	(\$6,260.00)
2" Gate Valve - new	4.00	EA	\$1,710.00	\$6,840.00
Chlorination & Testing - old	(1,443.00)	LF	\$1.10	(\$1,587.30)
Chlorination & Testing - new	1,697.00	LF	\$0.00	\$0.00
Connect to Existing WM - old	(1.00)	EA	\$4,625.00	(\$4,625.00)
Connect to Existing WM - new	2.00	EA	\$5,525.00	\$11,050.00
EOI Permanent Blow Off Assembly - old	(2.00)	EA	\$2,050.00	(\$4,100.00)
EOI Permanent Blow Off Assembly - new	1.00	EA	\$2,950.00	\$2,950.00
POTABLE WATER SUBTOTAL			\$50,452.70	\$48,865.40

4" PVC Irrigation Main - old	(1,420.00)	LF	\$33.50	(\$47,570.00)	
4" PVC Irrigation Main - new	1,420.00	LF	\$38.50	\$54,670.00	
4" DI Irrigation Main - old	(60.00)	LF	\$142.50	(\$8,550.00)	
4" DI Irrigation Main - new	60.00	LF	\$146.50	\$8,790.00	
4" Gate Valve - old	(7.00)	EA	\$1,875.00	(\$13,125.00)	
4" Gate Valve - new	7.00	EA	\$2,120.00	\$14,840.00	
2" single service (COMMON) short - old	(7.00)	EA	\$2,500.00	(\$17,500.00)	
2" single service (COMMON) short - new	7.00	EA	\$2,675.00	\$18,725.00	
2" single service (COMMON) long - old	(6.00)	EA	\$2,700.00	(\$16,200.00)	
2" single service (COMMON) long - new	6.00	EA	\$2,855.00	\$17,130.00	
Testing - old	(1,412.00)	LF	\$0.55	(\$776.60)	Remove
*Testing - new	1,480.00	LF	\$0.00	\$0.00	
Connect to Existing IR WM - old	(1.00)	EA	\$4,500.00	(\$4,500.00)	
Connect to Existing IR WM - new	1.00	EA	\$3,950.00	\$3,950.00	
**EOL Permanent Blow Off Assembly	2.00	EA	\$2,950.00	\$5,900.00	
IRRIGATION SUBTOTAL			\$16,560.00	\$15,783.40	

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.


8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By:  _____
FAD81E182E9E419...

Print Name: Jamie Kuca

Title: PM Land Development

5/11/2023

Date: _____

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By:  _____
350BA696F0E6454...

Liz Garrido

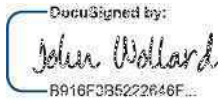
Print Name: _____

Treasurer

Title: _____

5/11/2023

Date: _____


B916F3B5222646F...

5/11/2023

TAYLOR MORRISON

**AMENDMENT #4
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #4 (the "Authorizing Addendum Amendment") made and entered into as of May 17, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation** ("Contractor") and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation** ("Taylor Morrison") as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$4,657.00 to previously authorized amount of \$1,103,610.40

The maximum authorized for the Services under this Authorizing Addendum is \$1,108,267.40 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 152 Skye Ranch 9 (PO 14280100-482, Land DEV PO 736)
- Project and Phase Number:
- Cost Code Number: 001500 Surveying
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C
3. **Hourly Fee Schedule:** N/A
4. **Modifications to Description of Work:**

- a) Scope of Work:

<u>SKYE RANCH 9 TH (PH 1, Additional Surveying)</u> (Sarasota Co., Florida)	QUANTITY	UNIT	UNIT COST	BID AMOUNT
Additional Surveying	1.00	LS	<u>\$4,657.00</u>	<u>\$4,657.00</u>

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

DocuSigned by:
Jamie Kuca
FAD81E182E9E419...

By: _____

Print Name: Jamie Kuca

Title: PM Land Development

Date: 5/22/2023

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

DocuSigned by:
Liz Garrido
850BA698F0E6454...

By: _____

Print Name: Liz Garrido

Title: Treasurer

Date: 5/19/2023

TAYLOR MORRISON

**AMENDMENT #5
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #5 (the "Authorizing Addendum Amendment") made and entered into as of November 9, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation** ("Contractor") and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation** ("Taylor Morrison") as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$865.50 to previously authorized amount of \$1,108,267.40

The maximum authorized for the Services under this Authorizing Addendum is \$1,109,132.90 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 152 Skye Ranch 9 (PO 14280100-482, Land DEV PO 736)
- Project and Phase Number:
- Cost Code Number: 310100 Roadway
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

- a) Scope of Work:

I T E M	RYANGOLF CORPORATION 614 S. Military Trail, Deerfield Beach, FL 33442 Skye Ranch Townhomes PH 2 (Sarasota, Florida)	BID		UNIT COST	BID AMOUNT
		QUANTITY	UNIT		
	Bahia Sodding	2,885.00	SY	\$0.30	\$851.08

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

DocuSigned by:
Jamie Kuca
FAD81E182E9E419...

By: _____

Print Name: Jamie Kuca

Title: PM Land Development

Date: 12/4/2023

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

DocuSigned by:
Liz Garrido
850BA698F9E8454...

By: _____

Print Name: Liz Garrido

Title: Treasurer

Date: 12/4/2023

TAYLOR MORRISON

**AMENDMENT #6
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #6 (the "Authorizing Addendum Amendment") made and entered into as of February 2, 2024 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

- 1. **Contract Price/Budget:** Deduct (\$14.42) from previously authorized amount of \$1,109,132.90

The maximum authorized for the Services under this Authorizing Addendum is \$1,109,118.48 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 152 Skye Ranch 9 (PO 14280100-482, Land DEV PO 736)
- Project and Phase Number:
- Cost Code Number: 310100 Roadway
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

- 2. **Schedule:** N/C

- 3. **Hourly Fee Schedule:** N/A

- 4. **Modifications to Description of Work:**

- a) Scope of Work: Amendment 5 – wrong amount(s/b \$851.08 not \$865.50)

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

DocuSigned by:
Jamie Kuca
FAD81E182E9E419...

By: _____

Print Name: Jamie Kuca

Title: PM Land Development

Date: 2/5/2024

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

DocuSigned by:
Liz Garrido
650BA696F9E6454...

By: _____

Print Name: Liz Garrido

Title: Treasurer

Date: 2/2/2024

TAYLOR MORRISON

**AMENDMENT #7
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #7 (the "Authorizing Addendum Amendment") made and entered into as of March 12, 2024 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

- 1. **Contract Price/Budget:** Deduct (\$6,517.50) from previously authorized amount of \$1,109,118.48

The maximum authorized for the Services under this Authorizing Addendum is \$1,102,600.98 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 152 Skye Ranch 9 (PO 14280100-482, Land DEV PO 736)
- Project and Phase Number:
- Cost Code Number: 021520 Grading
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

- 2. **Schedule:** N/C

- 3. **Hourly Fee Schedule:** N/A

- 4. **Modifications to Description of Work:**

- a) Scope of Work: **Construction Entrance**

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

DocuSigned by:
Jamie Kuca
FA781E192E9E419...

By: _____

Print Name: Jamie Kuca

Title: PM Land Development

Date: 3/14/2024

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

DocuSigned by:
Liz Garrido
850BA688F9E6454...

By: _____

Print Name: Liz Garrido

Title: Treasurer

Date: 3/13/2024

Skye Ranch
Ryan Golf - 14Ryangolf
Bank 14000

RETAINAGE RG-11545 Proj 2142-22

	Net Pay	Retainage Held
RG-10465 2142-7 06/14/2022 PO 727	\$ 57,009.60	\$ 1,745.68
RG-10547 2142-8 07/15/2022 PO 727	\$ 310,576.27	\$ 34,508.48
RG-10611 08/11/2022 PO 727	\$ 124,752.15	\$ 13,861.35
RG-10687 2142-10 09/13/2022 PO 727	\$ 53,360.10	\$ 5,928.90
RG-10761 2142-11 10/13/2022 PO 727	\$ 177,393.45	\$ 19,710.40
RG-10852 2142-12 11/11/2022 PO 727	\$ 112,508.35	\$ 12,500.94
RG-11088 2142-13 12/07/2022 PO 727	\$ 42,867.00	\$ 4,763.00
RG-11174 2142-14 10/13/2022 PO 727	\$ 48,153.82	\$ 5,350.43
RG-10922 2142-14 02/14/2023 PO 727	\$ 25,286.76	\$ 2,809.64
RG-10992 2142-16 03/13/2023 PO 727	\$ 30,874.01	\$ 3,430.45
RG-11250-17-2142 04/15/2023 PO 727	\$ 6,975.00	\$ 775.00
RG-11322 2142-18 05/11/2023 PO 727	\$ 19,345.50	\$ 2,149.50
RG-11327 2142-19 05/16/2023 PO 727	\$ 7,177.50	\$ 797.50
RG-11375 2142-20 06/13/2023 PO 727	\$ 3,960.00	\$ 440.00
TOTAL:	\$ 1,020,239.51	\$ 108,771.27



Recv'd 8/29/2023

INVOICE NUMBER

RG - 11545

614 South Military Trail, Deerfield Beach, FL 33442
(954) 571-2088

NOT DROS

TAYLOR MORRISON
551 CATTLEMEN ROAD
SARASOTA, FLORIDA 34232

RETAINAGE
LandDEV PO 727

ALL PAYMENTS DUE UPON RECEIPT OF INVOICE. A FINANCIAL CHARGE OF % PER MONTH (% ANNUAL RATE) WILL BE ADDED TO ALL PAST DUE ACCOUNTS

PROJECT	CUSTOMER NUMBER	INVOICE NUMBER	DATE
2142		11545	08/29/23

DATE	QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	AMOUNT
			SKYE RANCH NEIGHBORHOOD 2 16'S & 20'S - PHASE 1 DRAW #22 PO 14280100-355		\$108,771.21

WHITE - ORIGINAL / GREEN - DIVISION COPY / YELLOW - ALPHA FILE / PINK - NUMERIC FILE / GOLD - JOB BOOK

APPLICATION AND CERTIFICATE FOR PAYMENT

AIA DOCUMENT

TO OWNER: TAYLOR MORRISON OF FLORIDA INC
691 N CATTLEMEN ROAD SUITE 100
SARASOTA, FL 34232

PROJECT: SKYE RANCH NEIGHBORHOOD 2
169 & 205 - PHASE 1

APPLICATION #: 22
PERIOD TO: 02/28/2023
PROJECT #: 2142
CONTRACT DATE:

CONTRACTOR: RYANGOLF CORPORATION
514 S MILITARY TRAIL
DEERFIELD BEACH, FL 33442

VIA ARCHITECT:

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. Continuation sheet, AIA Document G703, is attached.

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

1. ORIGINAL CONTRACT SUM	\$2,155,330.22
2. Net change by Change Orders	\$35,684.03
3. CONTRACT SUM TO DATE (Line 1 + 2)	\$2,171,024.25
4. TOTAL COMPLETED & STORED TO DATE (Column G on G703)	\$2,171,024.25
5. RETAINAGE: a. % of Completed Work (Columns D + E on G703)	0.00% \$0.00
b. _____ % of Stored Material (Column F on G703) Total Retainage (Line 5a + 5b or Total in Column 1 of G703)	\$0.00
6. TOTAL EARNED LESS RETAINAGE (Line 4 less Line 5 Total)	\$2,171,024.25
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 8 from prior Certificate)	\$2,062,253.04
8. CURRENT PAYMENT DUE	\$108,771.21
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less Line 8)	0.00

CONTRACTOR: RYANGOLF CORPORATION

By:

State of: FLORIDA

County of: BROWARD

Subscribed and sworn to before me this _____ day of _____, 2023.

Notary Public:

My Commission expires:



ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED: \$

(Which explanation if amount certified differs from the amount applied for, initial all figures on the Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ARCHITECT:

By:

Date:

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

11/02/2023

CHANGE ORDER SUMMARY	ADDITIONS	REDUCTIONS
Total changes approved in previous months by Owner		
Total approved this Month	0.00	
TOTALS		
NET CHANGES by Change Order	0.00	

SKYE RANCH NEIGHBORHOOD 2 16S & 20S - PHASE 1

ITEM #	DESCRIPTION	TN CODES	CONTRACT QTY	CHANGES	CURR PLAN	U/M	UNIT PRICE	TOTAL CONTRACT VALUE	QUANTITY			VALUE			BALANCE TO FINISH	RETAINAGE	
									PRIOR	PERIOD	TO DATE	PRIOR	PERIOD	TO DATE			
SURVEY																	
S-1	Construction Stake-out	10	1.00		1.00	LS	\$71,350.00	\$71,350.00	1.00		1.00	71,350.00	0.00	71,350.00	100%	0.00	0.00
SURVEY SUBTOTAL								\$71,350.00	1.00		1.00	71,350.00	0.00	71,350.00	100%	0.00	0.00
GEOTECHNICAL																	
S-1	Geotech Testing	20	1.00		1.00	LS	\$23,000.00	\$23,000.00	1.00		1.00	23,000.00	0.00	23,000.00	100%	0.00	0.00
GEOTECHNICAL SUBTOTAL								\$23,000.00	1.00		1.00	23,000.00	0.00	23,000.00	100%	0.00	0.00
EARTHWORK																	
E-1	Double Row Silt Fence	30	734.00	-734	0.00	LF	\$3.70	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
E-2	Single Row Silt Fence	40	4,206.00		4206.00	LF	\$1.85	\$7,781.10	4206.00		4,206.00	7,781.10	0.00	7,781.10	100%	0.00	0.00
CO #4	Inlet Protection Device	50	47.00	-24	23.00	EA	\$135.00	\$3,105.00	23.00		23.00	3,105.00	0.00	3,105.00	100%	0.00	0.00
E-4	Finish Grading	60	17.00		17.00	AC	\$1,850.00	\$31,450.00	17.00		17.00	31,450.00	0.00	31,450.00	100%	0.00	0.00
E-5	Seed and Mulch (Lots)	70	6.00		6.00	AC	\$1,100.00	\$6,600.00	6.00		6.00	6,600.00	0.00	6,600.00	100%	0.00	0.00
E-6	Bahia Sod (20' pond slope stabilization)	80	1,773.00		1773.00	SY	\$2.07	\$3,670.11	1773.00		1,773.00	3,670.11	0.00	3,670.11	100%	0.00	0.00
E-7	NPDES Compliance	90	1.00		1.00	LS	\$13,000.00	\$13,000.00	1.00		1.00	13,000.00	0.00	13,000.00	100%	0.00	0.00
CO #1	Lake Excavation (unclassified)	100	10,909.00	924	11833.00	CY	\$2.75	\$32,540.75	11833.00		11,833.00	32,540.75	0.00	32,540.75	100%	0.00	0.00
E-9	Bahia Sod (Perimeter Slopes, Berm & Swale)	110	14,721.00		14721.00	SY	\$2.07	\$30,472.47	14721.00		14,721.00	30,472.47	0.00	30,472.47	100%	0.00	0.00
E-10	Tousoil / Veg Stripping (allowance)	120	17.00		17.00	AC	\$950.00	\$16,150.00	17.00		17.00	16,150.00	0.00	16,150.00	100%	0.00	0.00
E-11	Construction Entrance	130	1.00		1.00	EA	\$5,750.00	\$5,750.00	1.00		1.00	5,750.00	0.00	5,750.00	100%	0.00	0.00
**	Mobilization & Supervision	140	1.00		1.00	LS	\$15,000.00	\$15,000.00	1.00		1.00	15,000.00	0.00	15,000.00	100%	0.00	0.00
**	Site Cut Excavation	150	6,576.00		6576.00	BCY	\$2.25	\$14,796.00	6576.00		6,576.00	14,796.00	0.00	14,796.00	100%	0.00	0.00
**	Swale Grading	160	2,950.00		2950.00	LF	\$2.25	\$6,637.50	2950.00		2,950.00	6,637.50	0.00	6,637.50	100%	0.00	0.00
**	Berm Grading	170	1,355.00		1355.00	LF	\$3.25	\$4,403.75	1355.00		1,355.00	4,403.75	0.00	4,403.75	100%	0.00	0.00
EARTHWORK SUBTOTAL								\$191,356.68				\$191,356.68	\$0.00	\$191,356.68	100%	\$0.00	\$0.00
POTABLE WATER																	
STREET A (ENTRANCE TH'S)																	
W-1	8" PVC Water Main	180	71.00		71.00	LF	\$42.60	\$3,017.50	71.00		71.00	3,017.50	0.00	3,017.50	100%	0.00	0.00
W-2	8" Gate Valve	190	1.00		1.00	EA	\$2,430.00	\$2,430.00	1.00		1.00	2,430.00	0.00	2,430.00	100%	0.00	0.00
W-3	Chlorination & Testing	200	71.00		71.00	LF	\$1.10	\$78.10	71.00		71.00	78.10	0.00	78.10	100%	0.00	0.00
**	Connect to Ex. WM	210	1.00		1.00	EA	\$4,400.00	\$4,400.00	1.00		1.00	4,400.00	0.00	4,400.00	100%	0.00	0.00
STREET E (16' TH'S) PHASE 1																	
W-5	6" PVC Water Main	220	2,011.00		2011.00	LF	\$29.00	\$58,319.00	2011.00		2,011.00	58,319.00	0.00	58,319.00	100%	0.00	0.00
W-6	4" PVC Water Main	230	60.00		60.00	LF	\$27.50	\$1,650.00	60.00		60.00	1,650.00	0.00	1,650.00	100%	0.00	0.00
W-7	6" Gate Valve	240	5.00		5.00	EA	\$1,850.00	\$9,250.00	5.00		5.00	9,250.00	0.00	9,250.00	100%	0.00	0.00
W-8	4" Gate Valve	250	1.00		1.00	EA	\$1,750.00	\$1,750.00	1.00		1.00	1,750.00	0.00	1,750.00	100%	0.00	0.00
W-9	Hydrant Assembly	260	3.00		3.00	EA	\$5,600.00	\$16,800.00	3.00		3.00	16,800.00	0.00	16,800.00	100%	0.00	0.00
W-10	1" Single Service (Short)	270	89.00		89.00	EA	\$1,000.00	\$89,000.00	89.00		89.00	89,000.00	0.00	89,000.00	100%	0.00	0.00
W-11	1" Single Service (Long)	280	62.00		62.00	EA	\$1,300.00	\$80,600.00	62.00		62.00	80,600.00	0.00	80,600.00	100%	0.00	0.00
W-12	Chlorination & Testing	290	2,161.00		2161.00	LF	\$1.10	\$2,377.10	2161.00		2,161.00	2,377.10	0.00	2,377.10	100%	0.00	0.00
**	8" PVC Water Main	300	90.00		90.00	LF	\$42.50	\$3,825.00	90.00		90.00	3,825.00	0.00	3,825.00	100%	0.00	0.00
POTABLE WATER SUBTOTAL								\$273,496.70				\$273,496.70	\$0.00	\$273,496.70	100%	\$0.00	\$0.00
WASTEWATER																	
STREET A (ENTRANCE TH'S)																	
WW-1	8" PVC Sanitary Sewer SDR-26 (10-12')	310	25.00		25.00	EA	\$69.00	\$1,725.00	25.00		25.00	1,725.00	0.00	1,725.00	100%	0.00	0.00
WW-2	8" PVC Sanitary Sewer SDR-26 (12-14')	320	65.00		65.00	EA	\$86.00	\$5,590.00	65.00		65.00	5,590.00	0.00	5,590.00	100%	0.00	0.00
WW-3	Manhole 4' Diameter (10-12')	330	1.00		1.00	EA	\$7,850.00	\$7,850.00	1.00		1.00	7,850.00	0.00	7,850.00	100%	0.00	0.00
WW-4	Testing and Inspection	340	90.00		90.00	EA	\$123.50	\$11,115.00	90.00		90.00	11,115.00	0.00	11,115.00	100%	0.00	0.00
**	Connect to Ex. Manhole	350	1.00		1.00	EA	\$8,500.00	\$8,500.00	1.00		1.00	8,500.00	0.00	8,500.00	100%	0.00	0.00
STREET E (16' TH'S) PHASE 1																	
WW-5	8" PVC Sanitary Sewer SDR-26 (6-8')	360	800.00		800.00	LF	\$48.00	\$38,400.00	800.00		800.00	38,400.00	0.00	38,400.00	100%	0.00	0.00
WW-6	8" PVC Sanitary Sewer SDR-26 (8-10')	370	710.00		710.00	LF	\$55.00	\$39,050.00	710.00		710.00	39,050.00	0.00	39,050.00	100%	0.00	0.00
WW-7	8" PVC Sanitary Sewer SDR-26 (10-12')	380	283.00		283.00	LF	\$63.00	\$17,927.00	283.00		283.00	17,927.00	0.00	17,927.00	100%	0.00	0.00
WW-8	Manhole 4' Diameter (6-8')	390	3.00		3.00	EA	\$6,000.00	\$18,000.00	3.00		3.00	18,000.00	0.00	18,000.00	100%	0.00	0.00
WW-9	Manhole 4' Diameter (8-10')	400	3.00		3.00	EA	\$7,350.00	\$22,050.00	3.00		3.00	22,050.00	0.00	22,050.00	100%	0.00	0.00

SKYE RANCH NEIGHBORHOOD 2 16S & 20S - PHASE 1

ITEM #	DESCRIPTION	TM CODES	CONTRACT QTY	CHANGES	CURR PLAN	U/M	UNIT PRICE	TOTAL CONTRACT VALUE	QUANTITY			VALUE			% DONE	BALANCE	
									PRIOR	PERIOD	TO DATE	PRIOR	PERIOD	TO DATE		TO FINISH	RETAINAGE
I-23	Testing	820	1,727.00		1727.00	EA	\$0.55	\$948.85	1727.00		1,727.00	948.85	0.00	948.85	100%	0.00	0.00
								IRRIGATION SUBTOTAL	\$124,578.20			\$124,578.20	\$0.00	\$124,578.20	100%	\$0.00	\$0.00
CHANGES																	
CO #2	CORE IN EX MANHOLE #615			1	1.00	LB	\$2,795.00	\$2,795.00	1.00		1.00	2,795.00	0.00	2,795.00	100%	0.00	0.00
CO #3	LABOR & EQUIPMENT FOR YARD DRAINS/INSTALL PIPE			1	1.00	LB	\$11,600.00	\$11,600.00	1.00		1.00	11,600.00	0.00	11,600.00	100%	0.00	0.00
CO #3	MATERIALS FOR YARD DRAINS & PIPE		0.00	1	1.00	LS	\$9,895.00	\$9,895.00	1.00		1.00	9,895.00	0.00	9,895.00	100%	0.00	0.00
CO #3	REMOVE / REPLACE CONCRETE SIDEWALK			1	1.00	LS	\$1,475.00	\$1,475.00	1.00		1.00	1,475.00	0.00	1,475.00	100%	0.00	0.00
								CHANGES SUB TOTAL	\$25,765.00			\$25,765.00	\$0.00	\$25,765.00	100%	\$0.00	\$0.00

PROJECT TOTAL

\$2,171,024.25

\$2,171,024.25

\$0.00 \$2,171,024.25 100%

\$0.00

\$0.00

TOTAL CONTRACT COMPLETED TO DATE: \$2,171,024.25
 LESS 10% RETAINAGE \$0.00
 SUBTOTAL VALUE \$2,171,024.25
 LESS PRIOR DRAWS \$2,062,253.04
 TOTAL AMOUNT DUE THIS INVOICE \$108,771.21

CONTRACT CHANGE ORDER #4

PROJECT: SKYE RANCH NEIGHBORHOOD 2 168 & 206 - PHASE 1
 CONTRACTOR: TAYLOR MORRISON
 ENGINEER: RYANGOLF CORPORATION

Conditions: The changes described herein shall be governed by the terms and conditions of the Contract, and shall not in any way alter the terms of the Contract, but shall hereafter be a part of the Contract.

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	AMOUNT (+) (-)
ADDITIONS					
1					\$0.00
2					\$0.00
3					\$0.00
4					\$0.00
5					\$0.00
6					\$0.00
7					\$0.00
8					\$0.00
9					\$0.00
10					\$0.00
11					\$0.00
12					\$0.00
13					\$0.00
14					\$0.00
					0.00

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	AMOUNT (+) (-)
CREDITS					
1	Inlet Protection Device	-4.00	EA	\$135.00	-\$532.00
2					\$0.00
3					\$0.00
4					\$0.00
5					\$0.00
6					\$0.00
7					\$0.00
8					\$0.00
9					\$0.00
10					\$0.00
					(3,240.00)

Contract Total Prior to this Change Order	Net Increase/Decrease from this Change Order	-\$3,240.00
Current Contract Total including this Change Order	Contract Total Prior to this Change Order	\$ 2,174,264.00
	Current Contract Total including this Change Order	\$2,171,024.00

REASON FOR CHANGE: _____

ACCEPTABLE TO: *[Signature]* Date: 8/29/20
Contractor's Representative

RECOMMENDED BY: _____ Date: _____
Engineer's Representative

APPROVED BY: TAYLOR MORRISON Date: _____
Representative

Original Contract Sum \$2,195,330.22
 Net Change to Contract Sum Including this Change Order \$ 35,693.78

0.00

(3,240.00)

OK

Skye Ranch
Waltbillig
Bank 14000

	Net Pay	Retainage Held	
D1P2218RG-10334N2 04/14/2022 NS PO 482		\$ 25,436.23	NEWSTAR
			Land DEV
RG-10397 2218-2 05/13/2022 LD PO 736		\$ 2,035.00	
RG-10470 2218-3 06/14/2022 LD PO 736		\$ 1,140.00	
RG-10543 07/14/2022 LD PO 736		\$ 580.00	
RG-10696 2218-5 09/13/2022 LD PO 736		\$ 8,373.50	
RG-10916 2218-7 02/13/2023 LD PO 736		\$ 1,149.51	
RG-11321 2218-8 05/11/2023 LD PO 736		\$ 5,294.09	
RG-11432 2218-9 07/11/2023 LD PO 736		\$ 34,602.37	
RG-11484 2218-10 08/11/2023 LD PO 736		\$ 5,525.12	
RG-11556 2218-11 09/13/2023 LD PO 736		\$ 18,511.69	
RG-11608 2218-12 10/11/2023 LD PO 736		\$ 451.57	
RG-11652 2218-13 11/16/2023 LD PO 736		\$ 4,700.65	
RG-11693 2218-14 12/7/2023 LD PO 736		\$ 2,229.41	
RG-11797 2218-15 02/13/2024 LD PO 736		\$ 231.00	
	\$ -	\$	110,260.14



Recv'd 2/13/2024

RYANGOLF CORPORATION

614 South Military Trail, Deerfield Beach, FL 33442
(954) 571-2088

INVOICE NUMBER

RG - 11798

101 DFGW

**TAYLOR MORRISON
551 CATTLEMEN ROAD
SARASOTA, FLORIDA 34232**

ALL PAYMENTS DUE UPON RECEIPT OF INVOICE. A FINANCIAL CHARGE OF % PER MONTH (% ANNUAL RATE) WILL BE ADDED TO ALL PAST DUE ACCOUNTS

PROJECT	2218	CUSTOMER NUMBER	INVOICE NUMBER	DATE
			11798	02/13/24

DATE	QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	AMOUNT
			<p>SKYE RANCH N-2 PHASE 2</p> <p>DRAW #16</p> <p><i>Retainage</i></p> <p>PO 14280100-482</p> <p>Land DEV PO 736</p>		\$110,260.10

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APPLICATION AND CERTIFICATE FOR PAYMENT

AIA DOCUMENT

TO OWNER: TAYLOR MORRISON OF FLORIDA INC
501 N CATTLEMEN ROAD SUITE 100
SARASOTA, FL 34232

PROJECT: SKYE RANCH N2 PHASE 2

APPLICATION #: 16
PERIOD TO: 2/13/2024
PROJECT #: 2218
CONTRACT DATE:

CONTRACTOR: RYANGOLF CORPORATION
614 S MILITARY TRAIL
DEERFIELD BEACH, FL 33442

VIA ARCHITECT:

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. Continuation sheet, AIA Document G703, is attached.

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

1. ORIGINAL CONTRACT SUM	\$886,741.30
2. Net change by Change Orders.....	\$215,859.66
3. CONTRACT SUM TO DATE (Line 1 + 2).....	\$1,102,600.96
4. TOTAL COMPLETED & STORED TO DATE..... (Column G on G703)	\$1,102,600.96
5. RETAINAGE:	
a. % of Completed Work	10.00%
(Columns D + E on G703)	\$0.00
b. _____ % of Stored Material	
(Column F on G703)	
Total Retainage (Line 5a + 5b or	
Total in Column 1 of G703).....	\$0.00
6. TOTAL EARNED LESS RETAINAGE..... (Line 4 less Line 5 Total)	\$1,102,600.96
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate).....	\$992,340.88
8. CURRENT PAYMENT DUE.....	\$110,260.10
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less Line 8)	0.00

CONTRACTOR: RYANGOLF CORPORATION

By: *[Signature]* Date: 2/13/24

State of: FLORIDA

County of: BROWARD

Subscribed and sworn to before me this 13th day of February, 2024

Notary Public:

My Commission expires:



ENGINEER'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Engineer certifies to the Owner that to the best of the Engineer's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED..... \$ 110,260.10

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on the Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ENGINEER:

By: *[Signature]* Date: 3/12/2024

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

CHANGE ORDER SUMMARY	ADDITIONS	REDUCTIONS
Total changes approved in previous months by Owner		
Total approved this Month	0.00	
TOTALS		
NET CHANGES by Change Order	0.00	

SKYE RANCH N2 PHASE 2

ITEM #	DESCRIPTION	CONTRACT QTY	CHANGES	CURR PLAN	U/M	UNIT PRICE	TOTAL CONTRACT VALUE	QUANTITY			VALUE			%	BALANCE	RETAINAGE
								PRIOR	PERIOD	TO DATE	PRIOR	PERIOD	TO DATE	DONE	TO FINISH	

PROJECT TOTAL

\$1,102,600.98

\$1,102,600.98

\$0.00 \$1,102,600.98

100%

\$0.00

\$0.00

TOTAL CONTRACT COMPLETED TO DATE: \$1,102,600.98 10%
 LESS 10% RETAINAGE \$0.00
 SUBTOTAL VALUE \$1,102,600.98
 LESS PRIOR DRAWS \$992,340.88
 TOTAL AMOUNT DUE THIS INVOICE \$110,260.10



INVOICE NUMBER

RG - 11839

614 South Military Trail, Deerfield Beach, FL 33442
TAYLOR MORRISON
551 CATTLEMEN ROAD
SARASOTA, FLORIDA 34232

PO 735

ALL PAYMENTS DUE UPON RECEIPT OF INVOICE. A FINANCIAL CHARGE OF % PER MONTH (% ANNUAL RATE) WILL BE ADDED TO ALL PAST DUE ACCOUNTS

PHOTOS

PROJECT	CUSTOMER NUMBER	INVOICE NUMBER	DATE
2210		11839	03/13/24

DATE	QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	AMOUNT
			SKYE RANCH N5		
			DRAW #22		\$44,966.98

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APPLICATION AND CERTIFICATE FOR PAYMENT

AIA DOCUMENT

TO OWNER: TAYLOR MORRISON OF FLORIDA INC
501 N CATTLEMEN ROAD SUITE 100
SARASOTA, FL 34232

PROJECT: SKYE RANCH
NEIGHBORHOOD 5

APPLICATION #: 22
PERIOD TO: 3/13/2024
PROJECT #: 2210
CONTRACT DATE:

CONTRACTOR: RYANGOLF CORPORATION
614 S MILITARY TRAIL
DEERFIELD BEACH, FL 33442

VIA ARCHITECT:

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. Continuation sheet, AIA Document G703, is attached.

1. ORIGINAL CONTRACT SUM		<u>\$6,816,408.24</u>
2. Net change by Change Orders.....		<u>\$459,179.79</u>
3. CONTRACT SUM TO DATE (Line 1 + 2).....		<u>\$7,275,588.03</u>
4. TOTAL COMPLETED & STORED TO DATE..... (Column G on G703)		<u>\$7,138,715.68</u>
5. RETAINAGE:	370,314.88	
a. % of Completed Work (Columns D + E on G703)	<u>10.00%</u>	<u>\$370,159.36</u>
b. _____ % of Stored Material (Column F on G703)		
Total Retainage (Line 5a + 5b or Total in Column 1 of G703).....	<u>370,314.88</u>	<u>\$370,159.36</u>
6. TOTAL EARNED LESS RETAINAGE..... (Line 4 less Line 5 Total)		<u>\$6,768,556.30</u>
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate).....		<u>\$6,723,589.32</u>
8. CURRENT PAYMENT DUE.....	44,811.68	<u>\$44,866.88</u>
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less Line 6)	<u>507,031.73</u>	

CHANGE ORDER SUMMARY	ADDITIONS	REDUCTIONS
Total changes approved in previous months by Owner		
Total approved this Month	0.00	
TOTALS		
NET CHANGES by Change Order	0.00	

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: RYANGOLF CORPORATION

By: [Signature]

Date: 3/13/24

State of: FLORIDA
County of: BROWARD
Subscribed and sworn to before me this 13th day of March, 2024.

Notary Public:

My Commission expires: 2/9/26



ENGINEER'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Engineer certifies to the Owner that to the best of the Engineer's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$ 44,866.88

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on the Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ENGINEER: [Signature]

By: [Signature]

Date: 4/15/24

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

ITEM #	DESCRIPTION	TM CODES	CONTRACT QTY	CHANGES	CURR PLAN	U/M	UNIT PRICE	TOTAL CONTRACT VALUE	QUANTITY			VALUE			%	BALANCE	RETAINAGE
									PRIOR	PERIOD	TO DATE	PRIOR	PERIOD	TO DATE	DONE	TO FINISH	

TOTAL CONTRACT COMPLETED TO DATE:	\$7,138,715.66	10%
LESS 10% RETAINAGE	\$370,159.36	
SUBTOTAL VALUE	\$6,768,556.30	
LESS PRIOR DRAWS	\$6,723,589.32	
TOTAL AMOUNT DUE THIS INVOICE	\$44,966.98	

N3 Ph 5 Stormwater (Soft costs)

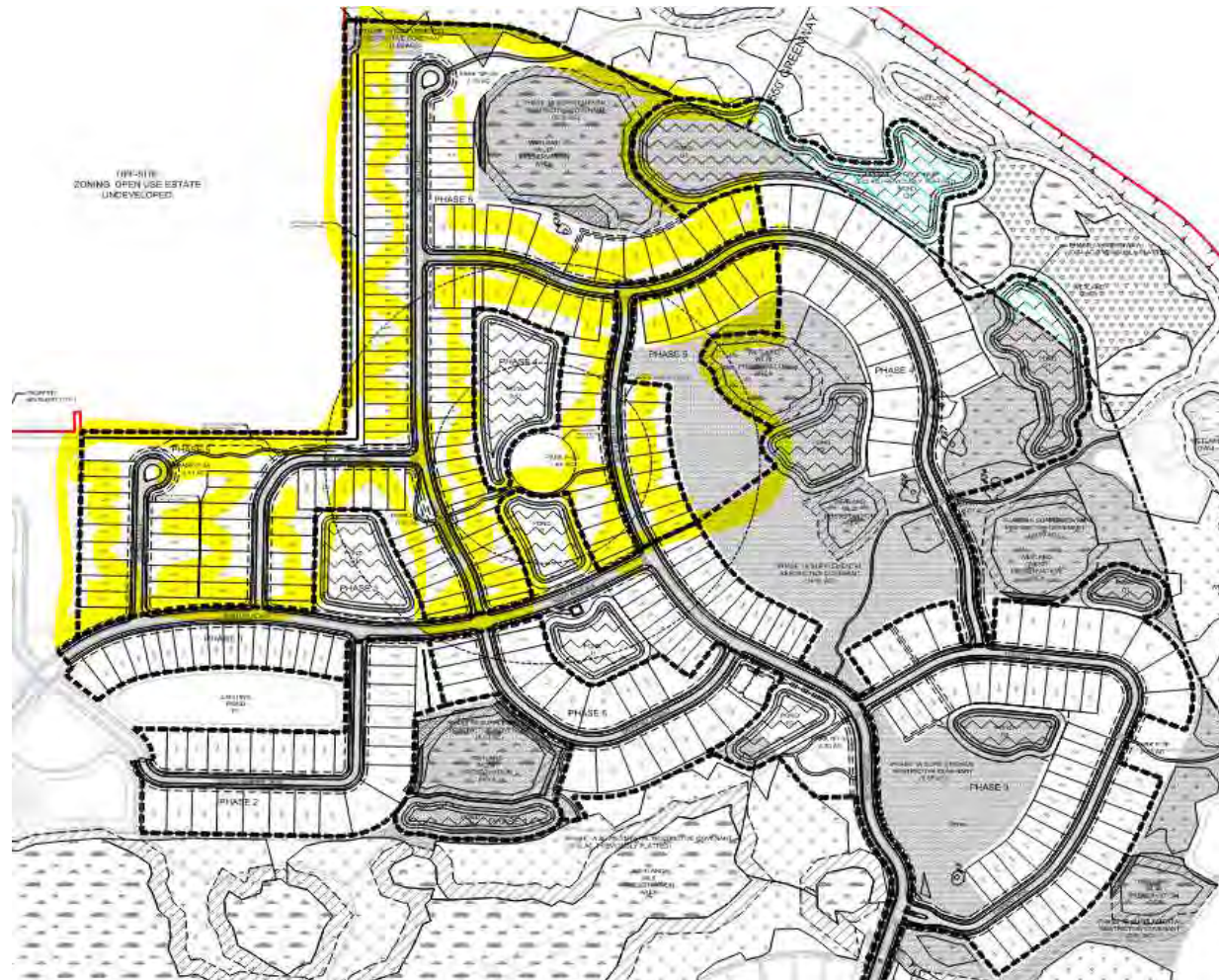
	Total contract	CDD Eligible Storm	Storm Paid to Date	Balance owed	Notes
Waldrop civil	\$ 935,545.00	\$ -	\$ -	\$ -	Accounted for in First 5 phases for Storm
Other Consultants	\$ 140,500.00	\$ -	\$ -	\$ -	Accounted for in First 5 phases for Storm
Material testing	\$ 120,770.00	\$ -	\$ -	\$ -	Accounted for in First 5 phases for Storm
Surveying	\$ 476,282.00	\$ -	\$ -	\$ -	Accounted for in First 5 phases for Storm
Work Product subtotal	\$ 1,673,097.00	\$ -	\$ -	\$ -	

	CDD Eligible Storm	Storm Paid to Date	Balance owed	Notes
Drainage	\$ 252,015.80	\$ 61,928.80	\$ 190,087.00	
All Earthwork	\$ 508,963.85	\$ 260,373.85	\$ 248,590.00	
Stormwater Subtotal=	\$ 760,979.65	\$ 322,302.65	\$ 438,677.00	Accounted for in First 5 phases for Storm

Description	CDD Eligible Amount	Paid to Date	Balance Owed
Stormwater	\$760,979.65	\$322,302.65	\$438,677.00
Work Product	\$0.00	\$0.00	\$0.00
TOTAL:	\$760,979.65	\$322,302.65	\$438,677.00

*Work Product accounted for in previous 5 Phases.

TOTAL	\$ 760,979.65	\$ 322,302.65	\$ 438,677.00
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Neighborhood 4 South Phase 1 and 2

	Total contract	CDD Eligible Storm	Storm Paid to Date	Balance owed	Notes
Waldrop civil	\$ 268,810.00	\$ 268,810.00	\$ 168,053.25	\$ 100,756.75	Assume 50% for Utilities / 50% for Drainage
Other Consultants	\$ 28,750.00	\$ 28,750.00	\$ 28,750.00	\$ -	Assume 50% for Utilities / 50% for Drainage
Material testing	\$ 30,000.00	\$ 30,000.00	\$ 14,250.00	\$ 15,750.00	Assume 50% for Utilities / 50% for Drainage
Surveying	\$ 119,817.50	\$ 119,817.50	\$ 64,231.63	\$ 55,585.88	Assume 50% for Utilities / 50% for Drainage
Work Product subtotal	\$ 447,377.50	\$ 447,377.50	\$ 275,284.88	\$ 172,092.62	

Description	CDD Eligible Amount	Paid to Date	Balance Owed
Stormwater	\$2,549,701.34	\$1,814,690.72	\$735,010.62
Work Product	\$447,377.50	\$275,284.88	\$172,092.62
TOTAL:	\$2,997,078.84	\$2,089,975.60	\$907,103.24

	CDD Eligible Storm	Storm Paid to Date	Notes
Drainage	\$ 1,607,227.58	\$ 1,155,202.87	\$ 452,024.71
All Earthwork	\$ 942,473.76	\$ 659,487.85	\$ 282,985.91
Stormwater Subtotal=	\$ 2,549,701.34	\$ 1,814,690.72	\$ 735,010.62

TOTAL	\$ 2,997,078.84	\$ 2,089,975.60	\$ 907,103.24
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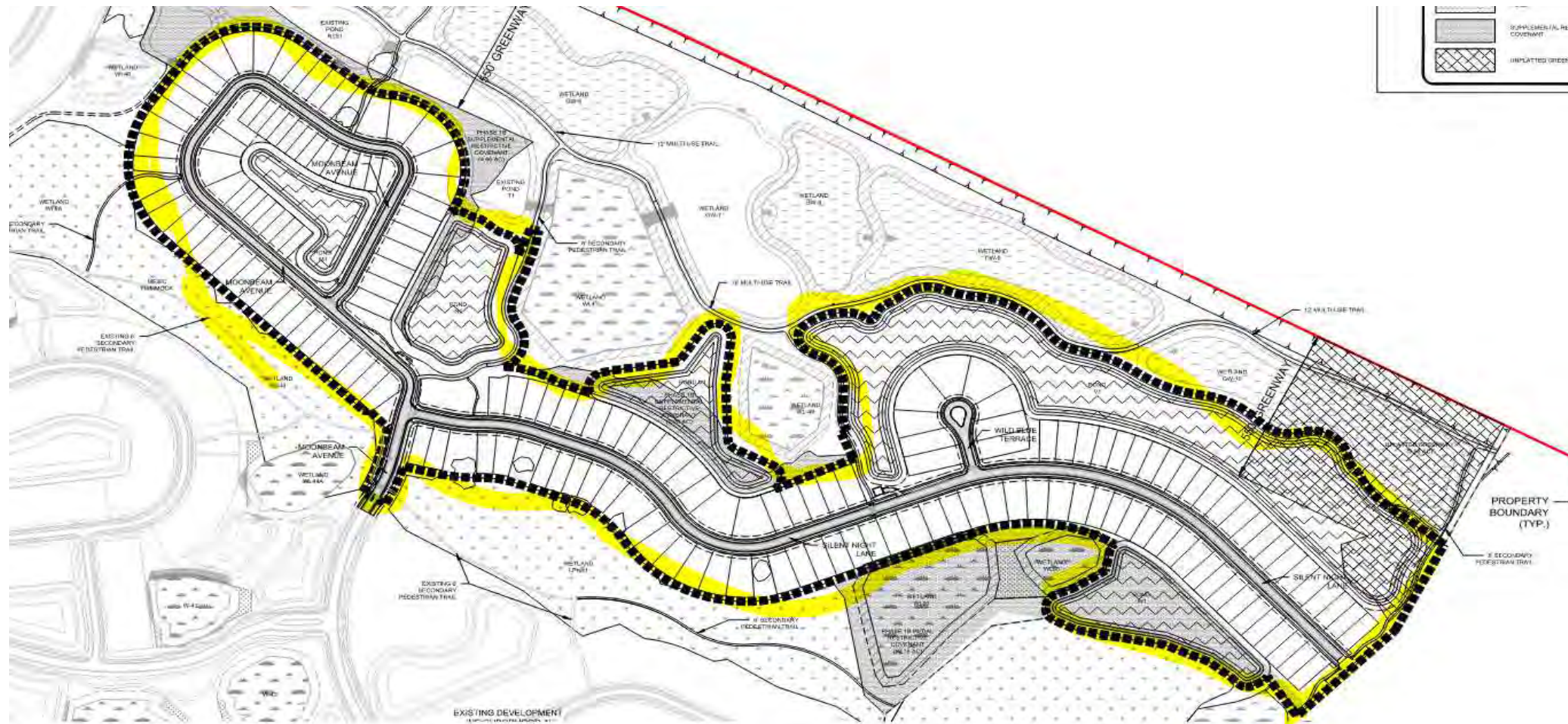


N5 Ph 1,2 Stormwater (Soft costs)

	Total contract	CDD Eligible Storm	Storm Paid to Date	Balance owed	Notes
Waldrop civil					All accounted for in Utilities
Other Consultants					All accounted for in Utilities
Material testing	\$ 54,000.00	\$ 6,750.00	\$ 6,750.00	\$ -	Assume 25% due to Phasing / split in half between Drainage and Utilities (12.5%)
Surveying	\$ 203,745.25	\$ 25,468.16	\$ 23,464.72	\$ 2,003.44	Assume 25% due to Phasing / split in half between Drainage and Utilities (12.5%)
Work Product subtotal	\$ 257,745.25	\$ 32,218.16	\$ 30,214.72	\$ 2,003.44	

Description	CDD Eligible Amount	Paid to Date	Balance Owed
Stormwater	\$3,555,204.78	\$3,278,876.09	\$276,328.69
Work Product	\$32,218.16	\$30,214.72	\$2,003.44
TOTAL:	\$3,587,422.94	\$3,309,090.81	\$278,332.13

	CDD Eligible Storm	Storm Paid to Date	Balance owed	Notes
Drainage	\$ 1,603,092.50	\$ 1,403,567.25	\$ 199,525.25	
All Earthwork	\$ 1,952,112.28	\$ 1,875,308.84	\$ 76,803.44	
Stormwater Subtotal=	\$ 3,555,204.78	\$ 3,278,876.09	\$ 276,328.69	
TOTAL	\$ 3,587,422.94	\$ 3,309,090.81	\$ 278,332.13	



LT Ranch Community Development District
c/o James P. Ward, District Manager
JP Ward & Associates, LLC
2301 Northeast 37th Street
Fort Lauderdale, Florida 33308

Re: Letter Agreement for Acquisition of Public Infrastructure Improvements
Neighborhood Four South, Neighborhood Five and Neighborhood Three, Phase 5
Stormwater Improvements

Dear Jim,

Pursuant to the *Acquisition Agreement* dated October 1, 2019 and the *Third Amendment to the Acquisition Agreement* dated May 10, 2024 (together, "**Acquisition Agreement**"), you are hereby notified that Taylor Morrison of Florida, Inc. ("**Developer**"), has completed and wishes to sell ("**Sale**") to the LT Ranch Community Development District ("**District**") certain "**Improvements**" and "**Work Product**" as described in **Exhibit A** attached hereto. Subject to the terms of the Acquisition Agreement, the following terms govern the proposed Sale:

- As consideration for the Sale, and subject to the terms of the Acquisition Agreement, the District agrees to pay and/or previously paid from bond proceeds the amount of \$7,345,481.43 which represents the actual cost of constructing and/or creating the Improvements and Work Product¹.
- The Developer agrees, at the direction of the District, to assist with the transfer of any permits or similar approvals necessary for the operation of the Improvements.
- Notwithstanding anything to the contrary herein, certain amounts may still be owed to contractors (balance to finish & retainage) and Developer agrees to timely make payment for all remaining amounts owed, and to ensure that no liens are placed on the Improvements and Work Product and/or in connection with the Improvements and Work Product.

[CONTINUED ON FOLLOWING PAGE]

¹ As of May 1, 2024, the Developer has paid \$5,721,369.06 to the Contractor and Professional for the Improvements and Work Product. This amount will be processed by requisition from future bond proceeds by the District and paid to Developer. The District will process the remaining \$1,624,112.37 by requisition and pay the Developer once proof of payment for the remaining amount has been submitted to the District, subject to the terms of the Acquisition Agreement and the availability of funds.

If the District is in agreement with the terms stated herein, please execute this letter agreement in the space below and proceed with the necessary steps to effect the Sale.

Sincerely,

Agreed to by:
**LT RANCH COMMUNITY DEVELOPMENT
DISTRICT**


_____, Board of Supervisors

TAYLOR MORRISON OF FLORIDA, INC.,
a Florida corporation



Name: 
Title: Vice President

Exhibit A

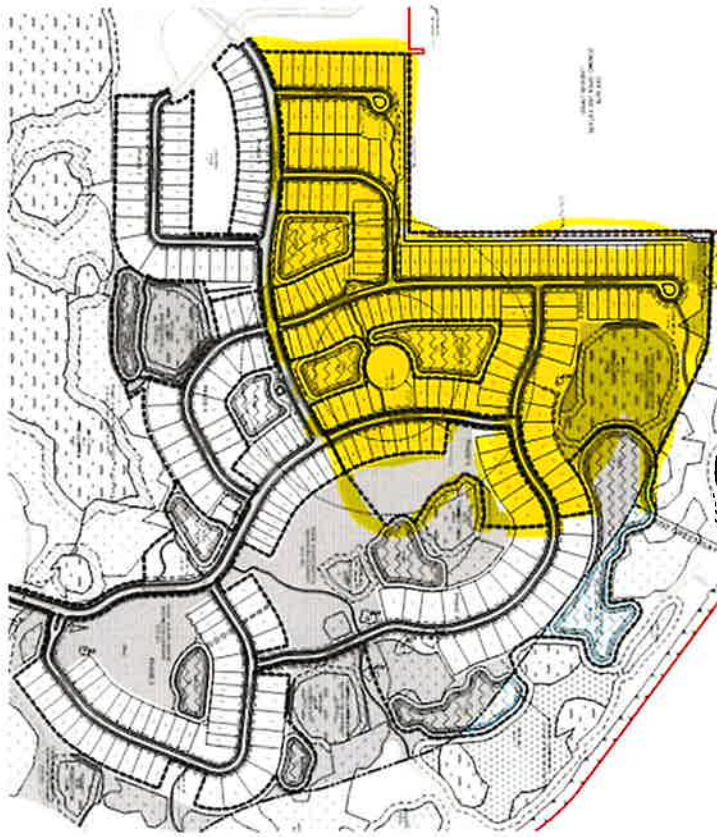
Description of Improvements and Work Product (Neighborhood Four South, Neighborhood Five and Neighborhood Three, Phase 5 Stormwater Improvements)

Neighborhood Four South Drainage & Surface Water Management - All drainage and surface water management systems, including but not limited to lakes, ponds, water control structures, pipes and other water conveyance structures, as well as all catch-basins and related stormwater facilities, located within Tract 110 (Private Access, Private Drainage and Public Utility Easement), Tracts 282, 288, 289, 292, 294, 295, 296, 297, 298, and 299 (Drainage, Landscape and Irrigation Area), Tracts 326, 327, 328, 329, 330, 331, and 332 (Preservation Area), and Tracts 770, 771, 772 and 773 (Lakes), and within all drainage easement areas including those labeled "Private Drainage Easement," "Public Drainage Easement," and "Public Drainage Maintenance Easement," identified in the highlighted areas below and further identified on the Skye Ranch Neighborhood Four South, recorded in the Official Records of Sarasota County, Florida at Plat Book 57, Pages 508 et seq.

Neighborhood Five Drainage & Surface Water Management - All drainage and surface water management systems, including but not limited to lakes, ponds, water control structures, pipes and other water conveyance structures, as well as all catch-basins and related stormwater facilities, located within Tract 109 (Private Access, Private Drainage and Public Utility Easement), Tracts 278, 279, 280, 281, 283, 284, 285, 286, 287, 290, 291, and 293 (Drainage, Landscape and Irrigation Area), Tracts 311A, 322, and 324 (Preservation Area), Tracts 323 and 325 (Greenway Area), Tracts 427, 428, 429, 430, 431, and 432 (Park and Drainage Area), and Tracts 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768 and 769 (Lakes), and within all drainage easement areas including those labeled "Private Drainage Easement," "Public Drainage Easement," and "Public Drainage Maintenance Easement," identified in the highlighted areas below and further identified on the Skye Ranch Neighborhood Five, recorded in the Official Records of Sarasota County, Florida at Plat Book 56, Pages 371 et seq.

Neighborhood Three, Phase 5 Drainage & Surface Water Management - All drainage and surface water management systems, including but not limited to lakes, ponds, water control structures, pipes and other water conveyance structures, as well as all catch-basins and related stormwater facilities, located within those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement), Tracts 252, 253, 254, 258, and 260 (Drainage, Landscape and Irrigation Area), Tracts 313, 314, 315, and 321 (Preservation Area), Tracts 415, 417, 418, and 420 (Park and Drainage Area), and Tracts 743, 744, and 745, (Lakes), and within all drainage easement areas including those labeled "Public Drainage Easements" and "Private Drainage Easement" within Phase Five, as identified in the highlighted areas below and further identified on the Skye Ranch Neighborhood Three, recorded in the Official Records of Sarasota County, Florida at Plat Book 56, Pages 53 et seq.

[CONTINUED ON FOLLOWING PAGE]



Work Product – Any and all site plans, construction and development drawings, plans and specifications, documents, surveys, engineering and soil reports and studies, licenses, permits, zoning approvals, entitlements, building permits, demolition and excavation permits, curb cut and right-of-way permits, utility permits, drainage rights, bonds, and similar or equivalent private and governmental documents of every kind and character whatsoever pertaining or applicable to or in any way connected with the development, construction, and ownership of the above-referenced improvements.

<u>Description</u>	<u>CDD Eligible Amount</u>	<u>Paid to Date</u>	<u>Balance Owed to Contractor/ Professional from Developer</u>
Neighborhood Four South Stormwater	\$2,549,701.34	\$1,814,690.72	\$735,010.62
Neighborhood Four South Stormwater Work Product	\$447,377.50	\$275,284.88	\$172,092.62
Neighborhood Five Stormwater	\$3,555,204.78	\$3,278,876.09	\$276,328.69
Neighborhood Five Work Product	\$32,218.16	\$30,214.72	\$2,003.44
Neighborhood Three, Phase Five Stormwater	\$760,979.65	\$322,302.65	\$438,677.00
TOTALS:	\$7,345,481.43	\$5,721,369.06	\$1,624,112.37

*Neighborhood Three, Phase Five Work Product was accounted for in prior Neighborhood Three stormwater acquisition.

**CORPORATE DECLARATION REGARDING COSTS PAID
[NEIGHBORHOOD FOUR SOUTH, NEIGHBORHOOD FIVE AND
NEIGHBORHOOD THREE, PHASE 5 STORMWATER IMPROVEMENTS]**

Taylor Morrison of Florida, Inc., a Florida corporation ("**Developer**"), the developer of certain lands within the LT Ranch Community Development District ("**District**"), a special purpose unit of local government established pursuant to Chapter 190, *Florida Statutes*, does hereby certify:

1. Developer is the developer of certain lands within the District.
2. The District's *Master Engineer's Report*, dated April 2019, as revised November 6, 2019, as supplemented by the *2019 Project Supplement to the Master Engineer's Report*, dated April 2019, as revised November 6, 2019, as supplemented by the *2022 Project Supplement to the Master Engineer's Report dated April 2019 (as revised November 6, 2019)*, dated May 2022, and as supplemented by the *2024 Project Supplement to the Master Engineer's Report dated April 2019 (as revised November 6, 2019)* dated February 2024 (together, "**Engineer's Report**") describes certain public infrastructure improvements and work product that the District intends to finance, fund, plan, establish, acquire, construct or reconstruct, enlarge or extend, equip, operate, or maintain pursuant to Chapter 190, *Florida Statutes*.
3. Developer has expended funds to develop and/or acquire certain of the public infrastructure improvements and work product described in the Engineer's Report and more specifically described in **Exhibit A**. The attached **Exhibit A** accurately identifies certain of those improvements and work product that have been completed to date and states the amounts that Developer has spent on those improvements and work product.
4. Except for the balance to finish and/or retainage set forth in **Exhibit A**, no money is owed to any contractors or subcontractors for any work performed on the completed improvements.
5. The Developer acknowledges that the District intends to rely on this Declaration for purposes of acquiring the infrastructure improvements and work product identified in **Exhibit A**.

[CONTINUED ON FOLLOWING PAGE]

Executed this 5th day of May, 2024.

WITNESS

TAYLOR MORRISON OF FLORIDA, INC.

By: [Signature]
Name: Donald E. Ray

By: [Signature]
Name: Frank Conley
Title: Vice President

By: [Signature]
Name: Jarvis Koca

STATE OF FLORIDA
COUNTY OF SANASOTA

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 5th day of May, 2024, by Frank Conley as VP of Taylor Morrison of Florida, Inc., who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.

[Signature]
NOTARY PUBLIC, STATE OF FLORIDA
Name: Becky E Hopkins
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)



Exhibit A – Description of Improvements and Work Product

Exhibit A

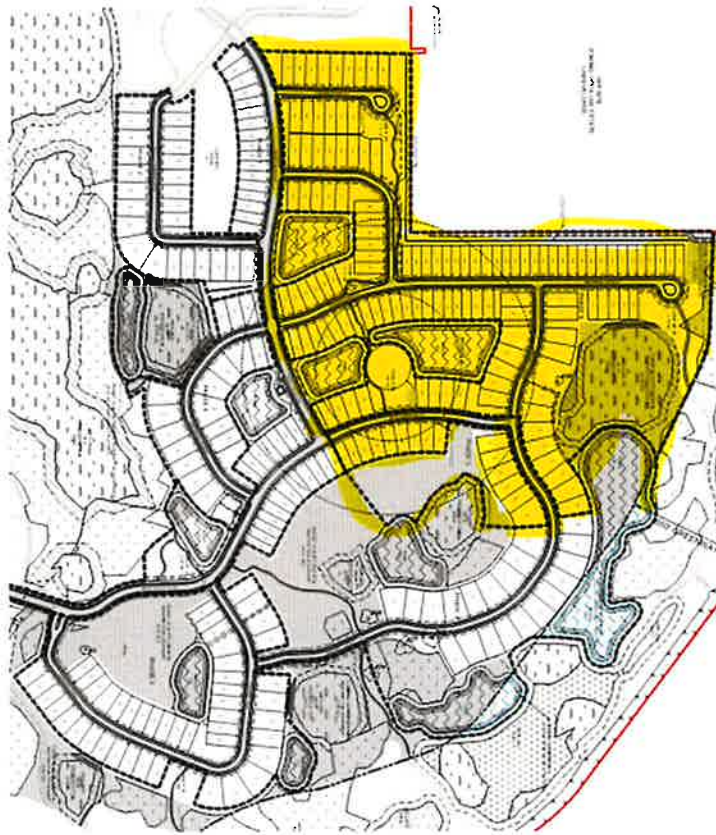
Description of Improvements and Work Product
(Neighborhood Four South, Neighborhood Five and
Neighborhood Three, Phase 5 Stormwater Improvements)

Neighborhood Four South Drainage & Surface Water Management - All drainage and surface water management systems, including but not limited to lakes, ponds, water control structures, pipes and other water conveyance structures, as well as all catch-basins and related stormwater facilities, located within Tract 110 (Private Access, Private Drainage and Public Utility Easement), Tracts 282, 288, 289, 292, 294, 295, 296, 297, 298, and 299 (Drainage, Landscape and Irrigation Area), Tracts 326, 327, 328, 329, 330, 331, and 332 (Preservation Area), and Tracts 770, 771, 772 and 773 (Lakes), and within all drainage easement areas including those labeled "Private Drainage Easement," "Public Drainage Easement," and "Public Drainage Maintenance Easement," identified in the highlighted areas below and further identified on the Skye Ranch Neighborhood Four South, recorded in the Official Records of Sarasota County, Florida at Plat Book 57, Pages 508 et seq.

Neighborhood Five Drainage & Surface Water Management - All drainage and surface water management systems, including but not limited to lakes, ponds, water control structures, pipes and other water conveyance structures, as well as all catch-basins and related stormwater facilities, located within Tract 109 (Private Access, Private Drainage and Public Utility Easement), Tracts 278, 279, 280, 281, 283, 284, 285, 286, 287, 290, 291, and 293 (Drainage, Landscape and Irrigation Area), Tracts 311A, 322, and 324 (Preservation Area), Tracts 323 and 325 (Greenway Area), Tracts 427, 428, 429, 430, 431, and 432 (Park and Drainage Area), and Tracts 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768 and 769 (Lakes), and within all drainage easement areas including those labeled "Private Drainage Easement," "Public Drainage Easement," and "Public Drainage Maintenance Easement," identified in the highlighted areas below and further identified on the Skye Ranch Neighborhood Five, recorded in the Official Records of Sarasota County, Florida at Plat Book 56, Pages 371 et seq.

Neighborhood Three, Phase 5 Drainage & Surface Water Management - All drainage and surface water management systems, including but not limited to lakes, ponds, water control structures, pipes and other water conveyance structures, as well as all catch-basins and related stormwater facilities, located within those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement), Tracts 252, 253, 254, 258, and 260 (Drainage, Landscape and Irrigation Area), Tracts 313, 314, 315, and 321 (Preservation Area), Tracts 415, 417, 418, and 420 (Park and Drainage Area), and Tracts 743, 744, and 745, (Lakes), and within all drainage easement areas including those labeled "Public Drainage Easements" and "Private Drainage Easement" within Phase Five, as identified in the highlighted areas below and further identified on the Skye Ranch Neighborhood Three, recorded in the Official Records of Sarasota County, Florida at Plat Book 56, Pages 53 et seq.

[CONTINUED ON FOLLOWING PAGE]



Work Product – Any and all site plans, construction and development drawings, plans and specifications, documents, surveys, engineering and soil reports and studies, licenses, permits, zoning approvals, entitlements, building permits, demolition and excavation permits, curb cut and right-of-way permits, utility permits, drainage rights, bonds, and similar or equivalent private and governmental documents of every kind and character whatsoever pertaining or applicable to or in any way connected with the development, construction, and ownership of the above-referenced improvements.

<u>Description</u>	<u>CDD Eligible Amount</u>	<u>Paid to Date</u>	<u>Balance Owed to Contractor/ Professional from Developer</u>
Neighborhood Four South Stormwater	\$2,549,701.34	\$1,814,690.72	\$735,010.62
Neighborhood Four South Stormwater Work Product	\$447,377.50	\$275,284.88	\$172,092.62
Neighborhood Five Stormwater	\$3,555,204.78	\$3,278,876.09	\$276,328.69
Neighborhood Five Work Product	\$32,218.16	\$30,214.72	\$2,003.44
Neighborhood Three, Phase Five Stormwater	\$760,979.65	\$322,302.65	\$438,677.00
TOTALS:	\$7,345,481.43	\$5,721,369.06	\$1,624,112.37

*Neighborhood Three, Phase Five Work Product was accounted for in prior Neighborhood Three stormwater acquisition.

ACKNOWLEDGMENT AND RELEASE
[NEIGHBORHOOD FOUR SOUTH, NEIGHBORHOOD FIVE AND
NEIGHBORHOOD THREE, PHASE 5 WORK PRODUCT]

THIS ACKNOWLEDGMENT & RELEASE ("Release") is made the 7th day of May, 2024, by **Atwell, LLC**, having offices located at 28100 Bonita Grande Drive, Suite 305, Bonita Springs, Florida 34135 ("Professional"), in favor of the **LT Ranch Community Development District** ("District"), which is a local unit of special-purpose government situated in Sarasota County, Florida, and having offices at c/o JP Ward and Associates, LLC, 2301 Northeast 37th Street, Fort Lauderdale, Florida 33308.

RECITALS

WHEREAS, pursuant to those certain professional services agreements related Neighborhood Four South, Neighborhood Five and Neighborhood Three, Phase 5 Stormwater Improvements ("**Contract**") and between Professional and Taylor Morrison of Florida, Inc., a Florida corporation ("**Developer**"), Professional has created for Developer certain work product, as described in **Exhibit A** ("**Work Product**"); and

WHEREAS, Developer may in the future convey the Work Product to the District and for that purpose has requested Professional to confirm the release of all restrictions on the District's right to use and rely upon the Work Product; and

WHEREAS, Contractor has agreed to the release of any such restrictions.

NOW, THEREFORE, for and in consideration of mutual promises and obligations, the receipt and sufficiency of which are hereby acknowledged, Professional provides the following acknowledgment and release:


1. **GENERAL.** The recitals so stated above are true and correct and by this reference are incorporated as a material part of this Release.
2. **ACQUISITION OF WORK PRODUCT.** Professional acknowledges that the District is acquiring or has acquired the Work Product created by the Professional in connection with the Contract, from Developer, and accordingly, the District has the unrestricted right to use and rely upon the Work Product for any and all purposes.
3. **WARRANTY.** Professional hereby expressly acknowledges the District's right to enforce the terms of the Contract, including but not limited to any warranties and other forms of indemnification provided therein and to rely upon and enforce any other warranties provided under Florida law.
4. **CERTIFICATION.** Professional hereby acknowledges that it has been fully compensated for its services and work related to completion of the Work Product. This document shall constitute a final waiver and release of lien for any payments due to Professional by Developer or District for the Work Product.

Notwithstanding anything to the contrary herein, certain amounts are still owed to Contractor, as identified in **Exhibit A**, and Developer agrees to timely make payment for all remaining amounts owed,

and to ensure that no liens are placed on the Improvements. The effectiveness of this Acknowledgment and Release is contingent upon such payment being timely made.

5. **EFFECTIVE DATE.** This Release shall take effect upon execution.

ATWELL, LLC


By: Philip Brannon, P.E.
Its: Project Manager

STATE OF FLORIDA
COUNTY OF Sarasota

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 7 day of May, 2024, by Philip Brannon, as Project Manager of Atwell, LLC who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.

(NOTARY SEAL)


NOTARY PUBLIC, STATE OF FLORIDA
Name: Jessica Fritz
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)



Exhibit A
 Description of Work Product
 (Neighborhood Four South, Neighborhood Five and
 Neighborhood Three, Phase 5 Stormwater Improvements)

Work Product – Any and all site plans, construction and development drawings, plans and specifications, documents, surveys, engineering and soil reports and studies, licenses, permits, zoning approvals, entitlements, building permits, demolition and excavation permits, curb cut and right-of-way permits, utility permits, drainage rights, bonds, and similar or equivalent private and governmental documents of every kind and character whatsoever pertaining or applicable to or in any way connected with the development, construction, and ownership of the Neighborhood Four South and Neighborhood Five Stormwater Improvements.

<u>Description</u>	<u>CDD Eligible Amount</u>	<u>Paid to Date</u>	<u>Balance Owed to Contractor from Developer</u>
Neighborhood Four South Stormwater Work Product	\$447,377.50	\$275,284.88	\$172,092.62
Neighborhood Five Work Product	\$32,218.16	\$30,214.72	\$2,003.44

**ACKNOWLEDGMENT AND RELEASE
NEIGHBORHOOD FIVE STORMWATER IMPROVEMENTS**

THIS ACKNOWLEDGMENT AND RELEASE ("Release") is made the 7th day of JUNE, 2023, by **RyanGolf Corporation**, having offices located at 614 South Military Trail, Deerfield Beach, Florida 33442 ("Contractor"), in favor of the **LT Ranch Community Development District** ("District"), which is a local unit of special-purpose government situated in Sarasota County, Florida, and having offices at c/o James P. Ward, District Manager, JP Ward & Associates, LLC, 2900 Northeast 12th Terrace, Suite 1, Oakland Park, Florida 33334.

RECITALS

WHEREAS, pursuant to that certain agreement ("**Contract**") dated January 12, 2012, and between Contractor and Taylor Morrison of Florida, Inc., a Florida corporation ("**Developer**"), Contractor has constructed for Developer certain infrastructure improvements, as described in **Exhibit A** ("**Improvements**"); and

WHEREAS, Developer may in the future convey certain Improvements to the District and for that purpose has requested Contractor to confirm the release of all restrictions on the District's right to use and rely upon the Improvements; and

WHEREAS, Contractor has agreed to the release of any such restrictions.

NOW, THEREFORE, for and in consideration of mutual promises and obligations, the receipt and sufficiency of which are hereby acknowledged, Contractor provides the following acknowledgment and release:

SECTION 1. GENERAL. The recitals so stated above are true and correct and by this reference are incorporated as a material part of this Release.

SECTION 2. ACQUISITION OF IMPROVEMENTS. Contractor acknowledges that the District is in the process of acquiring or has acquired certain Improvements constructed by Contractor in connection with the Contract, from Developer, and accordingly, the District has the unrestricted right to rely upon the terms of the Contract for same.


SECTION 3. WARRANTY. Contractor hereby expressly acknowledges the District's right to enforce the terms of the Contract, including any warranties provided therein and to rely upon and enforce any other warranties provided under Florida law.

SECTION 4. CERTIFICATE OF PAYMENT. Except as set forth herein, Contractor hereby acknowledges that it has been fully compensated for its services and work related to completion of the Improvements. Contractor further certifies that, except as set forth herein, no outstanding requests for payment exist related to the Improvements, including any payments to subcontractors, materialmen, suppliers or otherwise, and that there is no disagreement as to the appropriateness of payment made for the Improvements. Except as set forth herein, this document shall constitute a final waiver and release of lien for any payments due to Contractor by Developer or District for the Improvements.

Notwithstanding anything to the contrary herein, certain amounts are still owed to Contractor (specifically, \$276,328.69 in balance owed and retainage for the Contract identified in Exhibit A, which includes a larger scope of improvements than the improvements being acquired by the District through this acquisition) and Developer agrees to timely make payment for all remaining amounts owed, and to ensure that no liens are placed on the Improvements. The effectiveness of this Acknowledgment and Release is contingent upon such payment being timely made.

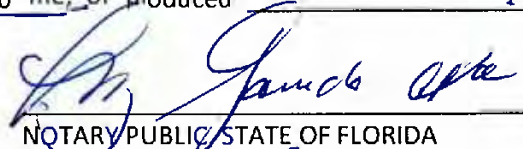
SECTION 5. EFFECTIVE DATE. This Release shall take effect upon execution.

RYANGOLF CORPORATION


By: FIDEL GARCIA
Its: PRESIDENT

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 7 day of June 2024, by FIDEL GARCIA as PRESIDENT of Ryngolf Corp who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.


NOTARY PUBLIC STATE OF FLORIDA

Name: Liz Garrido
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

(NOTARY SEAL)



Exhibit A

**Description of Improvements and Work Product
(Neighborhood Five Stormwater Improvements)**

Neighborhood Five Drainage & Surface Water Management - All drainage and surface water management systems, including but not limited to lakes, ponds, water control structures, pipes and other water conveyance structures, as well as all catch-basins and related stormwater facilities, located within Tract 109 (Private Access, Private Drainage and Public Utility Easement), Tracts 278, 279, 280, 281, 283, 284, 285, 286, 287, 290, 291, and 293 (Drainage, Landscape and Irrigation Area), Tracts 311A, 322, and 324 (Preservation Area), Tracts 323 and 325 (Greenway Area), Tracts 427, 428, 429, 430, 431, and 432 (Park and Drainage Area), and Tracts 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768 and 769 (Lakes), and within all drainage easement areas including those labeled "Private Drainage Easement," "Public Drainage Easement," and "Public Drainage Maintenance Easement," identified in the highlighted areas below and further identified on the Skye Ranch Neighborhood Five, recorded in the Official Records of Sarasota County, Florida at Plat Book 56, Pages 371 et seq.

<u>Description</u>	<u>CDD Eligible Amount</u>	<u>Paid to Date</u>	<u>Balance Owed to Contractor/ Professional from Developer</u>
Neighborhood Five Stormwater	\$3,555,204.78	\$3,278,876.09	\$276,328.69

ACKNOWLEDGMENT AND RELEASE
NEIGHBORHOOD THREE, PHASE FIVE STORMWATER IMPROVEMENTS

THIS ACKNOWLEDGMENT AND RELEASE ("Release") is made the 29th day of MAY, ~~2023~~, ²⁰²⁴, by **DNA Partners LLC DBA C&M Road Builders**, having offices located at 6728 33rd Street East, Sarasota, Florida 34243 ("**Contractor**"), in favor of the **LT Ranch Community Development District** ("**District**"), which is a local unit of special-purpose government situated in Sarasota County, Florida, and having offices at c/o James P. Ward, District Manager, JP Ward & Associates, LLC, 2900 Northeast 12th Terrace, Suite 1, Oakland Park, Florida 33334.

RECITALS

WHEREAS, pursuant to that certain agreement ("**Contract**") dated July 31, 2023, and between Contractor and Taylor Morrison of Florida, Inc., a Florida corporation ("**Developer**"), Contractor has constructed for Developer certain infrastructure improvements, as described in **Exhibit A** ("**Improvements**"); and

WHEREAS, Developer may in the future convey certain Improvements to the District and for that purpose has requested Contractor to confirm the release of all restrictions on the District's right to use and rely upon the Improvements; and

WHEREAS, Contractor has agreed to the release of any such restrictions.

NOW, THEREFORE, for and in consideration of mutual promises and obligations, the receipt and sufficiency of which are hereby acknowledged, Contractor provides the following acknowledgment and release:

SECTION 1. GENERAL. The recitals so stated above are true and correct and by this reference are incorporated as a material part of this Release.

SECTION 2. ACQUISITION OF IMPROVEMENTS. Contractor acknowledges that the District is in the process of acquiring or has acquired certain Improvements constructed by Contractor in connection with the Contract, from Developer, and accordingly, the District has the unrestricted right to rely upon the terms of the Contract for same.


SECTION 3. WARRANTY. Contractor hereby expressly acknowledges the District's right to enforce the terms of the Contract, including any warranties provided therein and to rely upon and enforce any other warranties provided under Florida law.

SECTION 4. CERTIFICATE OF PAYMENT. Except as set forth herein, Contractor hereby acknowledges that it has been fully compensated for its services and work related to completion of the Improvements. Contractor further certifies that, except as set forth herein, no outstanding requests for payment exist related to the Improvements, including any payments to subcontractors, materialmen, suppliers or otherwise, and that there is no disagreement as to the appropriateness of payment made for the Improvements. Except as set forth herein, this document shall constitute a final waiver and release of lien for any payments due to Contractor by Developer or District for the Improvements.

Notwithstanding anything to the contrary herein, certain amounts are still owed to Contractor (specifically, \$438,677.00 in balance owed and retainage for the Contract identified in **Exhibit A**, which includes a larger scope of improvements than the improvements being acquired by the District through this acquisition) and Developer agrees to timely make payment for all remaining amounts owed, and to ensure that no liens are placed on the Improvements. The effectiveness of this Acknowledgment and Release is contingent upon such payment being timely made.

SECTION 5. EFFECTIVE DATE. This Release shall take effect upon execution.

DNA PARTNERS, LLC DBA C&M ROAD BUILDERS

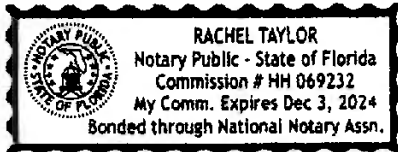

By: ADAM W Robson
Its: owner / CEO

STATE OF FLORIDA
COUNTY OF MANATEE

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 29th day of MAY, 2024, by ADAM ROBSON, as CEO / OWNER of C&M ROAD BUILDERS who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.


NOTARY PUBLIC, STATE OF FLORIDA

(NOTARY SEAL)

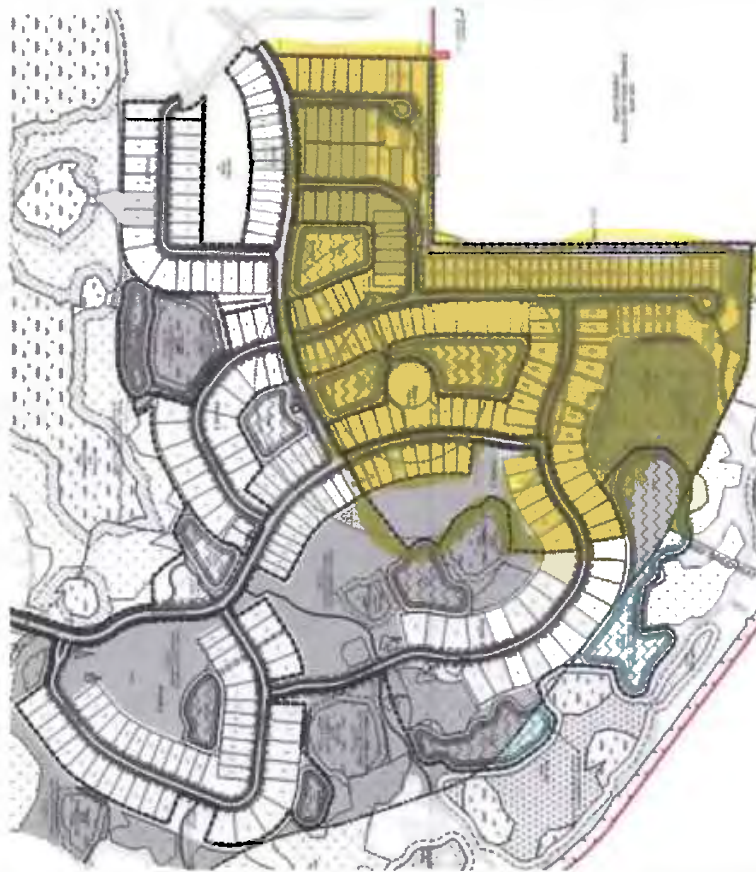


Name: RACHEL TAYLOR
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

Exhibit A

**Description of Improvements and Work Product
(Neighborhood Three, Phase 5 Stormwater Improvements)**

Neighborhood Three, Phase 5 Drainage & Surface Water Management - All drainage and surface water management systems, including but not limited to lakes, ponds, water control structures, pipes and other water conveyance structures, as well as all catch-basins and related stormwater facilities, located within those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement), Tracts 252, 253, 254, 258, and 260 (Drainage, Landscape and Irrigation Area), Tracts 313, 314, 315, and 321 (Preservation Area), Tracts 415, 417, 418, and 420 (Park and Drainage Area), and Tracts 743, 744, and 745, (Lakes), and within all drainage easement areas including those labeled "Public Drainage Easements" and "Private Drainage Easement" within Phase Five, as identified in the highlighted areas below and further identified on the Skye Ranch Neighborhood Three, recorded in the Official Records of Sarasota County, Florida at Plat Book 56, Pages 53 et seq.



<u>Description</u>	<u>CDD Eligible Amount</u>	<u>Paid to Date</u>	<u>Balance Owed to Contractor/ Professional from Developer</u>
Neighborhood Three, Phase Five Stormwater	\$760,979.65	\$322,302.65	\$438,677.00

CONSULTING ENGINEER'S CERTIFICATE
**[NEIGHBORHOOD FOUR SOUTH, NEIGHBORHOOD FIVE AND
NEIGHBORHOOD THREE, PHASE 5 STORMWATER IMPROVEMENTS]**

May 7th, 2024

Board of Supervisors
LT Ranch Community Development District

Re: LT Ranch Community Development District (Sarasota County, Florida)
Acquisition of Neighborhood Four South, Neighborhood Five and Neighborhood Three, Phase 5
Stormwater Improvements

Ladies and Gentlemen:

The undersigned, a representative of Atwell, LLC ("**Consulting Engineer**"), as engineer for the LT Ranch Community Development District ("**District**"), hereby makes the following certifications in connection with the District's acquisition from the Developer of the "**Improvements**" and "**Work Product**," as further described in **Exhibit A** attached hereto, and in that certain bill of sale ("**Bill of Sale**") dated as of or about the same date as this certificate. For good and valuable consideration, the sufficiency and receipt of which are hereby acknowledged, the undersigned, an authorized representative of the Consulting Engineer, hereby certifies that:


1. I have reviewed and inspected the Improvements and Work Product. I have further reviewed certain documentation relating to the same, including but not limited to, the Bill of Sale, agreements, invoices, plans, as-builts, and other documents.
2. The Improvements and Work Product are within the scope of the District's capital improvement plan as set forth in the District's *Master Engineer's Report*, dated April 2019, as revised November 6, 2019, as supplemented by the *2019 Project Supplement to the Master Engineer's Report*, dated April 2019, as revised November 6, 2019, as supplemented by the *2022 Project Supplement to the Master Engineer's Report dated April 2019 (as revised November 6, 2019)*, dated May 2022, and as supplemented by the *2024 Project Supplement to the Master Engineer's Report dated April 2019 (as revised November 6, 2019)* dated February 2024 (together, "**Engineer's Report**"), and specially benefit property within the District as further described in the Engineer's Report.
3. The Improvements were installed in accordance with their specifications, and are capable of performing the functions for which they were intended.
4. The total costs associated with the Improvements and Work Product are as set forth in the Bill of Sale. Such costs are equal to or less than each of the following: (i) what was actually paid by the Developer to create and/or construct the Improvements and Work Product, and (ii) the reasonable fair market value of the Improvements and Work Product.
5. All known plans, permits and specifications necessary for the operation and maintenance of the Improvements are complete and on file with the District, and have been transferred, or

are capable of being transferred, to the District for operations and maintenance responsibilities.

6. With this document, I hereby certify that it is appropriate at this time to acquire the Improvements and Work Product.

I declare that I have read the foregoing and the facts alleged are true and correct to the best of my knowledge and belief.

Executed this 7th day of May, 2024.



Philip Brannon, P.E.
Atwell, LLC
Florida Registration No. 87463
Consulting Engineer

STATE OF FLORIDA
COUNTY OF Sarasota

The foregoing instrument was sworn and subscribed before me by means of physical presence or online notarization, this 7 day of May, 2024, by Philip Brannon, as Consulting Engineer of Atwell, LLC who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.



NOTARY PUBLIC, STATE OF FLORIDA
Name: Jessica Fritz
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

(NOTARY SEAL)



Exhibit A

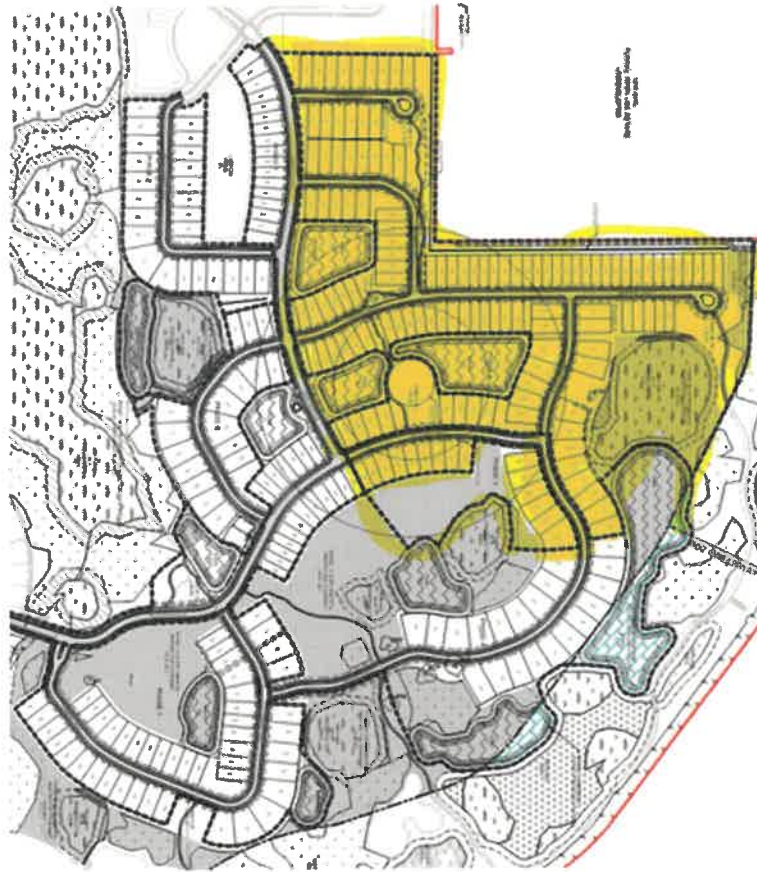
Description of Improvements and Work Product (Neighborhood Four South, Neighborhood Five and Neighborhood Three, Phase 5 Stormwater Improvements)

Neighborhood Four South Drainage & Surface Water Management - All drainage and surface water management systems, including but not limited to lakes, ponds, water control structures, pipes and other water conveyance structures, as well as all catch-basins and related stormwater facilities, located within Tract 110 (Private Access, Private Drainage and Public Utility Easement), Tracts 282, 288, 289, 292, 294, 295, 296, 297, 298, and 299 (Drainage, Landscape and Irrigation Area), Tracts 326, 327, 328, 329, 330, 331, and 332 (Preservation Area), and Tracts 770, 771, 772 and 773 (Lakes), and within all drainage easement areas including those labeled "Private Drainage Easement," "Public Drainage Easement," and "Public Drainage Maintenance Easement," identified in the highlighted areas below and further identified on the Skye Ranch Neighborhood Four South, recorded in the Official Records of Sarasota County, Florida at Plat Book 57, Pages 508 et seq.

Neighborhood Five Drainage & Surface Water Management - All drainage and surface water management systems, including but not limited to lakes, ponds, water control structures, pipes and other water conveyance structures, as well as all catch-basins and related stormwater facilities, located within Tract 109 (Private Access, Private Drainage and Public Utility Easement), Tracts 278, 279, 280, 281, 283, 284, 285, 286, 287, 290, 291, and 293 (Drainage, Landscape and Irrigation Area), Tracts 311A, 322, and 324 (Preservation Area), Tracts 323 and 325 (Greenway Area), Tracts 427, 428, 429, 430, 431, and 432 (Park and Drainage Area), and Tracts 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768 and 769 (Lakes), and within all drainage easement areas including those labeled "Private Drainage Easement," "Public Drainage Easement," and "Public Drainage Maintenance Easement," identified in the highlighted areas below and further identified on the Skye Ranch Neighborhood Five, recorded in the Official Records of Sarasota County, Florida at Plat Book 56, Pages 371 et seq.

Neighborhood Three, Phase 5 Drainage & Surface Water Management - All drainage and surface water management systems, including but not limited to lakes, ponds, water control structures, pipes and other water conveyance structures, as well as all catch-basins and related stormwater facilities, located within those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement), Tracts 252, 253, 254, 258, and 260 (Drainage, Landscape and Irrigation Area), Tracts 313, 314, 315, and 321 (Preservation Area), Tracts 415, 417, 418, and 420 (Park and Drainage Area), and Tracts 743, 744, and 745, (Lakes), and within all drainage easement areas including those labeled "Public Drainage Easements" and "Private Drainage Easement" within Phase Five, as identified in the highlighted areas below and further identified on the Skye Ranch Neighborhood Three, recorded in the Official Records of Sarasota County, Florida at Plat Book 56, Pages 53 et seq.

[CONTINUED ON FOLLOWING PAGE]



Work Product – Any and all site plans, construction and development drawings, plans and specifications, documents, surveys, engineering and soil reports and studies, licenses, permits, zoning approvals, entitlements, building permits, demolition and excavation permits, curb cut and right-of-way permits, utility permits, drainage rights, bonds, and similar or equivalent private and governmental documents of every kind and character whatsoever pertaining or applicable to or in any way connected with the development, construction, and ownership of the above-referenced improvements.

<u>Description</u>	<u>CDD Eligible Amount</u>	<u>Paid to Date</u>	<u>Balance Owed to Contractor/ Professional from Developer</u>
Neighborhood Four South Stormwater	\$2,549,701.34	\$1,814,690.72	\$735,010.62
Neighborhood Four South Stormwater Work Product	\$447,377.50	\$275,284.88	\$172,092.62
Neighborhood Five Stormwater	\$3,555,204.78	\$3,278,876.09	\$276,328.69
Neighborhood Five Work Product	\$32,218.16	\$30,214.72	\$2,003.44
Neighborhood Three, Phase Five Stormwater	\$760,979.65	\$322,302.65	\$438,677.00
TOTALS:	\$7,345,481.43	\$5,721,369.06	\$1,624,112.37

*Neighborhood Three, Phase Five Work Product was accounted for in prior Neighborhood Three stormwater acquisition.

BILL OF SALE AND LIMITED ASSIGNMENT
[NEIGHBORHOOD FOUR SOUTH, NEIGHBORHOOD FIVE AND
NEIGHBORHOOD THREE, PHASE 5 STORMWATER IMPROVEMENTS]

THIS BILL OF SALE AND LIMITED ASSIGNMENT is made to be effective the 8th day of May, 2024, by and between **Taylor Morrison of Florida, Inc.**, whose address for purposes hereof is 551 North Cattlemen Road, Suite 200, Sarasota, Florida 34232 ("**Grantor**"), and for good and valuable consideration, to it paid by the **LT Ranch Community Development District**, a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes* ("**District**" or "**Grantee**") whose address is c/o JP Ward & Associates, LLC, 2301 Northeast 37th Street, Fort Lauderdale, Florida 33308.

(Wherever used herein, the terms "Grantor" and "Grantee" include all of the parties to this instrument, the heirs, legal representatives and assigns of individuals, and the successors and assigns of trustees, partnerships, limited liability companies, governmental entities, and corporations.)

BACKGROUND STATEMENT

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor and Grantee, intending to be legally bound, do hereby agree as follows:

1. Grantor hereby transfers, grants, conveys, and assigns to Grantee all right, title and interest of Grantor, if any, in and to the following improvements (together, "**Property**") as described below to have and to hold for Grantee's own use and benefit forever:
 - a) All improvements and work product described in **Exhibit A**; and
 - b) All of the right, title, interest, and benefit of Grantor, if any, in, to and under any and all contracts, guaranties, affidavits, warranties, bonds, claims, lien waivers, and other forms of indemnification, given heretofore and with respect to the construction, installation, or composition of the improvements described in **Exhibit A**.
2. Grantor hereby covenants that: (i) Grantor is the lawful owner of the Property; (ii) the Property is free from any liens or encumbrances and the Grantor covenants to timely address any such liens or encumbrances if and when filed; (iii) Grantor has good right to sell the Property; and (iv) the Grantor will warrant and defend the sale of the Property hereby made unto the Grantee against the lawful claims and demands of all persons whosoever.
3. Except as otherwise separately agreed to in writing by Grantor, this conveyance is made on an "as is" basis. The Grantor represents that it has no knowledge of any latent or patent defects in the Property, and hereby assigns, transfers and conveys to the Grantee any and all rights against any and all firms or entities which may have caused any latent or patent defects, including, but not limited to, any and all warranties and other forms of indemnification.

4. By execution of this document, the Grantor affirmatively represents that it has the contractual right, consent and lawful authority of any and all forms to take this action in this document and in this form. Nothing herein shall be construed as a waiver of Grantee's limitations on liability as provided in Section 768.28, *Florida Statutes*, and other statutes and law.

WHEREFORE, the foregoing Bill of Sale and Limited Assignment is hereby executed and delivered on the date first set forth above.

Signed, sealed and delivered by:

WITNESS

TAYLOR MORRISON OF FLORIDA, INC.

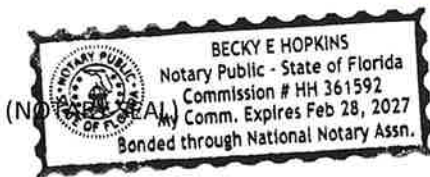
By: 
Name: Donald Ekaj

By: 
Name: Brad Cooper
Title: Vice President

By: 
Name: Jamie Koca

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 8th day of MAY, 2024, by BRAD COOPER as _____ of Taylor Morrison of Florida, Inc., who appeared before me this day in person, and who is either personally known to me or produced _____ as identification.



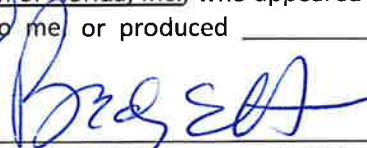

NOTARY PUBLIC, STATE OF FLORIDA
Name: Becky E Hopkins
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

Exhibit A

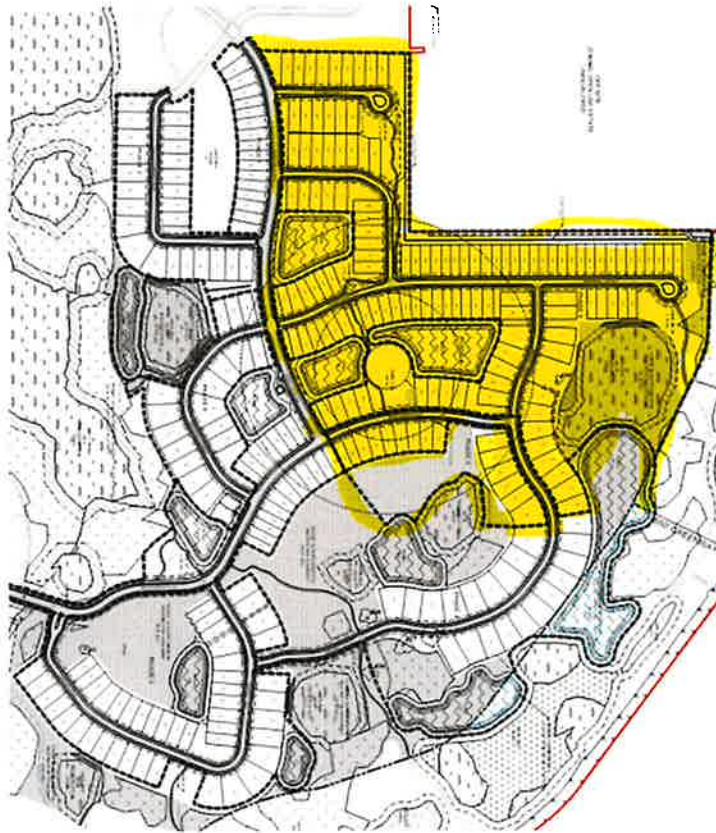
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[CONTINUED ON FOLLOWING PAGE]



Work Product – Any and all site plans, construction and development drawings, plans and specifications, documents, surveys, engineering and soil reports and studies, licenses, permits, zoning approvals, entitlements, building permits, demolition and excavation permits, curb cut and right-of-way permits, utility permits, drainage rights, bonds, and similar or equivalent private and governmental documents of every kind and character whatsoever pertaining or applicable to or in any way connected with the development, construction, and ownership of the above-referenced improvements.

<u>Description</u>	<u>CDD Eligible Amount</u>	<u>Paid to Date</u>	<u>Balance Owed to Contractor/ Professional from Developer</u>
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TOTALS:	\$7,345,481.43	\$5,721,369.06	\$1,624,112.37

*Neighborhood Three, Phase Five Work Product was accounted for in prior Neighborhood Three stormwater acquisition.

RESOLUTION 2024-20

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT CONFIRMING AND APPROVING THE ACTIONS OF THE CHAIRMAN AND DISTRICT STAFF REGARDING THE ACQUISITION OF CERTAIN NEIGHBORHOOD THREE PHASE FOUR, NEIGHBORHOOD FOUR SOUTH AND NEIGHBORHOOD FIVE PHASE TWO UTILITIES; AND ADDRESSING SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the LT Ranch Community Development District ("District") is a local unit of special-purpose government created and existing pursuant to Chapter 190, *Florida Statutes* ("Act"); and

WHEREAS, the Act authorizes the District to construct, acquire, operate, and maintain public infrastructure improvements; and

WHEREAS, the District has adopted an improvement plan for the planning, design, acquisition, construction, and installation of certain infrastructure improvements, facilities, and services within and without the boundaries of the District and specifically relating to the area known as Neighborhood Three Phase Four, Neighborhood Four South, and Neighborhood Five Phase Two utilities which plan is detailed in the *Master Engineer's Report*, dated April 2019, as revised November 6, 2019, as supplemented by the *2024 Project Supplement to the Master Engineer's Report*, dated February 2024 ("Capital Improvement Program"); and

WHEREAS, the District has authorized an *Acquisition Agreement*, dated October 1, 2019, with Taylor Morrison of Florida, Inc. ("Developer") as amended, which sets forth the process by which the District may acquire the improvements comprising the Capital Improvement Program; and

WHEREAS, the Developer has advanced, funded, commenced, and completed certain Neighborhood Three Phase Four, Neighborhood Four South, and Neighborhood Five Phase Two utilities depicted in **Exhibit A** ("Utilities"); and

WHEREAS, the District desires to confirm and approve all actions of the District Chairman and District Staff regarding the acquisition of the Utilities.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. The acquisition of the Utilities, the execution of documents relating to such acquisition of the Utilities, and all actions taken in the furtherance of the acquisition of the Utilities, are hereby declared and affirmed as being in the best interests of the District and are hereby approved and confirmed by the Board.

SECTION 2. If any provision of this Resolution is held to be illegal or invalid, the other provisions shall remain in full force and effect.

PASSED AND ADOPTED this 9th day of July 2024.

ATTEST:

**LT RANCH COMMUNITY DEVELOPMENT
DISTRICT**

James P. Ward, Secretary

John Wollard, Chairman

Exhibit A: Neighborhood Three Phase Four, Neighborhood Four South, and Neighborhood Five Phase Two Utilities Acquisition Package

AUTHORIZING ADDENDUM #7- Skye Ranch - 1
TO
MASTER LAND DEVELOPMENT SERVICES AGREEMENT

TAYLOR MORRISON:
Taylor Morrison of Florida INC, a Florida corporation

CONTRACTOR:
DNA Partners, LLC, DBA C&M Road Builders, a Florida limited liability company

Job Code: 14280400
Land DEV PO: 14280400-4090

NOTICE TO PROCEED DATE: 07/31/2023
SUBSTANTIAL COMPLETION DATE: See Exhibit C

DESCRIPTION OF WORK:

This Authorizing Addendum to Master Land Development Services Agreement (“**Authorizing Addendum**”) is made and entered into effective as of July 31, 2023 by and between **Taylor Morrison of Florida INC, a Florida Corporation** (“**Taylor Morrison**”) and **DNA Partners, LLC DBA C&M Road Builders, a Florida limited liability company** (“**Contractor**”), with respect to the Master Land Development Services Agreement between Taylor Morrison and Contractor dated June 1, 2023 (the “**Agreement**”).

1. Scope/Work. Pursuant to the Agreement, Contractor shall perform the Work for the Contract Price and within the time frame set forth on **Exhibit A** attached to this Authorizing Addendum.
2. Site. The Work will be performed at the job site (the “**Site**”), the location of which is legally described on **Exhibit B** attached hereto.

Unless otherwise defined herein, all capitalized terms used in this Authorizing Addendum shall have the meanings set forth in the Agreement. This Authorizing Addendum may be executed simultaneously or in counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. In the event of a conflict between the provisions of the Agreement and this Authorizing Addendum, the Agreement shall control except to the extent that the Authorizing Addendum specifically states that a provision is intended to modify the Agreement. Except as supplemented by this Authorizing Addendum, all provisions of the Agreement shall remain in full force and effect.

TAYLOR MORRISON:
Taylor Morrison of Florida INC, a Florida corporation

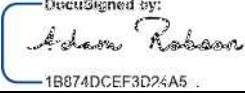
CONTRACTOR:
DNA Partners, LLC, DBA C&M Road Builders, a Florida limited liability company

By:  _____
FAD81E182E9E419...

Name: Jamie Kuca

Title: PM Land Development

Date: 8/10/2023

By:  _____
1B874DCEF3D24A5...

Name: Adam Robson

Title: Owner/CEO

Date: 8/10/2023


BA16F3B522A46F...
8/10/2023

**AUTHORIZING ADDENDUM #7- Skye Ranch -1
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

EXHIBIT A
SCOPE

Job No.: 14280400

Land DEV PO: 14280400-

Taylor Morrison's Representative: Jamie Kuca

Contractor's Representative: Adam Robson

Schedule. The Work shall be completed during the following time frames

Completion by March 31, 2024

Contract Price/Budget. The Contract Price is as follows: **NTE \$1,534,677.00**

Hourly Fee Schedule. Contractor's hourly fee schedule including time period for which rates apply: NA

Description of Work. Contractor shall provide the following services for the Project (the "Work"):

Scope of Work: Neighborhood 3 Phase 4

	POTABLE WATER			BID	
	SNOWFALL STREET				
1	8" PVC C-900 WATER(INSTALL ONLY)	1,206.00	LF	21.00	25,326.00
2	4" PVC C-900 WATER(INSTALL ONLY)	500.00	LF	13.00	6,500.00
3	2" HDPE WATER(INSTALL ONLY)	167.00	LF	8.00	1,336.00
4	8" GATE VALVE & BOX(NSTALL ONLY)	1.00	EA	400.00	400.00
5	4" GATE VALVE & BOX(NSTALL ONLY)	1.00	EA	250.00	250.00
6	2" GATE VALVE & BOX(NSTALL ONLY)	1.00	EA	200.00	200.00
7	AUTO FLUSHER(INSTALL ONLY)	2.00	EA	2,500.00	5,000.00
8	1" SINGLE WATER SERVSHORT(INSTALL ONLY)	35.00	EA	200.00	7,000.00
9	1" SINGLE WATER SERV-LONG(INSTALL ONLY)	24.00	EA	250.00	6,000.00
10	FIRE HYDRANT ASSBLY(INSTALL ONLY)	1.00	EA	1,000.00	1,000.00
11	CHLOR-TESTING	1,873.00	LF	3.80	7,117.40
12	CONNECT TO EXIST(INSTALL ONLY)	1.00	EA	1,000.00	1,000.00
13	INSTALL 4" JUMPER-NOT NEEDED		EA	4,500.00	0.00
	TOTAL				61,129.40

GOLDEN DAWN CT					
1	6" PVC C-900 WATER(INSTALL ONLY)	16.00	LF	15.00	240.00
2	4" PVC C-900 WATER(INSTALL ONLY)	330.00	LF	13.00	4,290.00
3	2" HDPE WATER(INSTALL ONLY)	628.00	LF	8.00	5,024.00
4	1" SINGLE WATER SERVSHORT(INSTALL ONLY)	9.00	EA	200.00	1,800.00
5	1" SINGLE WATER SERV-LONG(INSTALL ONLY)	6.00	EA	250.00	1,500.00
6	CHLOR-TESTING	974.00	LF	3.80	3,701.20
7	CONNECT TO EXIST(INSTALL ONLY)	1.00	EA	1,000.00	1,000.00
8	INSTALL 4" JUMPER-NOT NEEDED		EA	4,500.00	0.00
TOTAL					17,555.20
BIG DIPPER					
1	6" PVC C-900 WATER(INSTALL ONLY)	924.00	LF	15.00	13,860.00
2	6" GATE VALVE & BOX(INSTALL ONLY)	1.00	EA	350.00	350.00
3	1" SINGLE WATER SERVSHORT(INSTALL ONLY)	8.00	EA	200.00	1,600.00
4	1" SINGLE WATER SERV-LONG(INSTALL ONLY)	11.00	EA	250.00	2,750.00
5	FIRE HYDRANT ASSBLY(INSTALL ONLY)	1.00	EA	1,000.00	1,000.00
6	CHLOR-TESTING	924.00	LF	3.80	3,511.20
7	CONNECT TO EXIST(INSTALL ONLY)	1.00	EA	1,000.00	1,000.00
8	INSTALL 4" JUMPER-NOT NEEDED		EA	4,500.00	0.00
TOTAL					24,071.20
TOTAL POTABLE WATER					102,755.80

SANITARY SEWER SNOWFALL STREET					
1	8" PVC DR-26 0-6' PIPE INCLUDED	342.00	LF	50.70	17,339.40
2	8" PVC DR-26 6-8' PIPE INCLUDED	591.00	LF	61.50	36,346.50
3	8" PVC DR-26 8-10' PIPE INCLUDED	669.00	LF	71.00	47,499.00
4	SAN. MH 0-6'(INSTALL ONLY)	2.00	EA	625.00	1,250.00
5	SAN. MH 6-8'(INSTALL ONLY)	2.00	EA	900.00	1,800.00
6	SAN. MH 8-10'(INSTALL ONLY)	1.00	EA	1,150.00	1,150.00
7	SINGLE SEWER SERV(INSTALL ONLY)	8.00	EA	200.00	1,600.00
8	DOUBLE SEWER SERV(INSTALL ONLY)	21.00	EA	250.00	5,250.00
9	TESTING TV	1,602.00	LF	5.00	8,010.00
10	CONNECT TO EXIST(NO CORE INCLUDED)	1.00	LS	3,200.00	3,200.00
TOTAL					123,444.90

GOLDEN DAWN CT					
1	8" PVC DR-26 0-6' PIPE INCLUDED	406.00	LF	50.70	20,584.20
2	SAN. MH 0-6'(INSTALL ONLY)	1.00	EA	625.00	625.00
3	SINGLE SEWER SERV(INSTALL ONLY)	2.00	EA	200.00	400.00
4	DOUBLE SEWER SERV(INSTALL ONLY)	6.00	EA	250.00	1,500.00
5	TESTING TV	406.00	LF	5.00	2,030.00
6	CONNECT TO EXIST(NO CORE INCLUDED)	1.00	LS	3,200.00	3,200.00
TOTAL					28,339.20
BIG DIPPER					
1	8" PVC DR-26 0-6' PIPE INCLUDED	491.00	LF	50.70	24,893.70
2	8" PVC DR-26 6-8' PIPE INCLUDED	238.00	LF	61.50	14,637.00
3	SAN. MH 0-6'(INSTALL ONLY)	2.00	EA	625.00	1,250.00
4	SINGLE SEWER SERV(INSTALL ONLY)	1.00	EA	200.00	200.00
5	DOUBLE SEWER SERV(INSTALL ONLY)	9.00	EA	250.00	2,250.00
6	TESTING TV	729.00	LF	5.00	3,645.00
7	CONNECT TO EXIST(NO CORE INCLUDED)	1.00	LS	3,200.00	3,200.00
TOTAL					50,075.70
TOTAL SAN. SEWER					201,859.80

ROADS					
SNOW FALL STREET					
1	1" TYPE SP-9.5(FIRST LIFT)	4,490.00	SY	10.30	46,247.00
2	7" CEMENT TREATED BASE 100 LBR	4,490.00	SY	25.50	114,495.00
3	8" STAB SUB-BASE 40 LBR	5,164.00	SY	9.40	48,541.60
4	TYPE F CURB	825.00	LF	25.60	21,120.00
5	2' VALLEY GUTTER	2,919.00	LF	22.30	65,093.70
6	TYPE A CURB	165.00	LF	21.20	3,498.00
7	5' CONC WALK	507.00	SY	53.40	27,073.80
8	8' CONC TRAIL	655.00	SY	61.20	40,086.00
9	HANDICAP RAMPS W/MAT	4.00	EA	1,700.00	6,800.00
10	STRIPING TEMP. FOR ALL 3 PHASES	1.00	LS	2,500.00	2,500.00
11	BAHIA SOD 8' BACK OF CURB	2,390.00	SY	3.85	9,201.50
TOTAL					384,656.60

	GOLDEN DAWN CT				
1	1" TYPE SP-9.5(FIRST LIFT)	1,460.00	SY	10.30	15,038.00
2	7" CEMENT TREATED BASE 100 LBR	1,460.00	SY	25.50	37,230.00
3	8" STAB SUB-BASE 40 LBR	1,679.00	SY	9.40	15,782.60
4	TYPE F CURB	315.00	LF	25.60	8,064.00
5	2' VALLEY GUTTER	811.00	LF	22.30	18,085.30
6	TYPE A CURB	166.00	LF	21.20	3,519.20
7	5' CONC WALK	174.00	SY	53.40	9,291.60
8	STRIPING BY OTHERS	1.00	LS		0.00
9	BAHIA SOD 8' BACK OF CURB	721.00	SY	3.85	2,775.85
	TOTAL				109,786.55
	BIG DIPPER DR				
1	1" TYPE SP-9.5(FIRST LIFT)	1,901.00	SY	10.30	19,580.30
2	7" CEMENT TREATED BASE 100 LBR	1,901.00	SY	25.50	48,475.50
3	8" STAB SUB-BASE 40 LBR	2,186.00	SY	9.40	20,548.40
4	TYPE F CURB	712.00	LF	25.60	18,227.20
5	2' VALLEY GUTTER	1,048.00	LF	22.30	23,370.40
6	5' CONC WALK	163.00	SY	53.40	8,704.20
7	STRIPING BY OTHERS	1.00	LS		0.00
8	BAHIA SOD 8' BACK OF CURB	932.00	SY	3.85	3,588.20
	TOTAL				142,494.20
	TOTAL ROADS				636,937.35

DRAINAGE INSTALL ONLY					
1	10" HDPE	657.00	LF	14.00	9,198.00
2	12" HDPE	613.00	LF	15.00	9,195.00
3	15" HDPE	671.00	LF	18.00	12,078.00
4	18" HDPE	260.00	LF	19.00	4,940.00
5	24" HDPE	110.00	LF	21.50	2,365.00
6	30" HDPE	109.00	LF	24.00	2,616.00
7	36" HDPE	561.00	LF	26.30	14,754.30
8	15" RCP	60.00	LF	19.00	1,140.00
9	18" RCP	47.00	LF	21.50	1,010.50
10	24" RCP	1,151.00	LF	26.50	30,501.50
11	30" RCP	304.00	LF	32.50	9,880.00
12	36" RCP	183.00	LF	35.00	6,405.00
13	42" RCP	243.00	LF	41.50	10,084.50
14	TYPE G C.S	1.00	EA	1,350.00	1,350.00
15	GRATE INLET	7.00	EA	1,125.00	7,875.00
16	TYP 9 INLET	1.00	EA	1,450.00	1,450.00
17	JUNCTION BOX	1.00	EA	1,400.00	1,400.00
18	YARD DRAIN	28.00	EA	380.00	10,640.00
19	VALLEY GUTTER INLET	13.00	EA	1,325.00	17,225.00
20	10" FES	1.00	EA	200.00	200.00
21	24" FES	4.00	EA	565.00	2,260.00
22	42" FES	1.00	EA	900.00	900.00
23	4" ROADSIDE UD	3,676.00	LF	23.00	84,548.00
24	4" UD	40.00	EA	250.00	10,000.00
	TOTAL				252,015.80

IRRIGATION INSTALL ONLY					
SNOW FALL					
1	6" PVC C-900 IRRIG	1,976.00	LF	15.00	29,640.00
2	1" SINGLE SERV SHORT	6.00	EA	180.00	1,080.00
3	1" SINGLE SERV LONG	3.00	EA	250.00	750.00
4	1" DOUBLE SERV SHORT	9.00	EA	250.00	2,250.00
5	1" DOUBLE SERV LONG	16.00	EA	275.00	4,400.00
6	2" COMMON SERV SHORT	5.00	EA	450.00	2,250.00
7	2" COMMON SERV LONG	2.00	EA	575.00	1,150.00
8	6" GATE VALVE	4.00	EA	350.00	1,400.00
9	4" BLOW OFF	1.00	EA	600.00	600.00
10	6" BLOW OFF	1.00	EA	700.00	700.00
11	TESTING	1,976.00	LF	3.25	6,422.00
12	CON TO EX 6"	1.00	LS		0.00
	TOTAL				50,642.00

GOLDEN DAWN					
1	4" PVC C-900 IRRIG	423.00	LF	13.00	5,499.00
2	1" SINGLE SERV SHORT	2.00	EA	200.00	400.00
3	1" SINGLE SERV LONG	1.00	EA	250.00	250.00
4	1" DOUBLE SERV SHORT	2.00	EA	250.00	500.00
5	1" DOUBLE SERV LONG	4.00	EA	375.00	1,500.00
6	2" COMMON SERV SHORT	3.00	EA	475.00	1,425.00
7	PERM BLOWOFF	1.00	EA	650.00	650.00
8	TESTING	423.00	LF	3.25	1,374.75
TOTAL					11,598.75
BIG DIPPER					
1	4" PVC C-900 IRRIG	954.00	LF	13.00	12,402.00
2	1" SINGLE SERV SHORT	1.00	EA	200.00	200.00
3	1" DOUBLE SHORT	5.00	EA	250.00	1,250.00
4	1" DOUBLE SERV LONG	4.00	EA	375.00	1,500.00
5	2" COMMON SERV SHORT	2.00	EA	475.00	950.00
6	2" COMMON SERV LONG	1.00	EA	575.00	575.00
7	4" GATE VALVE	1.00	EA	250.00	250.00
8	2 PERM BLOWOFF	1.00	LF	650.00	650.00
9	TESTING	954.00	LF	3.25	3,100.50
TOTAL					20,877.50
TOTAL IRRIGATION					83,118.25

EARTHWORK					
1	MOB	1.00	LS	7,200.00	7,200.00
2	FINAL GRADING	24.00	AC	1,400.00	33,600.00
3	BEST MGMT	1.00	LS	5,700.00	5,700.00
4	SILT FENCE (allowance)	5,200.00	LF	2.40	12,480.00
5	STRIP LOTS & ROADS(Golden Dawn, Big Dipper)	9.80	AC	2,550.00	24,990.00
6	ROUGH GRADE LOTS & ROADS(Snow Fall)	13.20	AC	1,925.00	25,410.00
7	HAUL ONSITE FILL (allowance)	12,800.00	CYT	4.45	56,960.00
8	PLACE STRIPPINGS IN BERMS IN PHASE 4	1.00	LS	10,000.00	10,000.00
9	BURN ONSITE DEBRI ON SNOWFALL(allowance)	1.00	LS	4,450.00	4,450.00
10	INLET PROTECTION	9.00	EA	100.00	900.00
11	TRACKING DEVICE	3.00	EA	2,500.00	7,500.00
TOTAL					189,190.00

SURVEY					
1	STAKEOUT	1.00	LS	38,800.00	38,800.00
2	AS-BUILTS	1.00	LS	17,600.00	17,600.00
TOTAL					56,400.00
GEO TESTING					
1	GEO TESTING	1.00	LS	12,400.00	12,400.00
TOTAL					12,400.00

GRADING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Grading Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

- 1. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").
- 2. Select applicable provision by checking either Option 2(A) **OR** 2(B):

A. Construction Water IS Supplied by Taylor Morrison

Construction water ***shall*** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

B. Construction Water is NOT Supplied by Taylor Morrison

Construction water ***shall not*** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

- 3. The Work includes hurricane pump and/or pump/standpipe to fill water pulls and trucks.
- 4. Contractor shall provide earthwork calculations in its bid submittal.
- 5. Contractor shall coordinate its equipment line up with Taylor Morrison.
- 6. Contractor shall notify Taylor Morrison 48 hours prior to any staking or testing being required.
- 7. Contractor shall undercut all basins _____, or per direction of Taylor Morrison.
- 8. Contractor shall undercut all street 0.20' and leave all street subgrade flat (no crown).
- 9. Contractor shall cut all sidewalk areas 3" from top of curb elevation.
- 10. Contractor shall build stepped pads when adjacent pad differential is equal to or greater than 0.25' and rake when less than 0.25'.
- 11. Contractor shall overbuild front yards 5' from BSL on Final Plat and slope to sidewalk grade (do not bench).
- 12. Contractor shall overbuild all property lines 2' to allow for wall footing.

_____ Contractor _____ TM

- 13. Contractor shall overbuild all areas with sidewalks a minimum of 18”.
- 14. Contractor shall cut all retaining walls back 3’ and leave spoils on the upper pad side to allow for backfill of retaining walls.
- 15. Contractor shall cut basins _____ in retention basins with dry wells, or per direction of Taylor Morrison, to make room for dry well spoils.
- 16. Contractor must supply weekly safety report and dust control records.
- 17. Contractor is required to have a Certified Dust Coordinator onsite at all times during operations, without exception.
- 18. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during grading operations.

PAVING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Paving Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

1. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project’s _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, “Soils Report”).

2. Select applicable provision by checking either Option 2(A) OR 2(B):

A. Construction Water IS Supplied by Taylor Morrison 0

Construction water shall be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water cannot be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

B. Construction Water is NOT Supplied by Taylor Morrison 0

. Construction water shall not be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor’s bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor’s construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

3. Contractor shall clean out all laydown machines and other equipment in designated areas only, as determined by Taylor Morrison’s Designated Representative.

4. Contractor’s Work shall be performed in strict accordance with the Project’s Contract Documents.

5. Contractor is required to furnish all labor, equipment, and materials to construct the improvements as set forth in the Project’s Contract Documents. This work shall include but is not limited to: paving asphalt, subgrade prep, installing and prepping A.B.C., achieving compaction, adjust manholes, valves, and cleanouts, as well as providing and installing: barricades, survey monuments, fire hydrant markers, street sign bases, signage and striping, and temporary and/or permanent barricading.

6. Contractor shall re-grade any areas disturbed by the water, sewer, or utility contractors. The cost of this work shall be included in the bid, assuming the grade left by all utility contractors 0.30' from the original rough grade or 0.30' from design grade.
7. Contractor shall notify Taylor Morrison's Designated Representative at least 48 hours prior to any staking being required.
8. Contractor shall notify Taylor Morrison's Designated Representative at least 24 hours prior to any asphalt being placed for the purpose of coordinating testing.
9. Contractor shall be responsible for coordinating with Taylor Morrison's Designated Representative to provide a water truck for flow testing curb and paving, which cost shall be included in Contractor's bid.
10. Contractor shall be responsible for manhole adjustments, water and gas valve adjustments, street signs and bases, barricades, fire hydrant markers, striping, monuments, etc.
11. Contractors' bid shall include the cost of any removals, saw cuts, etc.
12. Contractor's bid shall include the cost of one mobilization. Additional mobilization costs must also be provided.
13. All entrances used by Contractor shall be kept clean, either by sweeping or washed with a water truck. Any track out shall be cleaned by Contractor on a daily basis.
14. Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur shall become the responsibility of the Contractor to repair, if the original survey stakes are missing when any problems are found. Any utilities or property pins damaged or removed during Contractor's work shall be repaired or replaced at the Contractor's expense.
15. Contractor shall exercise care around all existing improvements. Contractor shall arrange to walk the site with Taylor Morrison's Designated Representative before Contractor starts its work to determine the extent and location of any cracks in the concrete, the cleanliness of the manholes and the condition of water valves, etc. Any cleanup or repair needed for Contractor's pre-paving work shall be done by the Contractor at its own expense before the paving operation begins.
16. Contractor shall be responsible for all traffic control including barricades, as required by public authorities and Owner. Contractor shall obtain an approved traffic control plan, if the municipality or County within which the Project is located requires a traffic control plan.
17. Normal soil conditions are those outlined in the Soils Report. Any ripping, jack hammering, or blasting that is necessary to perform the work shall be included in Contractor's bid.
18. Taylor Morrison' shall be notified by Contractor 48 hours prior to any staking being required;
19. The Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur will become the responsibility of the Contractor to repair if the original survey stakes are missing when any problems are found.
20. All costs associated with maintaining all dust control are included in the Agreement – this includes, but is not limited to, all dust generating activities, haul roads around the site, trenching, machine work, and using provided ingress/egress to and from the site. etc.
21. Contractor must use provided entrances/exits when arriving or leaving site. Any fines/violations incurred for this failure to comply will be paid by contractor. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during operations.
22. Contractor shall supply weekly safety and dust records.

WET UTILITIES SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Wet Utilities Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

1. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "Soils Report").

2. Select applicable provision by checking Option 2(A) OR 2(B):

A. Construction Water IS Supplied by Taylor Morrison 0

Construction water shall be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

B. Construction Water is NOT Supplied by Taylor Morrison 0

Construction water shall not be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

3. One mobilization to be included in Agreement. Additional mobilization costs must also be provided.

4. Contractor shall coordinate services of surveying and observation contractors designated by Taylor Morrison;

5. The Contractor shall provide all materials, equipment, and labor necessary to install sewer, water and storm drain improvements as set forth in the Contract Documents. The Work shall include, but is not limited to: trenching, excavating, backfilling and compacting, bacteria, compaction, camera, and pressure testing, furnishing and installing bedding, pipe, fittings, valves, valve boxes and covers, fire hydrants, manholes, plugs, clean-outs, taps, services, meter boxes and lids, and any other necessary appurtenances.

6. Prior to commencing any other work, the Contractor shall expose all existing sewer tie-ins so that the surveyors can verify their locations.

7. Contractor shall install sewer services as follows: Sewer services to be stubbed into property five (5) feet behind the PUE. Sewer taps shall be marked with a 2x4 metal stud. The metal stud shall extend from the sewer tap to 3' above finished grade. Contractor shall paint top twelve (12) inches of metal stud green. The sewer tap should be installed with two 45 degree elbows and extended to within one (1) foot of finished grade. A 3/8" x 12" length of #4 rebar shall be duct taped to end of sewer tap;

8. Contractor shall stub water services up six (6) inches above grade and set to grade after sidewalk installation;

9. If water main valve boxes are located behind sidewalk, Contractor shall adjust them to grade after sidewalk installation;

10. Contractor shall remove any excess or miscellaneous materials from lots prior to receiving final payment;

11. Contractor will return site to +/- .3 ft. of original grade including lots, R.O.W., and P.U.E., and will be confirmed by Taylor Morrison's Designated Representative. Any excess dirt, ABC, or chips remaining after all trenches have been

_____ Contractor _____ TM

backfilled and compacted shall be spread evenly in the streets. Contractor will be responsible for all testing and coordination with inspectors or government entities. The Contractor will leave all trenches open long enough to allow as-built locations to be verified by the Owner's surveyor.

12. All sewer and water tie-ins that are in existing pavement will be permanently patched back by the sewer and water contractor, per governing municipality/provider requirements.
13. Contractor pricing to include municipality/private provider approved methods for backfill.
14. Contractor will provide all necessary barricades, barricade plans and traffic control plans. Contractor is responsible for city or county acceptance if necessary.
15. Contractor shall include in its bid price the cost for two air pressure and camera tests of the sewer system. One test will be after the sewer has been installed to verify that it has been installed correctly, and one test after the remainder of the underground utilities have been installed to verify that the sewer was not damaged by the installation of other utilities.
16. This proposal is to be based on the use of standard trenching equipment equivalent to a 125,000-pound class excavator with a rock bucket and with a production rate of at least 200 linear feet per an 8-hour working day. All excavation beyond the capability of the said equipment at the said production rate will be considered hard excavation.
17. Bidding Contractors to visit the site and account for any borings that may be necessary for any irrigation crossings.
18. Taylor Morrison' shall be notified by Contractor 48 hours prior to any staking being required;
19. The Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur will become the responsibility of the Contractor to repair if the original survey stakes are missing when any problems are found.
20. All costs associated with maintaining all dust control are included in the Agreement – this includes, but is not limited to, all dust generating activities, haul roads around the site, trenching, machine work, and using provided ingress/egress to and from the site. etc.
21. Contractor must use provided entrances/exits when arriving or leaving site. Any fines/violations incurred for this failure to comply will be paid by contractor. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during operations.
22. Contractor shall supply weekly safety and dust records.

**AUTHORIZING ADDENDUM #7- Skye Ranch -1
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

EXHIBIT B
JOB SITE

N3 Phase 4

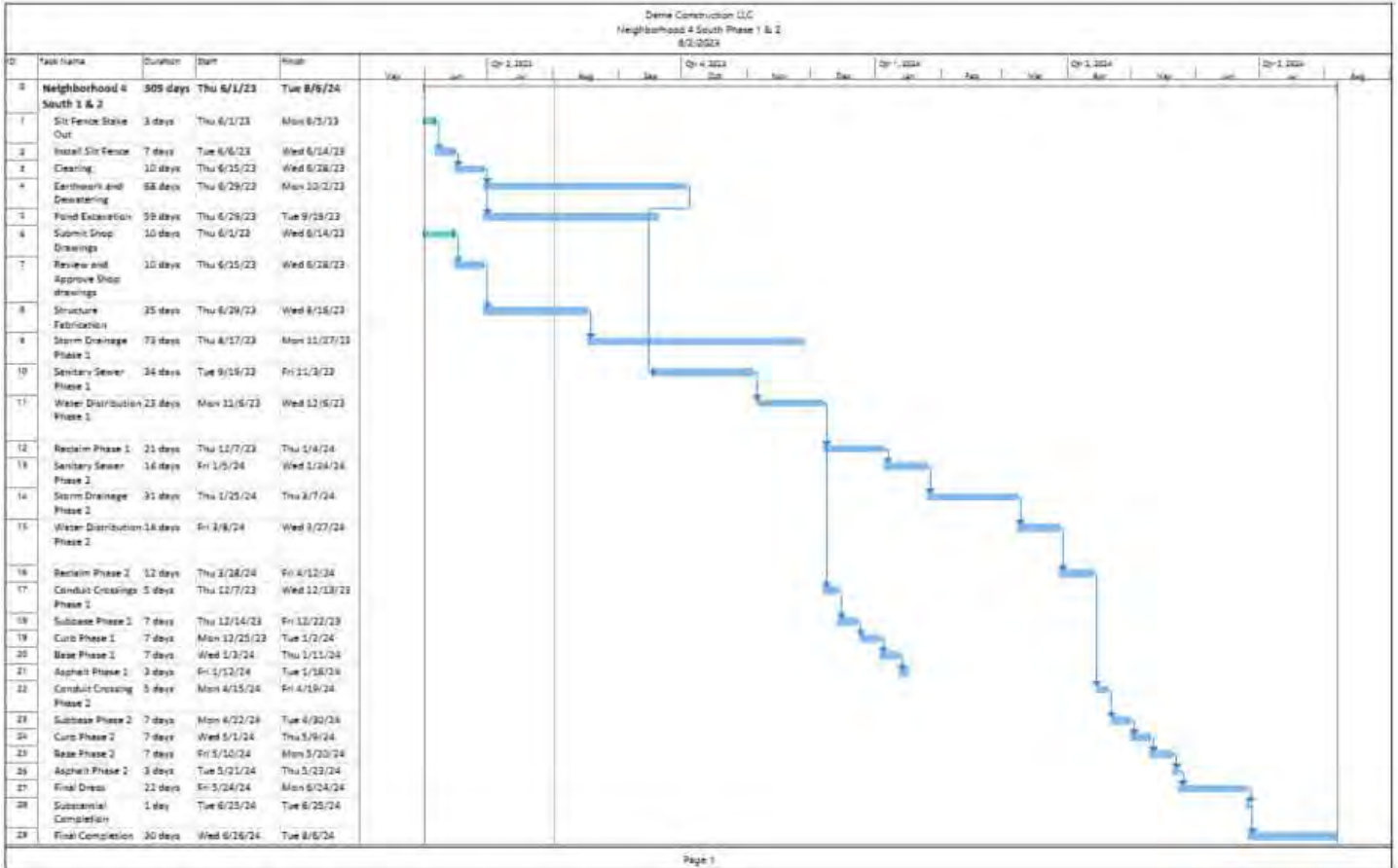
SKYE RANCH NEIGHBORHOOD THREE

BEING A REPLAT OF TRACT 510 (FUTURE DEVELOPMENT AREA) AND TRACT 511 (FUTURE DEVELOPMENT AREA), SKYE RANCH NEIGHBORHOOD TWO, PLAT BOOK 56, PAGES 1-12, AND A REPLAT OF A PORTION OF TRACT 501 (FUTURE DEVELOPMENT AREA), LT RANCH NEIGHBORHOOD ONE, PLAT BOOK 53, PAGES 175-224, BOTH OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA, LYING IN SECTIONS 22 AND 27, TOWNSHIP 37 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA

AUTHORIZING ADDENDUM #7- Skye Ranch -1 TO MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES

EXHIBIT C SCHEDULE

N3 Phase 4



TAYLOR MORRISON

**AMENDMENT #1
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #1 (the "Authorizing Addendum Amendment") made and entered into as of September 28, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated July 31, 2023 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated June 1, 2023 (the "Agreement") made by and between **DNA Partners, LLC DBA C&M Road Builders, a Florida limited liability company ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$353,854.93 to previously authorized amount of \$1,534,677.00

The maximum authorized for the Services under this Authorizing Addendum is \$1,888,531.93 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Brian Hughes. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 7 Skye Ranch 1 (Land DEV PO 14280400-4090)
- Project and Phase Number:
- Cost Code Number: Multi
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C
3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

a) Scope of Work:

Skye Ranch Neighborhood 3 Phase 4
Utility Material Cost Summary Worksheet.

Sanitary Sewer	\$ 39,599.52
Domestic Water	\$ 65,941.77
Domestic Water Services	\$ 48,277.95
Reclaim Water	\$ 40,270.02
Reclaim Water Services	\$ 79,631.94
Storm Drainage	\$ 80,133.73
Total Utility Material	\$ 353,854.93

		Services		On-Site Counted 8/4/2023	Still Need	Unit Price	Total Price	Bid Doc Stored
		Single (11)	Double (36)					
6" PVC SDR-26 Green 14'	2185 LF	35' x 11EA	50' x 36EA	0	2184	\$ 9.19	\$ 20,071.20	0
8" PVC SDR-26 Green 14'	2688 LF			0	0	\$ 16.63	\$ -	0
3" x 1000 UG Sewer Tape Grn	5 EA			0	5	\$ 49.93	\$ 249.67	0
						\$ -	\$ -	
8" x 6" PVC Wye SDR-26	47 EA	11	36	38	9	\$ 128.67	\$ 1,158.06	38
6" PVC Bend 45° GxS SDR-26	141 EA	33	108	90	51	\$ 36.49	\$ 1,860.84	0
6" PVC Bend 45° GxG SDR-26	47 EA	11	36	0	47	\$ 49.39	\$ 2,321.16	138
6" Wye GxGxG SDR-26	119 EA	11	108	36	83	\$ 99.02	\$ 8,218.87	11
8" PVC Double Wye SDR-26	36 EA	0	36	17	19	\$ 184.80	\$ 3,511.22	32
6" PVC Plug SDR-26	83 EA	11	72	100	0	\$ 10.46	\$ -	0
6" PVC Hub Lem CO Adapt	47 EA	11	36	28	19	\$ 31.73	\$ 602.90	13
6" PVC Sewer Thrd CO Plug	47 EA	11	36	28	19	\$ 24.24	\$ 460.59	13
6" PVC San Gasket Cap Testing	47 EA	11	36	0	47	\$ 10.46	\$ 491.72	47
						\$ -	\$ -	
2" x 4" x 8" Pine Marker Paint	47 EA			0	47	\$ 10.11	\$ 474.96	0
24" Manhole Inflow Dish	8 EA			0	2	\$ 89.17	\$ 178.33	0
							\$ 39,599.52	

Skye Ranch Neighborhood 3 Phase 4 Domestic Water Material							
	Q8/01/23	Counted		Unit	Total	Bid Doc	
		Onsite	Still Need				
		8/4/2023		Price	Price	Stored	
2" PE DR-9 Blue	790 LF	200	590	\$ 2.97	\$ 1,751.61	400	
4" PVC DR-18	806 LF	0	806	\$ 7.56	\$ 6,094.43	0	
6" PVC DR-18	994 LF	0	994	\$ 15.46	\$ 15,362.82	520	
8" PVC DR-18	1,164 LF	680	484	\$ 26.54	\$ 12,881.42	1080	
Blue ID Tape 3" x 1000'	4 EA	0	4	\$ 49.93	\$ 199.73	0	
10 GA Wire Blue 500' Roll	8 EA	8	0	\$	\$	8	
4" Bell Restrained PVC Pipe	12 EA	0	12	\$ 61.32	\$ 733.45	0	
6" Bell Restrained PVC Pipe	13 EA	0	13	\$ 76.52	\$ 994.72	0	
8" Bell Restrained PVC Pipe	16 EA	0	16	\$ 127.90	\$ 2,046.81	0	
Megalug for PVC w/ Gaskets				\$	\$		
		4"	6"	8"	\$	\$	
					\$	\$	
4" MI Plug Tapped 2"	2 EA	1		1	\$ 118.94	\$ 118.94	2
6" MI Sleeve	1 EA		2	0	\$ 298.51	\$ 298.51	0
6" MI Bend 1 1/4"	5 EA		10	4	\$ 278.51	\$ 278.51	5
6" MI Bend 2 1/2"	1 EA		1	0	\$ 272.99	\$ 272.99	1
6" x 2" MI Tapped Tee	1 EA		2	0	\$ 453.92	\$ 453.92	0
6" x 4" MI Reducer	1 EA	1	1	0	\$ 235.09	\$ 235.09	0
6" x 6" MI Solvent Tee for Hydr	1 EA		3	1	\$ 441.51	\$ 441.51	1
8" x 6" MI Solvent Tee for Hydr	1 EA		1	2	\$ 559.16	\$ 559.16	1
8" x 6" MI Tee	2 EA		2	4	\$ 565.81	\$ 565.81	0
8" x 4" MI Reducer	1 EA	1		1	\$ 293.92	\$ 293.92	1
8" MI Sleeve	1 EA		2	0	\$ 436.16	\$ 436.16	0
Access Pack for Onsite 4" Fitting				1	\$ 66.53	\$ 66.53	
Access Pack for Onsite 6" Fitting				14	\$ 83.88	\$ 1,141.47	
Access Pack for Onsite 8" Fitting				7	\$ 109.87	\$ 766.31	
2" Resilient Wedge Gate Valve	2 EA			2	\$ 1,189.60	\$ 1,189.60	2
4" Resilient Wedge Gate Valve	1 EA	2		0	\$ 1,311.85	\$ 1,311.85	0
6" Resilient Wedge Gate Valve	4 EA		4	4	\$ 1,364.46	\$ 1,364.46	4
8" Resilient Wedge Gate Valve	4 EA			8	\$ 2,026.87	\$ 8,080.60	1
Fire Hydrant B-B&B	2 EA			0	\$ 4,558.70	\$ 9,117.40	0
4" Megalug for PVC w/ Gasket	5 EA			0	\$	\$	0
6" Megalug for PVC w/ Gasket	27 EA			0	\$	\$	0
8" Megalug for PVC w/ Gasket	17 EA			0	\$	\$	0
Bolt T-Head 3/8" x 3-1/2" Blue	284 EA	4 x 5	6 x 44	0	\$	\$	0
Valve Box 2-Piece	11 EA			0	\$	\$	0
3" Brass Valve ID Tag	11 EA			0	\$	\$	0
Tracer Wire Test Size Blue	11 EA			0	\$	\$	0
Wire Connector Drycon	11 EA			0	\$	\$	0
2" PE DR-9 for Blowoff (1)	50 LF			0	\$	\$	0
2" Brass MIP x Comp Coupling	4 EA			0	\$	\$	0
Meter Box 17" x 30" x 12" Cl Lid	1 EA			1	\$	\$	0
2" Meter Insertion	1 EA			0	\$	\$	0
2" Meter w/ Lok-Pak Couplings	1 EA			0	\$ 5,532.90	\$ 5,532.90	0
2" Autoblaster for Blowoff	1 EA			1	\$ 6,155.27	\$ 6,155.27	0

\$ 65,981.77

Skye Ranch Neighborhood 3 Phase 4
Domestic Water Service Material

			SS	SL	Counted		Unit Price	Total Price	Bid Doc Stored
					Onsite 8/4/2023	Still Need			
2" x 1" Brass Compr Tee	7		7		0	7	\$ 218.87	\$ 1,532.12	0
4" x 1" Brnz Saddle CC Dbl Strap	28		17	11	5	23	\$ 162.52	\$ 3,737.99	26
6" x 1" Brnz Saddle CC Dbl Strap	20	EA	8	11	0	20	\$ 191.49	\$ 3,829.94	0
8" x 1" Brnz Saddle CC Dbl Strap	38	EA	19	19	30	8	\$ 236.93	\$ 1,895.47	30
							\$ -	\$ -	
1" Corp Stop CC x CTS	93	EA	52	41	8	85	\$ 117.69	\$ 10,000.46	105
1" Angle Ball Valve CTS x Meter	83	EA	52	41	8	85	\$ 210.58	\$ 17,898.96	20
1" SS Insert	186	EA	104	82	90	96	\$ 2.79	\$ 268.21	210
Wire Lug Connector Dryconn	93	EA	52	41	0	93	\$ 5.94	\$ 552.83	0
Meter Box 11" x 18" x 12" □	93	EA	52	41	105	0	\$ 196.17	\$ -	105
							\$ -	\$ -	
1" Polytube CTS DR-9 Blue	2570	LF	520	2050	300	2270	\$ 0.77	\$ 1,754.21	700
2" PVC SDR-21 Sleeve	850	LF		850	0	850	\$ 2.38	\$ 2,021.11	0
4" PVC SDR-21 Sleeve	600	LF		600	0	600	\$ 6.16	\$ 3,695.07	0
#10 Copper Trace Wire Blue	2570	LF	520	2050	2570	0	\$ 0.31	\$ -	3000
3" Detector Tape Water	2570	LF	520	2050	0	2570	\$ 0.06	\$ 152.77	0
							\$ -	\$ -	
2" x 4" Pine Marker B' Paint Top	93	EA	52	41	0	93	\$ 10.11	\$ 939.82	0
								\$ 48,277.95	
			10' Poly	50' Poly					
			52 x 10'	41 x 50'					

Skye Ranch Neighborhood 3 Phase B Reclaim Water Main Material							Counted		Unit	Total	Kit Doc
				Onsite	Still Need	Price	Price	Price	Price	Stored	
				8/4/2023							
4" PVC DR-18 Purple	1257 LF			0	1257	\$ 7.56	\$ 9,504.60			0	
6" PVC DR-18 Purple	1924 LF			1400	524	\$ 15.46	\$ 8,098.71			1420	
						\$ -					
Purple ID Tape 3" x 1000'	3 EA			0	3	\$ 49.93	\$ 149.80			0	
10 GA Wire Purple 500' Roll	7 EA			7	0	\$ 77.28	\$ -			0	
						\$ -					
4" Bell Restraint PVC Pipe	18 EA			0	18	\$ 61.17	\$ 1,101.17			0	
6" Bell Restraint PVC Pipe	23 EA			0	23	\$ 76.52	\$ 1,759.89			0	
						\$ -					
		PVC Megalug w/ Gaskets				\$ -					
		4"	6"			\$ -					
						\$ -					
4" MI Sleeve	2 EA	8		0	2	\$ 213.74	\$ 427.48			0	
4" MI Bend 11-1/4"	5 EA	10		8	0	\$ 202.02	\$ -			7	
4" MI Bend 22-1/2"	2 EA	4		9	0	\$ 204.77	\$ -			1	
4" MI Bend 45"	5 EA	10		13	0	\$ 308.91	\$ -			0	
4" x 2" MI Tee for Blowoff	1 EA	3		0	1	\$ 294.12	\$ 294.12			0	
4" MI Plug Tapped 2"	2 EA	2		1	1	\$ 118.94	\$ 118.94			1	
						\$ -					
6" MI Sleeve	1 EA		2	0	1	\$ 298.51	\$ 298.51			0	
6" MI Tee	1 EA		3	0	1	\$ 458.79	\$ 458.79			1	
6" x 4" MI Tee	2 EA	1	2	0	2	\$ 428.48	\$ 856.95			1	
6" MI Bend 22-1/2"	6 EA		12	0	6	\$ 272.99	\$ 1,637.96			0	
6" MI Bend 45"	13 EA		26	0	13	\$ 284.03	\$ 3,692.33			4	
6" MI Bend 90"	1 EA		2	1	0	\$ 284.03	\$ -			1	
6" MI Plug Tapped 2"	1 EA		1	0	1	\$ 178.90	\$ 178.90			0	
						\$ -					
Access Pack for Onsite 4" Fitting					25	\$ 66.53	\$ 1,663.26				
Access Pack for Onsite 6" Fitting					2	\$ 81.68	\$ 163.35				
						\$ -					
2" Resilient Wedge Gate Valve	3 EA			0	8	\$ 467.60	\$ 1,402.81			0	
4" Resilient Wedge Gate Valve	1 EA	2		0	1	\$ 1,111.85	\$ 1,111.85			0	
6" Resilient Wedge Gate Valve	4 EA		8	4	0	\$ 1,363.28	\$ -			3	
						\$ -					
		36	56								
Valve Box 2-Piece	8 EA			0	8					0	
3" Brass Valve ID Tag	8 EA			0	8					0	
Tracer Wire Test Sta Box	8 EA			0	8					0	
Wire Connector Drysum	8 EA			0	8					0	
4" Megalug for PVC w/ Gasket	36 EA			0	36					0	
6" Megalug for PVC w/ Gasket	56 EA			0	56					0	
1-Head Bolts 3/4" x 3-1/2" Blue	480 EA	36 x 4	56 x 6	0	480					0	
2" PE DR-9 for Blowoff (A)	80 LF			80	50					80	
2" Brass MIP & Comp Coupling	4 EA			0	8					0	
Meier Box 17x30x12 Purple CI	4 EA			4	0					4	
2" SS Inset Stiffener	8 EA			0	8					0	
2" Ball Valve 1/4 Turn Full Port	4 EA			0	4					0	
2" x 2-1/2" Adapt w/ Cap & Chain	4 EA			0	4	\$ 1,837.90	\$ 7,351.61			0	
							\$ 40,270.02				

Skye Ranch Neighborhood 3 Phase 4 Reclaim Water Service Material									
			SS	SL	Counted Onsite 8/4/2023	Still Need	Unit Price	Total Price	Bid Docs Stored
4" x 1" Saddle	34	EA	17	17	5	29	\$ 162.52	\$ 4,713.11	5
6" x 1" Saddle	59	EA	24	35	0	59	\$ 191.45	\$ 11,295.36	0
4" x 2" Saddle	7	EA	5	2	3	4	\$ 206.33	\$ 825.33	3
6" x 2" Saddle	7	EA	5	2	0	7	\$ 240.49	\$ 1,683.42	0
							\$ -		
1" Corp Stop CC x CTS	93	EA	41	52	0	93	\$ 117.65	\$ 10,941.68	31
1" Angle Ball Valve CTS x Meter	93	EA	41	52	0	93	\$ 210.58	\$ 19,583.57	0
1" CTS Tee Pack Joint	40	EA	16	24	0	40	\$ 87.43	\$ 3,497.24	0
1" SS Insert	266	EA	114	152	0	266	\$ 2.79	\$ 743.17	90
Meter Box 11" x 18" x 12" CI	107	EA	51	56	107	0	\$ 196.17	\$ -	15
							\$ -		
2" Corp Stop CC x CTS	14	EA	10	4	0	14	\$ 206.33	\$ 2,888.64	0
2" Angle Ball Valve CTS x Meter	14	EA	10	4	0	14	\$ 503.93	\$ 7,055.08	0
2" SS Insert	38	EA	20	8	0	28	\$ 3.84	\$ 107.52	12
Meter Box 11" x 18" x 12" CI	14	EA	10	4	14	0	\$ 196.17	\$ -	15
							\$ -		
							\$ -		
1" Polytube CTS DR-9 Purple	3475	LF	615	2860	100	3375	\$ 0.77	\$ 2,608.13	2800
2" Polytube CTS DR-9 Purple	370	LF	150	220	50	320	\$ 2.97	\$ 951.11	370
2" PVC SDR-21 Sleeve	200	LF		200	0	200	\$ 2.38	\$ 475.56	0
4" PVC SDR-21 Sleeve	1400	LF		1400	0	1400	\$ 6.16	\$ 8,621.82	0
#10 Copper Trace Wire Purple	3845	LF	765	3080	0	3845	\$ 0.61	\$ 2,331.35	0
5" Detector Tape Water	3845	LF	765	3080	0	3845	\$ 0.06	\$ 228.56	0
							\$ -		
2" x 4" Pine Marker 8" Paint Top	107	EA	51	56	0	107	\$ 10.11	\$ 1,081.29	0
								\$ 79,631.94	
			15' Poly	55' Poly					
			41 x 15'	52 x 55'					

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____
DocuSigned by:
Jamie Kuca
FAD81E182E9E419...

Print Name: Jamie Kuca

Title: PM Land Development

Date: 9/28/2023

DocuSigned by:
John Wollard
9/28/2023
B816F3B5222646F...

CONTRACTOR:

DNA Partners, LLC DBA C&M Road Builders, a Florida limited liability company

By: _____
DocuSigned by:
Adam Robson
1B874DCFEF3D24A5...

Print Name: Adam Robson

Title: owner/CEO

Date: 9/28/2023

PROJECT TM PO#	SKYE RANCH N3 PH.4 14280400-4090	PAYMENT NUMBER:	SIX 23014-06	
PAYMENT REQUEST		FOR PERIOD FROM:	MARCH 1, 2024	TO: MARCH 31, 2024
1. ORIGINAL CONTRACT AMOUNT				1534677.00
2. APPROVED CHANGE ORDERS				353854.93
3. CURRENT ADJUSTED CONTRACT AMOUNT (1 + 2)				1888531.93
4. VALUE OF WORK COMPLETED				1267850.13
5. STORED MATERIALS (THIS INVOICE)				0
5a. STORED MATERIALS (FROM PREVIOUS INVOICES)				0
6. SUB-TOTAL (4 + 5)				1267850.13
7. RETAINAGE (10%)				126785.01
8. PREVIOUS PAYMENTS				1017726.78
9. AMOUNT DUE THIS PERIOD (6-7-8)				123338.34

CERTIFICATION OF CONTRACTOR

The undersigned CONTRACTOR certifies that (1) all previous payments received from OWNER on account of WORK done under the Contract referred to above have been applied to discharge in full all obligations of the CONTRACTOR incurred in connection with Work covered by prior Applications for payment 1 through 14 inclusive; and (2) title to all materials and equipment incorporated in said Work or otherwise listed in or covered by this Application for Payment will pass to OWNER at time of payment free and clear of all liens, claims, security interests and encumbrances (except such as covered by Bond acceptable to OWNER).

Contractor: DNA Partners, LLC dba C&M Road Builders

Date: 3/31/2024

By: 
Adam W Robson

Title: Owner/CEO

Recommended for Payment:

Date: 4/9/2024

Approved for Payment by:

Date:

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT: SKYE RANCH N3 PH.4												
CONTRACTOR: DNA PARTNERS, LLC dba C&M ROAD BUILDERS												
PAY REQ. DATE: MARCH 31, 2024												
PAY REQ. NO. 23014-06												
(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)	
CONTRACT	ITEM	ORIGINAL	CHANGE	CURRENT	UNIT	UNIT	CURRENT	QUANTITY	AMOUNT	QUANTITY	AMOUNT	
NUMBER	DESCRIPTION	CONTRACT	ORDERS	TOTAL	PRICE		CONTRACT	COMPLETED	COMPLETED	COMPLETED	COMPLETED	
							AMOUNT	THIS PERIOD	THIS PERIOD	TO DATE	TO DATE	
<i>EARTHWORK</i>												
1	MOB	1.00			7,200.00	LS	7,200.00		-	0.50	3,600.00	
2	FINAL GRADING	24.00			1,400.00	AC	33,600.00		-	18.00	25,200.00	
3	BEST MGMT	1.00			5,700.00	LS	5,700.00		-	0.50	2,850.00	
4	SILT FENCE (allowance)	5,200.00			2.40	LF	12,480.00		-	4,500.00	10,800.00	
5	STRIP LOTS & ROADS(Golden Dawn, Big Dipper)	9.80			2,550.00	AC	24,990.00		-	9.80	24,990.00	
6	ROUGH GRADE LOTS & ROADS(Snow Fall)	13.20			1,925.00	AC	25,410.00	4.20	8,085.00	13.20	25,410.00	
7	HAUL ONSITE FILL (allowance)	12,800.00			4.45	CYT	56,960.00	4,800.00	21,360.00	12,800.00	56,960.00	
8	PLACE STRIPPINGS IN BERMS IN PHASE 4	1.00			10,000.00	LS	10,000.00	0.25	2,500.00	1.00	10,000.00	
9	BURN ONSITE DEBRI ON SNOWFALL(allowance)	1.00			4,450.00	LS	4,450.00		-	1.00	4,450.00	
10	INLET PROTECTION	9.00			100.00	EA	900.00		-	9.00	900.00	
11	TRACKING DEVICE	3.00			2,500.00	EA	7,500.00		-		-	
XXXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX		
							189,190.00		31,945.00		165,160.00	
XXXXXXXX	(16) CONTRACT TOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX		

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT:		SKYE RANCH N3 PH.4											
CONTRACTOR:		DNA PARTNERS, LLC dba C&M ROAD BUILDERS					PAY REQ.DATE:		MARCH 31, 2024		PAY REQ. NO.		23014-06
(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)		
CONTRACT	ITEM	ORIGINAL	CHANGE	CURRENT	UNIT	UNIT	CURRENT	QUANTITY	AMOUNT	QUANTITY	AMOUNT		
NUMBER	DESCRIPTION	CONTRACT	ORDERS	TOTAL	PRICE		CONTRACT	COMPLETED	COMPLETED	COMPLETED	COMPLETED		
							AMOUNT	THIS PERIOD	THIS PERIOD	TO DATE	TO DATE		
	<u>POTABLE WATER</u>						-		-		-		
	<u>SNOWFALL STREET</u>						-		-		-		
1	8" PVC C-900 WATER(INSTALL ONLY)	1,206.00			21.00	LF	25,326.00		-	1,206.00	25,326.00		
2	4" PVC C-900 WATER(INSTALL ONLY)	500.00			13.00	LF	6,500.00		-	500.00	6,500.00		
3	2" HDPE WATER(INSTALL ONLY)	167.00			8.00	LF	1,336.00		-	167.00	1,336.00		
4	8" GATE VALVE & BOX(NSTALL ONLY)	1.00			400.00	EA	400.00		-	1.00	400.00		
5	4" GATE VALVE & BOX(NSTALL ONLY)	1.00			250.00	EA	250.00		-	1.00	250.00		
6	2" GATE VALVE & BOX(NSTALL ONLY)	1.00			200.00	EA	200.00		-	1.00	200.00		
7	AUTO FLUSHER(INSTALL ONLY)	2.00			2,500.00	EA	5,000.00		-	2.00	5,000.00		
8	1" SINGLE WATER SERVSHORT(INSTALL ONLY)	35.00			200.00	EA	7,000.00		-	35.00	7,000.00		
9	1" SINGLE WATER SERV-LONG(INSTALL ONLY)	24.00			250.00	EA	6,000.00		-	24.00	6,000.00		
10	FIRE HYDRANT ASSBLY(INSTALL ONLY)	1.00			1,000.00	EA	1,000.00		-	1.00	1,000.00		
11	CHLOR-TESTING	1,873.00			3.80	LF	7,117.40		-		-		
12	CONNECT TO EXIST(INSTALL ONLY)	1.00			1,000.00	EA	1,000.00		-		-		
							-		-		-		
	<u>GOLDEN DAWN CT</u>						-		-		-		
13	6" PVC C-900 WATER(INSTALL ONLY)	16.00			15.00	LF	240.00		-	16.00	240.00		
14	4" PVC C-900 WATER(INSTALL ONLY)	330.00			13.00	LF	4,290.00		-	330.00	4,290.00		
15	2" HDPE WATER(INSTALL ONLY)	628.00			8.00	LF	5,024.00		-	628.00	5,024.00		
16	1" SINGLE WATER SERVSHORT(INSTALL ONLY)	9.00			200.00	EA	1,800.00		-	9.00	1,800.00		
17	1" SINGLE WATER SERV-LONG(INSTALL ONLY)	6.00			250.00	EA	1,500.00		-	6.00	1,500.00		
18	CHLOR-TESTING	974.00			3.80	LF	3,701.20		-		-		
19	CONNECT TO EXIST(INSTALL ONLY)	1.00			1,000.00	EA	1,000.00		-		-		
							-		-		-		
							-		-		-		
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							-		-		-		
XXXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX	78,684.60	XXXXXXXX	-	XXXXXXXX	65,866.00		
XXXXXXXX	(16) CONTRACT TOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX			

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT: SKYE RANCH N3 PH.4
 CONTRACTOR: DNA PARTNERS, LLC dba C&M ROAD BUILDERS
 PAY REQ.DATE: MARCH 31, 2024
 PAY REQ. NO. 23014-06

(2) CONTRACT ITEM NUMBER	(3) ITEM DESCRIPTION	(4) ORIGINAL CONTRACT	(5) CHANGE ORDERS	(6) CURRENT TOTAL	(7) UNIT PRICE	(8) UNIT	(9) CURRENT CONTRACT AMOUNT	(10) QUANTITY COMPLETED THIS PERIOD	(11) AMOUNT COMPLETED THIS PERIOD	(12) QUANTITY COMPLETED TO DATE	(13) AMOUNT COMPLETED TO DATE
	<u>POTABLE WATER</u>						-		-		-
	<u>BIG DIPPER</u>						-		-		-
1	6" PVC C-900 WATER(INSTALL ONLY)	924.00			15.00	LF	13,860.00			924.00	13,860.00
2	6" GATE VALVE & BOX(INSTALL ONLY)	1.00			350.00	EA	350.00			1.00	350.00
3	1" SINGLE WATER SERVSHORT(INSTALL ONLY)	8.00			200.00	EA	1,600.00			8.00	1,600.00
4	1" SINGLE WATER SERV-LONG(INSTALL ONLY)	11.00			250.00	EA	2,750.00			11.00	2,750.00
5	FIRE HYDRANT ASSBLY(INSTALL ONLY)	1.00			1,000.00	EA	1,000.00			1.00	1,000.00
6	CHLOR-TESTING	924.00			3.80	LF	3,511.20				-
7	CONNECT TO EXIST(INSTALL ONLY)	1.00			1,000.00	EA	1,000.00				-
							-		-		-
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XXXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX	24,071.20	XXXXXXXX	-	XXXXXXXX	19,560.00
XXXXXXXX	(16) CONTRACT TOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX	

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT:		SKYE RANCH N3 PH.4											
CONTRACTOR:		DNA PARTNERS, LLC dba C&M ROAD BUILDERS					PAY REQ.DATE:		MARCH 31, 2024		PAY REQ. NO.		23014-06
(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)		
CONTRACT ITEM NUMBER	ITEM DESCRIPTION	ORIGINAL CONTRACT	CHANGE ORDERS	CURRENT TOTAL	UNIT PRICE	UNIT	CURRENT CONTRACT AMOUNT	QUANTITY COMPLETED THIS PERIOD	AMOUNT COMPLETED THIS PERIOD	QUANTITY COMPLETED TO DATE	AMOUNT COMPLETED TO DATE		
<u>SANITARY SEWER</u>													
<u>SNOWFALL STREET</u>													
1	8" PVC DR-26 0-6' PIPE INCLUDED	342.00			50.70	LF	17,339.40			342.00	17,339.40		
2	8" PVC DR-26 6-8' PIPE INCLUDED	591.00			61.50	LF	36,346.50			591.00	36,346.50		
3	8" PVC DR-26 8-10' PIPE INCLUDED	669.00			71.00	LF	47,499.00			669.00	47,499.00		
4	SAN. MH 0-6'(INSTALL ONLY)	2.00			625.00	EA	1,250.00			2.00	1,250.00		
5	SAN. MH 6-8'(INSTALL ONLY)	2.00			900.00	EA	1,800.00			2.00	1,800.00		
6	SAN. MH 8-10'(INSTALL ONLY)	1.00			1,150.00	EA	1,150.00			1.00	1,150.00		
7	SINGLE SEWER SERV(INSTALL ONLY)	8.00			200.00	EA	1,600.00			8.00	1,600.00		
8	DOUBLE SEWER SERV(INSTALL ONLY)	21.00			250.00	EA	5,250.00			21.00	5,250.00		
9	TESTING TV	1,602.00			5.00	LF	8,010.00	1,602.00	8,010.00	1,602.00	8,010.00		
10	CONNECT TO EXIST(NO CORE INCLUDED)	1.00			3,200.00	LS	3,200.00			1.00	3,200.00		
<u>GOLDEN DAWN CT</u>													
11	8" PVC DR-26 0-6' (PIPE INCLUDED)	406.00			50.70	LF	20,584.20			406.00	20,584.20		
12	SAN. MH 0-6'(INSTALL ONLY)	1.00			625.00	EA	625.00			1.00	625.00		
13	SINGLE SEWER SERV(INSTALL ONLY)	2.00			200.00	EA	400.00			2.00	400.00		
14	DOUBLE SEWER SERV(INSTALL ONLY)	6.00			250.00	EA	1,500.00			6.00	1,500.00		
15	TESTING TV	406.00			5.00	LF	2,030.00	406.00	2,030.00	406.00	2,030.00		
16	CONNECT TO EXIST(NO CORE INCLUDED)	1.00			3,200.00	LS	3,200.00			1.00	3,200.00		

XXXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX	151,784.10	XXXXXXXX	10,040.00	XXXXXXXX	151,784.10		

XXXXXXXX	(16) CONTRACT TOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX			

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT: SKYE RANCH N3 PH.4
 CONTRACTOR: DNA PARTNERS, LLC dba C&M ROAD BUILDERS PAY REQ. DATE: MARCH 31, 2024 PAY REQ. NO. 23014-06

(2) CONTRACT ITEM NUMBER	(3) ITEM DESCRIPTION	(4) ORIGINAL CONTRACT	(5) CHANGE ORDERS	(6) CURRENT TOTAL	(7) UNIT PRICE	(8) UNIT	(9) CURRENT CONTRACT AMOUNT	(10) QUANTITY COMPLETED THIS PERIOD	(11) AMOUNT COMPLETED THIS PERIOD	(12) QUANTITY COMPLETED TO DATE	(13) AMOUNT COMPLETED TO DATE
<u>SANITARY SEWER</u>							-		-		-
<u>BIG DIPPER</u>							-		-		-
1	8" PVC DR-26 0-6' PIPE INCLUDED	491.00			50.70	LF	24,893.70			491.00	24,893.70
2	8" PVC DR-26 6-8' PIPE INCLUDED	238.00			61.50	LF	14,637.00			238.00	14,637.00
3	SAN. MH 0-6'(INSTALL ONLY)	2.00			625.00	EA	1,250.00			2.00	1,250.00
4	SINGLE SEWER SERV(INSTALL ONLY)	1.00			200.00	EA	200.00			1.00	200.00
5	DOUBLE SEWER SERV(INSTALL ONLY)	9.00			250.00	EA	2,250.00			9.00	2,250.00
6	TESTING TV	729.00			5.00	LF	3,645.00	729.00	3,645.00	729.00	3,645.00
7	CONNECT TO EXIST(NO CORE INCLUDED)	1.00			3,200.00	LS	3,200.00			1.00	3,200.00
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XXXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX	50,075.70	XXXXXXXX	3,645.00	XXXXXXXX	50,075.70
XXXXXXXX	(16) CONTRACT TOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX	

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT:		SKYE RANCH N3 PH.4											
CONTRACTOR:		DNA PARTNERS, LLC dba C&M ROAD BUILDERS					PAY REQ.DATE:		MARCH 31, 2024		PAY REQ. NO.		23014-06
(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)		
CONTRACT	ITEM	ORIGINAL	CHANGE	CURRENT	UNIT	UNIT	CURRENT	QUANTITY	AMOUNT	QUANTITY	AMOUNT		
NUMBER	DESCRIPTION	CONTRACT	ORDERS	TOTAL	PRICE		CONTRACT	COMPLETED	COMPLETED	COMPLETED	COMPLETED		
							AMOUNT	THIS PERIOD	THIS PERIOD	TO DATE	TO DATE		
<u>ROAD CONSTRUCTION</u>													
<u>SNOW FALL STREET</u>													
1	1" TYPE SP-9.5(FIRST LIFT)	4,490.00			10.30	SY	46,247.00						
2	7" CEMENT TREATED BASE 100 LBR	4,490.00			25.50	SY	114,495.00						
3	8" STAB SUB-BASE 40 LBR	5,164.00			9.40	SY	48,541.60	5,164.00	48,541.60	5,164.00	48,541.60		
4	TYPE F CURB	825.00			25.60	LF	21,120.00						
5	2' VALLEY GUTTER	2,919.00			22.30	LF	65,093.70						
6	TYPE A CURB	165.00			21.20	LF	3,498.00						
7	5' CONC WALK	507.00			53.40	SY	27,073.80						
8	8' CONC TRAIL	655.00			61.20	SY	40,086.00						
9	HANDICAP RAMPS W/MAT	4.00			1,700.00	EA	6,800.00						
10	STRIPING TEMP. FOR ALL 3 PHASES	1.00			2,500.00	LS	2,500.00						
11	BAHIA SOD 8' BACK OF CURB	2,390.00			3.85	SY	9,201.50						
<u>GOLDEN DAWN CT</u>													
12	1" TYPE SP-9.5(FIRST LIFT)	1,460.00			10.30	SY	15,038.00						
13	7" CEMENT TREATED BASE 100 LBR	1,460.00			25.50	SY	37,230.00						
14	8" STAB SUB-BASE 40 LBR	1,679.00			9.40	SY	15,782.60	1,679.00	15,782.60	1,679.00	15,782.60		
15	TYPE F CURB	315.00			25.60	LF	8,064.00						
16	2' VALLEY GUTTER	811.00			22.30	LF	18,085.30						
17	TYPE A CURB	166.00			21.20	LF	3,519.20						
18	5' CONC WALK	174.00			53.40	SY	9,291.60						
19	BAHIA SOD 8' BACK OF CURB	721.00			3.85	LS	2,775.85						
XXXXXXXX (15) WORK CATEGORY SUBTOTAL													
XXXXXXXX XXXXXXXXXX XXXXXXXXXX XXXXXXXXXX XXXXXXXXXX XXXX 494,443.15 XXXXXXXXXX 64,324.20 XXXXXXXXXX 64,324.20													
XXXXXXXX (16) CONTRACT TOTAL													
XXXXXXXX XXXXXXXXXX XXXXXXXXXX XXXXXXXXXX XXXXXXXXXX XXXX XXXXXXXXXX XXXXXXXXXX													

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT: SKYE RANCH N3 PH.4

CONTRACTOR: DNA PARTNERS, LLC dba C&M ROAD BUILDERS PAY REQ.DATE: MARCH 31, 2024 PAY REQ. NO. 23014-06

(2) CONTRACT ITEM NUMBER	(3) ITEM DESCRIPTION	(4) ORIGINAL CONTRACT	(5) CHANGE ORDERS	(6) CURRENT TOTAL	(7) UNIT PRICE	(8) UNIT	(9) CURRENT CONTRACT AMOUNT	(10) QUANTITY COMPLETED THIS PERIOD	(11) AMOUNT COMPLETED THIS PERIOD	(12) QUANTITY COMPLETED TO DATE	(13) AMOUNT COMPLETED TO DATE
<u>DRAINAGE ALL INSTALL ONLY</u>											
1	10" HDPE	657.00			14.00	LF	9,198.00		-	657.00	9,198.00
2	12" HDPE	613.00			15.00	LF	9,195.00		-	613.00	9,195.00
3	15" HDPE	671.00			18.00	LF	12,078.00		-	671.00	12,078.00
4	18" HDPE	260.00			19.00	LF	4,940.00		-	260.00	4,940.00
5	24" HDPE	110.00			21.50	LF	2,365.00		-	110.00	2,365.00
6	30" HDPE	109.00			24.00	LF	2,616.00		-	109.00	2,616.00
7	36" HDPE	561.00			26.30	LF	14,754.30		-	561.00	14,754.30
8	15" RCP	60.00			19.00	LF	1,140.00		-	60.00	1,140.00
9	18" RCP	47.00			21.50	LF	1,010.50		-	47.00	1,010.50
10	24" RCP	1,151.00			26.50	LF	30,501.50		-	1,151.00	30,501.50
11	30" RCP	304.00			32.50	LF	9,880.00		-	304.00	9,880.00
12	36" RCP	183.00			35.00	LF	6,405.00		-	183.00	6,405.00
13	42" RCP	243.00			41.50	LF	10,084.50		-	243.00	10,084.50
14	TYPE G C.S	1.00			1,350.00	EA	1,350.00		-	1.00	1,350.00
15	GRATE INLET	7.00			1,125.00	EA	7,875.00		-	7.00	7,875.00
16	TYP 9 INLET	1.00			1,450.00	EA	1,450.00		-	1.00	1,450.00
17	JUNCTION BOX	1.00			1,400.00	EA	1,400.00		-	1.00	1,400.00
18	YARD DRAIN	28.00			380.00	EA	10,640.00		-	28.00	10,640.00
19	VALLEY GUTTER INLET	13.00			1,325.00	EA	17,225.00		-	13.00	17,225.00
20	10" FES	1.00			200.00	EA	200.00		-	1.00	200.00
21	24" FES	4.00			565.00	EA	2,260.00		-	4.00	2,260.00
22	42" FES	1.00			900.00	EA	900.00		-	1.00	900.00
23	4" ROADSIDE UD	3,676.00			23.00	LF	84,548.00		-	3,676.00	84,548.00
24	4" UD	40.00			250.00	EA	10,000.00		-	40.00	10,000.00
XXXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX	252,015.80	XXXXXXXX	-	XXXXXXXX	252,015.80
XXXXXXXX	(16) CONTRACT TOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX	

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT:		SKYE RANCH N3 PH.4											
CONTRACTOR:		DNA PARTNERS, LLC dba C&M ROAD BUILDERS					PAY REQ.DATE:		MARCH 31, 2024		PAY REQ. NO.		23014-06
(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)		
CONTRACT	ITEM	ORIGINAL	CHANGE	CURRENT	UNIT	UNIT	CURRENT	QUANTITY	AMOUNT	QUANTITY	AMOUNT		
NUMBER	DESCRIPTION	CONTRACT	ORDERS	TOTAL	PRICE		CONTRACT	COMPLETED	COMPLETED	COMPLETED	COMPLETED		
							AMOUNT	THIS PERIOD	THIS PERIOD	TO DATE	TO DATE		
	<u>IRRIGATION INSTALL ONLY</u>						-		-		-		
	SNOW FALL						-		-		-		
1	6" PVC C-900 IRRIG	1,976.00			15.00	LF	29,640.00			1,976.00	29,640.00		
2	1" SINGLE SERV SHORT	6.00			180.00	EA	1,080.00			6.00	1,080.00		
3	1" SINGLE SERV LONG	3.00			250.00	EA	750.00			3.00	750.00		
4	1" DOUBLE SERV SHORT	9.00			250.00	EA	2,250.00			9.00	2,250.00		
5	1" DOUBLE SERV LONG	16.00			275.00	EA	4,400.00			16.00	4,400.00		
6	2" COMMON SERV SHORT	5.00			450.00	EA	2,250.00			5.00	2,250.00		
7	2" COMMON SERV LONG	2.00			575.00	EA	1,150.00			2.00	1,150.00		
8	6" GATE VALVE	4.00			350.00	EA	1,400.00			4.00	1,400.00		
9	4" BLOW OFF	1.00			600.00	EA	600.00				-		
10	6" BLOW OFF	1.00			700.00	EA	700.00				-		
11	TESTING	1,976.00			3.25	LF	6,422.00				-		
							-				-		
	GOLDEN DAWN						-				-		
12	4" PVC C-900 IRRIG	423.00			13.00	LF	5,499.00			423.00	5,499.00		
13	1" SINGLE SERV SHORT	2.00			200.00	EA	400.00			2.00	400.00		
14	1" SINGLE SERV LONG	1.00			250.00	EA	250.00			1.00	250.00		
15	1" DOUBLE SERV SHORT	2.00			250.00	EA	500.00			2.00	500.00		
16	1" DOUBLE SERV LONG	4.00			375.00	EA	1,500.00			4.00	1,500.00		
17	2" COMMON SERV SHORT	3.00			475.00	EA	1,425.00			3.00	1,425.00		
18	PERM BLOWOFF	1.00			650.00	EA	650.00				-		
19	TESTING	423.00			3.25	LF	1,374.75				-		
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XXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXX	XXXXXXX	XXXXXXX	XXXXXXX	XXXX	62,240.75	XXXXXXX		XXXXXXX	52,494.00		
XXXXXXX	(16) CONTRACT TOTAL	XXXXXXX	XXXXXXX	XXXXXXX	XXXXXXX	XXXX		XXXXXXX		XXXXXXX			

TAYLOR MORRISON PO# 14280400-4090

CONTRACTOR'S APPLICATION FOR PAYMENT

PROJECT: SKYE RANCH N3 PH.4

CONTRACTOR: DNA PARTNERS, LLC dba C&M ROAD BUILDERS

PAY REQ.DATE: MARCH 31, 2024

PAY REQ. NO. 23014-06

(2) CONTRACT ITEM NUMBER	(3) ITEM DESCRIPTION	(4) ORIGINAL CONTRACT	(5) CHANGE ORDERS	(6) CURRENT TOTAL	(7) UNIT PRICE	(8) UNIT	(9) CURRENT CONTRACT AMOUNT	(10) QUANTITY COMPLETED THIS PERIOD	(11) AMOUNT COMPLETED THIS PERIOD	(12) QUANTITY COMPLETED TO DATE	(13) AMOUNT COMPLETED TO DATE
	<u>IRRIGATION INSTALL ONLY</u>						-		-		-
	BIG DIPPER						-		-		-
1	4" PVC C-900 IRRIG	954.00			13.00	LF	12,402.00			954.00	12,402.00
2	1" SINGLE SERV SHORT	1.00			200.00	EA	200.00			1.00	200.00
3	1" DOUBLE SHORT	5.00			250.00	EA	1,250.00			5.00	1,250.00
4	1" DOUBLE SERV LONG	4.00			375.00	EA	1,500.00			4.00	1,500.00
5	2" COMMON SERV SHORT	2.00			475.00	EA	950.00			2.00	950.00
6	2" COMMON SERV LONG	1.00			575.00	EA	575.00			1.00	575.00
7	4" GATE VALVE	1.00			250.00	EA	250.00			1.00	250.00
8	2 PERM BLOWOFF	1.00			650.00	LF	650.00				-
9	TESTING	954.00			3.25	LF	3,100.50				-
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XXXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX	20,877.50	XXXXXXXX	-	XXXXXXXX	17,127.00
XXXXXXXX	(16) CONTRACT TOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX		XXXXXXXX		XXXXXXXX	

CONTRACTOR'S APPLICATION FOR PAYMENT

TAYLOR MORRISON PO# 14280400-4090

PROJECT: SKYE RANCH N3 PH.4

CONTRACTOR: DNA PARTNERS, LLC dba C&M ROAD BUILDERS PAY REQ.DATE: MARCH 31, 2024 PAY REQ. NO. 23014-06

(2) CONTRACT ITEM NUMBER	(3) ITEM DESCRIPTION	(4) ORIGINAL CONTRACT	(5) CHANGE ORDERS	(6) CURRENT TOTAL	(7) UNIT PRICE	(8) UNIT	(9) CURRENT CONTRACT AMOUNT	(10) QUANTITY COMPLETED THIS PERIOD	(11) AMOUNT COMPLETED THIS PERIOD	(12) QUANTITY COMPLETED TO DATE	(13) AMOUNT COMPLETED TO DATE
	<u>MISCELLANEOUS</u>						-		-		-
1	STAKEOUT	1.00			38,800.00	LS	38,800.00	0.05	1,940.00	0.80	31,040.00
2	AS-BUILTS	1.00			17,600.00	LS	17,600.00	0.05	880.00	0.80	14,080.00
3	GEO TESTING	1.00			12,400.00	LS	12,400.00	0.30	3,720.00	0.80	9,920.00
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4	ADDITIONAL UTILITY MAT'L	co#1	1.00		353,854.93	LS			-		-
4a	SANITARY SEWER		1.00		39,599.52	LS	39,599.52		-	1.00	39,599.52
4b	DOMESTIC WATER		1.00		65,941.77	LS	65,941.77		-	1.00	65,941.77
4c	DOMESTIC WATER SERVICES		1.00		48,277.95	LS	48,277.95		-	1.00	48,277.95
4d	RECLAIM WATER		1.00		40,270.02	LS	40,270.02		-	1.00	40,270.02
4e	RECLAIM WATER SERVICES		1.00		79,631.94	LS	79,631.94		-	1.00	79,631.94
4f	STORM DRAINAGE		1.00		80,133.73	LS	80,133.73		-	1.00	80,133.73
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XXXXXXXX	(15) WORK CATEGORY SUBTOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX	422,654.93	XXXXXXXX	6,540.00	XXXXXXXX	408,894.93
XXXXXXXX	(16) CONTRACT TOTAL	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXXXXXX	XXXX	1,888,531.93	XXXXXXXX	137,042.60	XXXXXXXX	1,267,850.13

AUTHORIZING ADDENDUM # 8- Skye Ranch - 1
TO
MASTER LAND DEVELOPMENT SERVICES AGREEMENT

TAYLOR MORRISON:
TAYLOR MORRISON OF FLORIDA, INC.,
a Florida corporation

CONTRACTOR:
DEME Construction, LLC,
a Florida Limited Liability Company

Job Code: 14280400
Land DEV PO: 14280400-TBD

NOTICE TO PROCEED DATE: 06/07/2023
SUBSTANTIAL COMPLETION DATE: See Exhibit

DESCRIPTION OF WORK:

This Authorizing Addendum to Master Land Development Services Agreement (“**Authorizing Addendum**”) is made and entered into effective as of 7th day of June, 2023 by and between Taylor Morrison of Florida, Inc., a Florida corporation (“**Taylor Morrison**”) and DEME Construction, LLC a Florida Limited Liability Company (“**Contractor**”), with respect to the Master Land Development Services Agreement between Taylor Morrison and Contractor dated November 7th, 2013 (the “**Agreement**”).

1. Scope/Work. Pursuant to the Agreement, Contractor shall perform the Work for the Contract Price and within the time frame set forth on **Exhibit A** attached to this Authorizing Addendum.
2. Site. The Work will be performed at the job site (the “**Site**”), the location of which is identified on **Exhibit B** attached hereto.


Unless otherwise defined herein, all capitalized terms used in this Authorizing Addendum shall have the meanings set forth in the Agreement. This Authorizing Addendum may be executed simultaneously or in counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. In the event of a conflict between the provisions of the Agreement and this Authorizing Addendum, the Agreement shall control except to the extent that the Authorizing Addendum specifically states that a provision is intended to modify the Agreement. Except as supplemented by this Authorizing Addendum, all provisions of the Agreement shall remain in full force and effect.

TAYLOR MORRISON:
TAYLOR MORRISON OF FLORIDA, INC.,
a Florida corporation

CONTRACTOR:
DEME Construction, LLC,
a Florida Limited Liability Company

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By: _____
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By: _____
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Name: Jamie Kuca


Name: Alex Deme

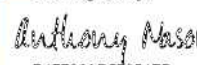
Title: PM Land Development

Title: Vice President

Date: 6/26/2023

Date: 6/22/2023

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6/26/2023

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6/27/2023

**AUTHORIZING ADDENDUM # 8- Skye Ranch - 1
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

**EXHIBIT A
SCOPE/CONTRACT PRICE/SCHEDULE**

Job No.: 14280400
Land DEV PO : 14280400-TBD
 Taylor Morrison's Representative: Jamie Kuca
 Contractor's Representative: Alex Deme

1. **Schedule.** See Exhibit D

2. **Contract Price/Budget.** The Contract Price is as follows: See Exhibit C for Detailed Schedule of Values

Skye Ranch Neighborhood 4 South (Phase 1)	
BID SCHEDULE - REV 00	
Bid Date:	Friday, March 31, 2023
Bid Due Date:	Thursday, April 28, 2022
Bid Plan No., Rev No.	Skye Ranch N4S - REV04
Contractor	Deme Construction
SUMMARY	
Potable Water	\$245,239.30
Wastewater	\$433,585.36
Paving	\$486,675.58
Drainage	\$1,048,462.60
Irrigation	\$190,881.55
Earthwork	\$815,749.65
Survey	\$93,760.00
Geotechnical Testing	\$30,000.00
TOTAL =	\$3,344,354.04
Notes:	
1. It is the responsibility of the contractor to verify all quantities prior to submitting any bids. Any discrepancies shall be noted in the Contractor Quantity Column and calculated into the line item amount.	

3. **Hourly Fee Schedule.** N/A

4. **Additional or Modified Provisions.** NA

5. **Description of Work.** Contractor shall provide the following services for the Project (the "Work"):
 - Earthwork and Underground Utilities – Neighborhood 4 South(Phase I)

WET UTILITIES SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Wet Utilities Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

1. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").
2. Select applicable provision by checking Option 2(A) OR 2(B):

A. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

B. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

3. One mobilization to be included in Agreement. Additional mobilization costs must also be provided.
4. Contractor shall coordinate services of surveying and observation contractors designated by Taylor Morrison;
5. The Contractor shall provide all materials, equipment, and labor necessary to install sewer, water and storm drain improvements as set forth in the Contract Documents. The Work shall include, but is not limited to: trenching, excavating, backfilling and compacting, bacteria, compaction, camera, and pressure testing, furnishing and installing bedding, pipe, fittings, valves, valve boxes and covers, fire hydrants, manholes, plugs, clean-outs, taps, services, meter boxes and lids, and any other necessary appurtenances.
6. Prior to commencing any other work, the Contractor shall expose all existing sewer tie-ins so that the surveyors can verify their locations.
7. Contractor shall install sewer services as follows: Sewer services to be stubbed into property five (5) feet behind the PUE. Sewer taps shall be marked with a 2x4 metal stud. The metal stud shall extend from the sewer tap to 3' above finished grade. Contractor shall paint top twelve (12) inches of metal stud green. The sewer tap should be installed with two 45 degree elbows and extended to within one (1) foot of finished grade. A 3/8" x 12" length of #4 rebar shall be duct taped to end of sewer tap;
8. Contractor shall stub water services up six (6) inches above grade and set to grade after sidewalk installation;

9. If water main valve boxes are located behind sidewalk, Contractor shall adjust them to grade after sidewalk installation;
10. Contractor shall remove any excess or miscellaneous materials from lots prior to receiving final payment;
11. Contractor will return site to +/- .3 ft. of original grade including lots, R.O.W., and P.U.E., and will be confirmed by Taylor Morrison's Designated Representative. Any excess dirt, ABC, or chips remaining after all trenches have been backfilled and compacted shall be spread evenly in the streets. Contractor will be responsible for all testing and coordination with inspectors or government entities. The Contractor will leave all trenches open long enough to allow as-built locations to be verified by the Owner's surveyor.
12. All sewer and water tie-ins that are in existing pavement will be permanently patched back by the sewer and water contractor, per governing municipality/provider requirements.
13. Contractor pricing to include municipality/private provider approved methods for backfill.
14. Contractor will provide all necessary barricades, barricade plans and traffic control plans. Contractor is responsible for city or county acceptance if necessary.
15. Contractor shall include in its bid price the cost for two air pressure and camera tests of the sewer system. One test will be after the sewer has been installed to verify that it has been installed correctly, and one test after the remainder of the underground utilities have been installed to verify that the sewer was not damaged by the installation of other utilities.
16. This proposal is to be based on the use of standard trenching equipment equivalent to a 125,000-pound class excavator with a rock bucket and with a production rate of at least 200 linear feet per an 8-hour working day. All excavation beyond the capability of the said equipment at the said production rate will be considered hard excavation.
17. Bidding Contractors to visit the site and account for any borings that may be necessary for any irrigation crossings.
18. Taylor Morrison' shall be notified by Contractor 48 hours prior to any staking being required;
19. The Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur will become the responsibility of the Contractor to repair if the original survey stakes are missing when any problems are found.
20. All costs associated with maintaining all dust control are included in the Agreement – this includes, but is not limited to, all dust generating activities, haul roads around the site, trenching, machine work, and using provided ingress/egress to and from the site. etc.
21. Contractor must use provided entrances/exits when arriving or leaving site. Any fines/violations incurred for this failure to comply will be paid by contractor. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during operations.
22. Contractor shall supply weekly safety and dust records.

GRADING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Grading Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

23. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").

24. Select applicable provision by checking either Option 2(A) **OR** 2(B):

C. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

D. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

- 25. The Work includes hurricane pump and/or pump/standpipe to fill water pulls and trucks.
- 26. Contractor shall provide earthwork calculations in its bid submittal.
- 27. Contractor shall coordinate its equipment line up with Taylor Morrison.
- 28. Contractor shall notify Taylor Morrison 48 hours prior to any staking or testing being required.
- 29. Contractor shall undercut all basins _____, or per direction of Taylor Morrison.
- 30. Contractor shall undercut all street 0.20' and leave all street subgrade flat (no crown).
- 31. Contractor shall cut all sidewalk areas 3" from top of curb elevation.
- 32. Contractor shall build stepped pads when adjacent pad differential is equal to or greater than 0.25' and rake when less than 0.25'.
- 33. Contractor shall overbuild front yards 5' from BSL on Final Plat and slope to sidewalk grade (do not bench).
- 34. Contractor shall overbuild all property lines 2' to allow for wall footing.
- 35. Contractor shall overbuild all areas with sidewalks a minimum of 18".

- 36. Contractor shall cut all retaining walls back 3' and leave spoils on the upper pad side to allow for backfill of retaining walls.
- 37. Contractor shall cut basins _____ in retention basins with dry wells, or per direction of Taylor Morrison, to make room for dry well spoils.
- 38. Contractor must supply weekly safety report and dust control records.
- 39. Contractor is required to have a Certified Dust Coordinator onsite at all times during operations, without exception.

Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during grading operation
MATERIALS TESTING AND ENGINEER OF RECORD SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Material Testing and Engineer of Record Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

- 40. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").
- 41. Select applicable provision by checking Option 2(A) OR 2(B):

E. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

F. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

Materials Testing-

- 42. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.
- 43. Contractor shall sample and test earthwork for building pads, trench backfill and subgrade beneath paving, curbs, gutters and sidewalks.
- 44. Contractor shall sample and test concrete for curbs, gutters and sidewalks.
- 45. Contractor shall sample and test ABC below asphaltic concrete pavement.

46. Contractor shall sample and test asphaltic concrete materials.

47. Contractor shall sample and test electrical for SRP equipment pads.

Observation-

48. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.

49. Contractor shall observe all earthwork and trenching operations.

50. Contractor shall observe placement of concrete for curbs, gutters and sidewalks.

51. Contractor shall observe placement of asphaltic concrete materials.

Engineer of Record-

52. Contractor shall be the Engineer of Record for ADEQ/MCESD certification and coordinate all activities with Taylor Morrison and the municipal inspector;

53. Engineer of Record shall observe construction of the water and sewer lines, keep paper record of all testing operations, and provide records to Taylor Morrison within 24 hours of testing (including but not limited to water pressure tests, water bacteriological tests, sewer air tests, sewer pressure tests, and mandrel).

54. Engineer of Record shall review the filming of the sewer lines, certify the as-built drawings, and provide the written Approval of Construction documentation to Taylor Morrison for submittal to ADEQ.

Reports-

55. Reports shall be generated in a timely manner and disseminated to Taylor Morrison and its applicable contractors.

56. Weekly field/progress reports shall be submitted to Taylor Morrison.

PAVING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Paving Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

57. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").

58. Select applicable provision by checking either Option 2(A) **OR** 2(B):

G. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

H. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

- 59. Contractor shall clean out all laydown machines and other equipment in designated areas only, as determined by Taylor Morrison's Designated Representative.
- 60. Contractor's Work shall be performed in strict accordance with the Project's Contract Documents.
- 61. Contractor is required to furnish all labor, equipment, and materials to construct the improvements as set forth in the Project's Contract Documents. This work shall include but is not limited to: paving asphalt, subgrade prep, installing and prepping A.B.C., achieving compaction, adjust manholes, valves, and cleanouts, as well as providing and installing: barricades, survey monuments, fire hydrant markers, street sign bases, signage and striping, and temporary and/or permanent barricading.
- 62. Contractor shall re-grade any areas disturbed by the water, sewer, or utility contractors. The cost of this work shall be included in the bid, assuming the grade left by all utility contractors 0.30' from the original rough grade or 0.30' from design grade.
- 63. Contractor shall notify Taylor Morrison's Designated Representative at least 48 hours prior to any staking being required.
- 64. Contractor shall notify Taylor Morrison's Designated Representative at least 24 hours prior to any asphalt being placed for the purpose of coordinating testing.
- 65. Contractor shall be responsible for coordinating with Taylor Morrison's Designated Representative to provide a water truck for flow testing curb and paving, which cost shall be included in Contractor's bid.
- 66. Contractor shall be responsible for manhole adjustments, water and gas valve adjustments, street signs and bases, barricades, fire hydrant markers, striping, monuments, etc.
- 67. Contractors' bid shall include the cost of any removals, saw cuts, etc.
- 68. Contractor's bid shall include the cost of one mobilization. Additional mobilization costs must also be provided.
- 69. All entrances used by Contractor shall be kept clean, either by sweeping or washed with a water truck. Any track out shall be cleaned by Contractor on a daily basis.
- 70. Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur shall become the responsibility of the Contractor to repair, if the original survey stakes are missing when

any problems are found. Any utilities or property pins damaged or removed during Contractor's work shall be repaired or replaced at the Contractor's expense.

- 71. Contractor shall exercise care around all existing improvements. Contractor shall arrange to walk the site with Taylor Morrison's Designated Representative before Contractor starts its work to determine the extent and location of any cracks in the concrete, the cleanliness of the manholes and the condition of water valves, etc. Any cleanup or repair needed for Contractor's pre-paving work shall be done by the Contractor at its own expense before the paving operation begins.
- 72. Contractor shall be responsible for all traffic control including barricades, as required by public authorities and Owner. Contractor shall obtain an approved traffic control plan, if the municipality or County within which the Project is located requires a traffic control plan.
- 73. Normal soil conditions are those outlined in the Soils Report. Any ripping, jack hammering, or blasting that is necessary to perform the work shall be included in Contractor's bid.

CONCRETE SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Concrete Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

- 74. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").

- 75. Select applicable provision by checking either Option 2(A) **OR** 2(B):

I. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to the Project, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

J. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

- 76. Parkway Grading - Proposal shall include backfilling against curb and sidewalk so as to prevent water settlement under concrete (parkway grading) to comply with municipal requirements and MAG specifications. Sidewalk and pavement area to be swept clean after backfilling.
- 77. Contractor to take necessary precautions to prevent debris from getting into manholes. At start and completion of concrete installation, Contractor shall schedule an inspection of manholes with Taylor Morrison Designated Representative and shall be responsible for any cleaning needed at that time

due to Contractor's operations. Contractor to provide laborer to open manhole covers for inspection and replace.

78. Contractor to maintain all water and sewer location markers. Contractor shall walk the Project prior to starting any work to verify grade and identify sewer and water markers (2" x 4" stud). Any marker damaged by the Contractor and/or its subcontractors shall be replaced immediately by the Contractor and to the acceptance of Taylor Morrison. Should Contractor fail to repair damaged markers, Taylor Morrison shall have the damaged markers repaired at Contractor's expense.
79. Contractor shall be responsible for all costs necessary to repair and/or replace water meter boxes damaged or removed by Contractor's operation.
80. Contractor shall notify Taylor Morrison Designated Representative as to the location of any concrete that Governing Authorities require be moved or replaced in order to obtain approvals prior to removing or replacing. Contractor shall also submit a T&M Rate Sheet and provide unit prices for all removal and replacement items.
81. The various types of concrete structure shall be constructed to the dimensions indicated on the plans, standard detail drawing(s), MAG specifications, and all municipal authorities.
82. All valley gutters and aprons are to be poured with 4000 psi (MAG AA) concrete with fiber mesh (***if required by municipality***). Contractor shall be responsible for the coordination and placement of the valley gutters after the asphalt base course ("ABC") has been installed and prior to paving. Paving Contractor shall coordinate schedule for valley gutters directly with Concrete Contractor.
83. Aprons shall be string lined between curb returns prior to placing concrete, to ensure proper flow at the valley gutter.
84. Contractor shall be responsible to comply with any and **all** ADA requirements that apply to sidewalks and ramps.
85. Contractor is responsible for adjustments of all water valves that end up in the concrete.
86. Contractor is responsible for all traffic control associated with this Scope of Work. Contractor is required to coordinate and submit all traffic control plans and obtain all necessary permits, if applicable.
87. All structures (i.e., headwalls, scuppers, catch basins, box culverts, spillways, etc.) are to be a separate line item bid on this Project, if applicable. Bid to include necessary excavation and backfill, as well as any required guardrails and grates. Taylor Morrison reserves the right to reject these bid items.
88. Shotcrete, grouted riprap, or loose laid rip rap are to be a separate line item on this Project, if applicable. Taylor Morrison reserves the right to reject these bid items.
89. All sewer and water services are to be stamped to comply with municipal requirements and MAG specifications. 4" Letters are preferred, "S" for sewer, "W" for water.
90. All connections between headwalls and storm drain pipe to be accomplished by use of Sonotube for flush headwall surface and proper shape of pipe opening.
91. Contractor to include a separate line item bid to upgrade all concrete to 4000 psi.

92. Contractor to include a separate line item bid to mobilize and balance curb, gutter, and sidewalk sub-grade, after dry utility backfill is complete, if necessary.
93. Contractor is required to identify any conflicts, including underground utilities, with the scope of their work prior to starting construction. Contractor shall be responsible for any damage to underground utilities during the scope of their work. All utility plans shall be provided to Contractor by Taylor Morrison, if requested.
94. Contractor is responsible for providing a water truck for water flow test at pre-final and final inspection.
95. Contractor shall instruct its employees to park in designated area(s). Taylor Morrison's Designated Representative shall designate parking and staging area(s).
96. Dust Control Fines: Contractor shall be responsible for its prorated share of any fines levied by the County Attorney's Office, or other applicable Governing Authority. Contractor shall provide water truck and adhere to strict dust control measures.
97. Contractor is responsible to notify Taylor Morrison 48 hours in advance for any staking requests. Contractor may be responsible for coordinating all staking requests with the surveyor.
98. Contractor shall provide costs on mailbox pad specification for 8" thick and verify size and locations with Taylor Morrison's Designated Representative.
99. If landscape plans are provided, Contractor's bid shall include all concrete on landscape plans.
100. All concrete debris shall be cleaned up within 24 hours of completion of the Work.
101. Contractor is responsible for periodic cleanup as needed, with a cleanup scheduled for each Friday at a minimum. The Project shall not be considered substantially complete until all debris from Contractor's operation is removed.
102. Contractor must supply weekly safety report and dust control records.
103. Contractor is required to have a Certified Dust Coordinator onsite at all times during operations, without exception.
104. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during operations.

AUTHORIZING ADDENDUM # 8- Skye Ranch - 1
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES

EXHIBIT B
JOB SITE

Neighborhood 4 South

LT RANCH

Sections 15, 16, 21, 27, 28 & 33, Township 37 South, Range 19 East,
Sarasota County, Florida



AUTHORIZING ADDENDUM # 8- Skye Ranch - 1
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES

Exhibit C
Schedule of Values

POTABLE WATER						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
W-1	8" PVC WM (C900 DR-18)	2,031	2,040	LF	\$ 51.25	\$104,550.00
W-2	4" PVC WM (C900 DR-18)	577	590	LF	\$ 25.62	\$15,115.80
W-3	8" Gate Valve	5	5	EA	\$ 3,010.00	\$15,050.00
W-4	4" Gate Valve	3	3	EA	\$ 1,815.00	\$5,445.00
W-5	Double Service (Short)	8		EA		\$0.00
W-6	Double Service (Long)	10	10	EA	\$ 1,793.65	\$17,936.50
W-7	1" Single Service (Short)	9	26	EA	\$ 886.00	\$23,036.00
W-8	1" Single Service (Long)	14	14	EA	\$ 1,070.00	\$14,980.00
W-9	Temporary Autoflusher	1	2	EA	\$ 2,017.50	\$4,035.00
W-10	Hydrant Assembly	3	4	EA	\$ 7,690.00	\$30,760.00
W-11	Chlorination & Testing	2,608	1	LF	\$ 6,810.00	\$6,810.00
Additional Items						
	Temp 6" Jumper		1	EA	\$ 1,545.00	\$1,545.00
	2" Temp Blow Off		2	EA	\$ 1,160.00	\$2,320.00
	Remove TBO and Connect to Exist 8"		1	EA	\$ 1,015.00	\$1,015.00
	6" PVC SDR 18		95	LF	\$ 27.80	\$2,641.00
					TOTAL	\$245,239.30
Notes:						
1. Fittings are to be included in linear foot price for pipe.						
2. Additional line items determined by the contractor are to be placed below total.						

WASTEWATER						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
WW-1	8" PVC Sanitary Sewer SDR-26 (0-6')	309	386	LF	\$ 38.85	\$14,996.10
WW-2	8" PVC Sanitary Sewer SDR-26 (6-8')	397	366	LF	\$ 48.85	\$17,879.10
WW-3	8" PVC Sanitary Sewer SDR-26 (8-10')	543	568	LF	\$ 49.80	\$28,286.40
WW-4	8" PVC Sanitary Sewer SDR-26 (10-12')	723	659	LF	\$ 57.25	\$37,727.75
WW-5	8" PVC Sanitary Sewer SDR-26 (12-14')	476	467	LF	\$ 62.90	\$29,374.30
WW-6	8" PVC Sanitary Sewer SDR-26 (14-16')	568	546	LF	\$ 93.25	\$50,914.50
WW-7	Manhole 4' Diameter (0-6')	2	3	EA	\$ 7,017.27	\$21,051.81
WW-8	Manhole 4' Diameter (6-8')	3	3	EA	\$ 7,757.97	\$23,273.91
WW-9	Manhole 4' Diameter (8-10')	3	3	EA	\$ 9,396.63	\$28,189.89
WW-10	Manhole 4' Diameter (10-12')	4	3	EA	\$ 10,334.18	\$31,002.54
WW-11	Manhole 4' Diameter (12-14')	2	1	EA	\$ 11,808.45	\$11,808.45
WW-12	Manhole 4' Diameter (14-16')	1	2	EA	\$ 13,037.15	\$26,074.30
WW-13	Single Lateral Service	11	13	EA	\$ 1,050.00	\$13,650.00
WW-14	Double Lateral Service	32	37	EA	\$ 1,480.00	\$54,760.00
WW-15	Testing and Inspection (TV, Mandrel & Air)	3,016	1	LF	\$ 9,050.00	\$9,050.00
Additional Items						
	8" PVC Sanitary Sewer SDR-26 (16-18')		24	LF	\$ 107.00	\$2,568.00
	8" PVC Boot and Connect to Exist Manhole		1	LS	\$ 32,012.89	\$32,012.89
	8" PVC Stub and Plug		2	EA	\$ 482.71	\$965.42
					TOTAL	\$433,585.36
Notes:						
1. Fittings are to be included in linear foot price for pipe.						
2. Additional line items determined by the contractor are to be placed below total.						

PAVING						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
P-1	1" Type SP-9.5 Asphalt 1st Lift	6,407	6,420	SY	\$ 11.25	\$72,225.00
P-2	7" Shell Base (98% Density LBR 100)	6,407		SY		\$0.00
P-3	8" Subgrade (Type B Stabilization LBR 40)	7,368	7,939	SY	\$ 7.23	\$57,398.97
P-4	1st Lift Temp. Striping (Sinage by others)	1		LS		\$0.00
P-5	2' Valley Gutter	3,277	3,245	LF	\$ 18.80	\$61,006.00
P-6	Type F Curb	1,812	1,965	LF	\$ 22.30	\$43,819.50
P-7	4" Concrete Sidewalk (8' wide)	406	12,894	SY	\$ 6.64	\$85,616.16
P-8	4" Concrete Sidewalk (5' wide)	901		SY		\$0.00
P-9	Bahia Sod (8' BOC - Front of Lots Only)	2,780	4,053	SY	\$ 2.80	\$11,348.40
P-10	ADA Handicapped Ramps w/ Detectable Warnings	6	6	EA	\$ 1,315.00	\$7,890.00
Additional Items						
	Temporary Striping		1	LS	\$ 2,500.00	\$2,500.00
	6" Soil Cement		6,420	SY	\$ 18.30	\$117,486.00
	Final Dress		1	LS	\$ 21,784.04	\$21,784.04
	Emergency Access Drive		327	SY	\$ 17.13	\$5,601.51
					TOTAL	\$486,675.58
Notes:						
1. Additional line items determined by the contractor are to be placed below total.						
2. Second Lift Asphalt by others.						
3. Sod BOC Common area by others.						

DRAINAGE						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
D-1	12" HDPE	874	814	LF	\$ 35.25	\$28,693.50
D-2	15" HDPE	520	520	LF	\$ 41.15	\$21,398.00
D-3	18" HDPE	118	118	LF	\$ 49.00	\$5,782.00
D-4	15" RCP	366	386	LF	\$ 53.00	\$20,458.00
D-5	18" RCP	443	443	LF	\$ 64.30	\$28,484.90
D-6	24" RCP	814	458	LF	\$ 88.25	\$40,418.50
D-7	30" RCP	820	810	LF	\$ 148.00	\$119,880.00
D-8	36" RCP	532	532	LF	\$ 188.00	\$100,016.00
D-9	42" RCP	480	480	LF	\$ 240.00	\$115,200.00
D-10	Yard Drain	17	17	EA	\$ 3,830.00	\$65,110.00
D-11	Grate Inlet	6	6	EA	\$ 5,425.00	\$32,550.00
D-12	Valley Gutter Inlet	12	12	EA	\$ 6,810.00	\$81,720.00
D-13	Type "9" Curb Inlet	5	5	EA	\$ 11,718.16	\$58,590.80
D-14	Control Structures	1	1	EA	\$ 11,140.00	\$11,140.00
D-15	Rip Rap Outfall Structures	2	2	EA	\$ 8,755.00	\$17,510.00
D-16	12" Flared End	2	2	EA	\$ 2,510.00	\$5,020.00
D-17	18" Flared End	2	2	EA	\$ 3,770.00	\$7,540.00
D-18	24" Flared End	5	5	EA	\$ 5,275.00	\$26,375.00
D-19	30" Flared End	6	6	EA	\$ 6,415.00	\$38,490.00
D-20	36" Flared End	3	3	EA	\$ 7,280.00	\$21,840.00
D-21	42" Flared End	2	2	EA	\$ 8,085.00	\$16,170.00
D-22	4" Underdrain with cleanout	4,391	4,391	LF	\$ 34.90	\$153,245.90
Additional Items						
	18" Storm Plug		2	EA	\$ 955.00	\$1,910.00
	24" Storm Plug		2	EA	\$ 1,050.00	\$2,100.00
	30" Storm Plug		2	EA	\$ 1,160.00	\$2,320.00
	24" Concrete Collar		2	EA	\$ 785.00	\$1,570.00
	Connect to Exist Pond		1	EA	\$ 5,625.00	\$5,625.00
	Connect to Exist Wetlan		2	EA	\$ 3,750.00	\$7,500.00
	Connect to End of Exist 24" RCP		2	EA	\$ 785.00	\$1,570.00
	Storm Testing		1	LS	\$ 10,235.00	\$10,235.00
					TOTAL	\$1,048,462.60
Notes:						
1. Additional line items determined by the contractor are to be placed below total.						

IRRIGATION						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
I-1	8" PVC Irrigation Main (C900 DR-18)	506	505	LF	\$ 52.94	\$26,734.70
I-2	6" PVC Irrigation Main (C900 DR-18)	1,510	1,510	LF	\$ 36.04	\$54,420.40
I-3	4" PVC Irrigation Main (C900 DR-18)	669	685	LF	\$ 25.17	\$17,241.45
I-4	8" Gate Valve	2	1	EA	\$ 3,045.00	\$3,045.00
I-5	6" Gate Valve	3	3	EA	\$ 2,270.00	\$6,810.00
I-6	4" Gate Valve	3	3	EA	\$ 1,975.00	\$5,925.00
I-7	1" Single service (short)	15	15	EA	\$ 833.00	\$12,495.00
I-8	1" Double service (short)	9	9	EA	\$ 1,830.00	\$16,470.00
I-9	1" Single service (long)	12	12	EA	\$ 1,060.00	\$12,720.00
I-10	1" Double service (long)	6	6	EA	\$ 2,220.00	\$13,320.00
I-11	2" single service (COMMON)short	4	3	EA	\$ 1,395.00	\$4,185.00
I-12	2" Blowoff Assembly	2	2	EA	\$ 4,495.00	\$8,990.00
I-13	Testing and Inspection	2,685	1	LF	\$ 3,375.00	\$3,375.00
Additional Items						
	2" Temp Blow Off Assembly		3	EA	\$ 876.00	\$2,628.00
	2" single service (COMMON)Long		1	EA	\$ 1,895.00	\$1,895.00
	Remove TBO and Connect to Exist		1	EA	\$ 627.00	\$627.00
					TOTAL	\$190,881.55
Notes:						
1. Fittings are to be included in linear foot price for pipe.						
2. Additional line items determined by the contractor are to be placed below total.						

EARTHWORK						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
E-1	Double Row Silt Fence	1,953	1,927	LF	\$ 4.30	\$8,286.10
E-2	Single Row Silt Fence	3,820	3,945	LF	\$ 2.15	\$8,481.75
E-3	Inlet Protection Device	25	77	EA	\$ 188.00	\$14,476.00
E-4	Finish Grading (Lots & ROW)	32.10	1	LS	\$ 21,785.00	\$21,785.00
E-5	Rough Grading (Lots & ROW)	32.10	1	LS	\$ 29,045.00	\$29,045.00
E-6	Seed and Mulch (Lots)	26.0	125,586	SY	\$ 0.45	\$56,513.70
E-7	Bahia Sod (pond slope stabilization TOB-NWL)	10,889	15,675	SY	\$ 2.80	\$43,890.00
E-8	Bahia Sod (6' wide rear yard swales)	2,353		SY		
E-9	NPDES Compliance	1	1	LS	\$ 9,625.00	\$9,625.00
E-10	Pond LL1 Excavation (20' depth)	18,461		CY		\$0.00
E-11	Pond L4 Excavation (20' depth)	81,458	147,505	CY	\$ 3.10	\$457,265.50
E-12	Pond L5 Excavation (15.5' depth)	70,830		CY		\$0.00
E-13	Grading Berms per Berm Plan (3' high)	2,122		LF		\$0.00
E-14	Moilization	1	1	EA	\$ 7,725.00	\$7,725.00
E-15	Construction Entrance	1	1	EA	\$ 5,625.00	\$5,625.00
Additional Items						
	Tree Barricades		240	LF	\$ 6.50	\$1,560.00
	Discing		45.2	AC	\$ 583.00	\$26,351.60
	Clearing		1	LS	\$ 123,500.00	\$123,500.00
	locate existing utilities		1	LS	\$ 1,620.00	\$1,620.00
TOTAL						\$815,749.65
<u>Notes:</u>						
1. Additional line items determined by the contractor are to be placed below total.						
2. Assume berm final grading/shaping by others.						

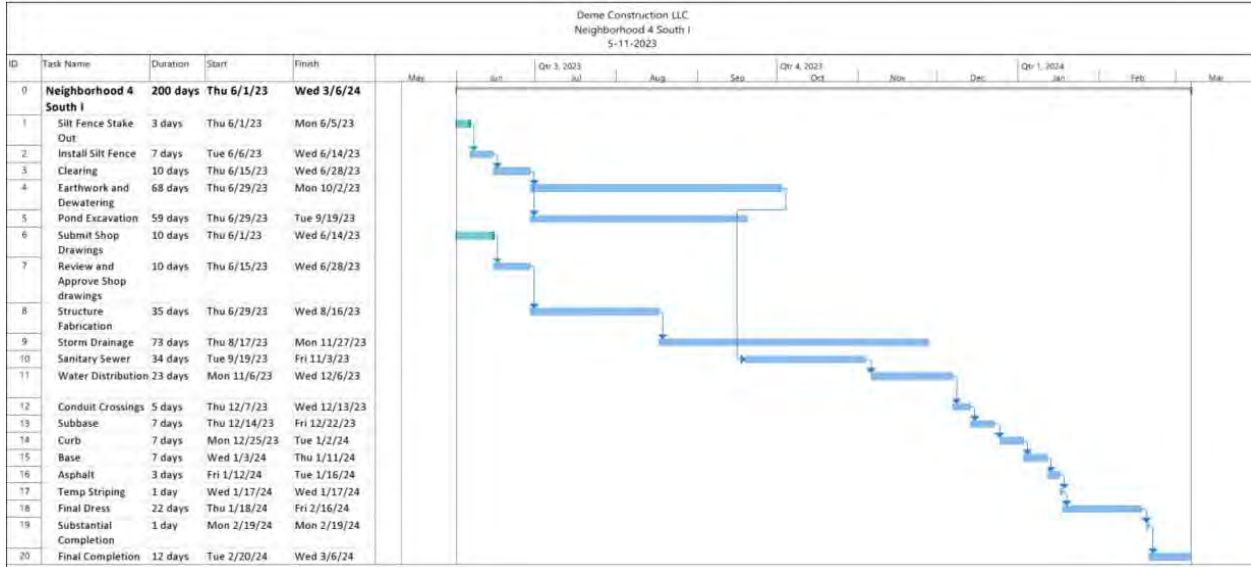
SURVEYING						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
S-1	Construction Stake-out	1		LS	\$ 19,000.00	\$19,000.00
S-2	Record As-built Survey	1	1.0	LS	\$ 74,760.00	\$74,760.00
SURVEYING TOTAL =						\$93,760.00

GEOTECHNICAL TESTING						
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount
Skye Ranch Neighborhood 4S						
G-1	Compaction Testing (Roads & Utilities)	1	1	LS	\$30,000.00	\$30,000.00
GEOTECHNICAL TOTAL =						\$30,000.00

**AUTHORIZING ADDENDUM # 8- Skye Ranch - 1
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

**EXHIBIT D
Schedule**

**** There will be a liquidated delay fee of \$500 per day assessed to the contract for every day past substantial completion and Road open. There will be no delay fee if delay is due to Taylor Morrison.**



TAYLOR MORRISON

**AMENDMENT #1
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #1 (the "Authorizing Addendum Amendment") made and entered into as of August 4, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated June 7, 2023 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated November 7, 2013 the "Agreement") made by and between **DEME CONSTRUCTION, LLC, A Florida Limited Liability Company "Contractor"** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

- 1. **Contract Price/Budget:** Add \$1,724,499.68 to previously authorized amount of \$3,344,354.04

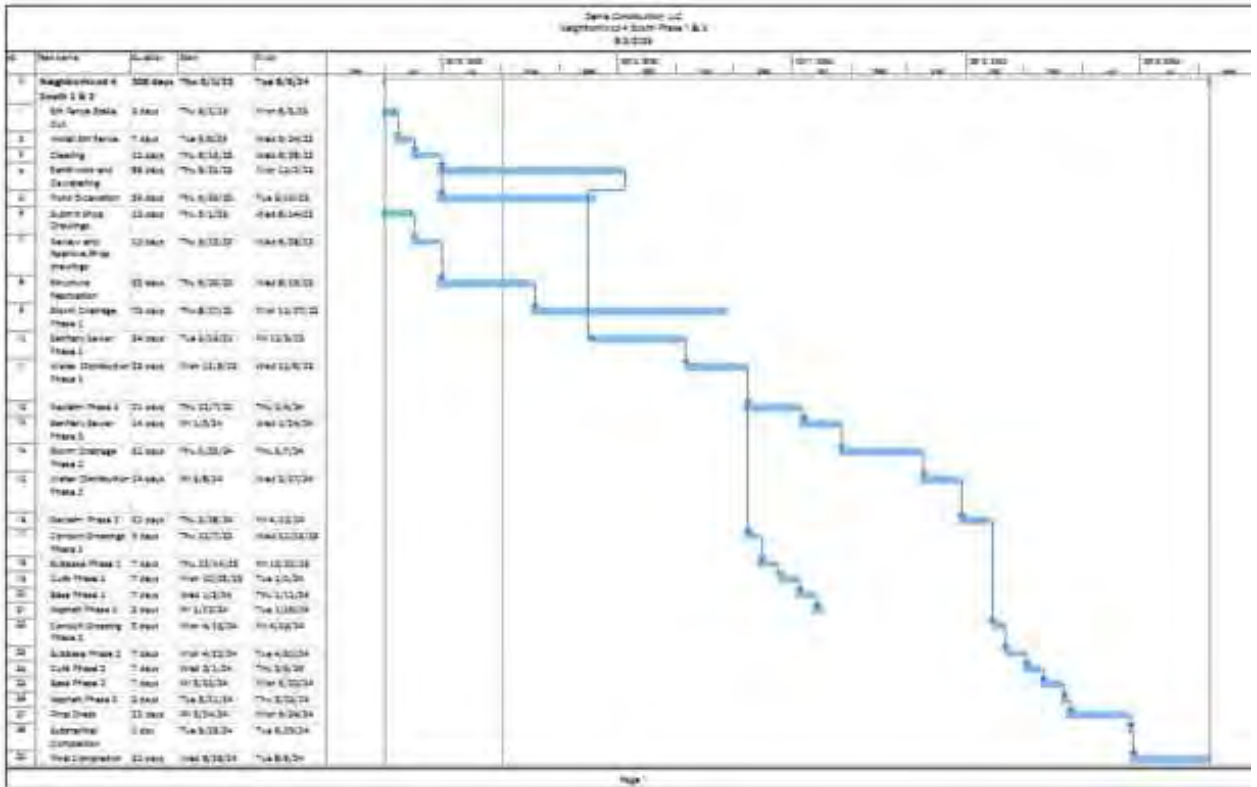
The maximum authorized for the Services under this Authorizing Addendum is \$5,068,853.72 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 8 Skye Ranch 1 (Land DEV Po 14280400-3908)
- Project and Phase Number:
- Cost Code Number:
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** Revised

**** There will be a liquidated delay fee of \$500 per day assessed to the contract for every day past substantial completion and Road open. There will be no delay fee if delay is due to Taylor Morrison.**



3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

a) Scope of Work: Add Phase 2 Utilities and Roadway

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT +/-
Earthwork				
NPDES Compliance	1	LS	\$ 9,625.00	\$ 9,625.00
Inlet Protection	33	EA	\$ 188.00	\$ 6,204.00
Grading	1	LS	\$ 23,720.00	\$ 23,720.00
Geotechnical Testing	1	LS	\$ 30,000.00	\$ 30,000.00
Survey, Stakeout and As-Builts	1	LS	\$ 74,675.00	\$ 74,675.00
Seed & Mulch	N/A	SY	\$ 0.45	IF REQUIRED
Sod	N/A	SY	\$ 2.80	IF REQUIRED
Sanitary Sewer				
8" SDR 26 (0-6' Cut)	792	LF	\$ 38.85	\$ 30,769.20
8" SDR 26 (6'-8' Cut)	262	LF	\$ 48.85	\$ 12,798.70
8" SDR 26 (8'-10' Cut)	705	LF	\$ 49.80	\$ 35,109.00
8" SDR 26 (10'-12' Cut)	247	LF	\$ 57.25	\$ 14,140.75
Sanitary Manhole (0-6' Cut)	5	EA	\$ 7,015.00	\$ 35,075.00
Sanitary Manhole (6'-10' Cut)	3	EA	\$ 9,395.00	\$ 28,185.00
Sanitary System Testing	1	LS	\$ 3,475.50	\$ 3,475.50
Sanitary Air Testing	1	LS	\$ 2,482.50	\$ 2,482.50
Single Service Connection	7	EA	\$ 1,050.00	\$ 7,350.00
Double Service Connection	18	EA	\$ 1,480.00	\$ 26,640.00

Storm				
Underdrain Cleanout Assembly	30	EA	\$ 403.00	\$ 12,090.00
4" ADS Underdrain	3,000	LF	\$ 32.90	\$ 98,700.00
12" ADS	418	LF	\$ 35.25	\$ 14,734.50
15" ADS	754	LF	\$ 41.15	\$ 31,027.10
18" ADS	536	LF	\$ 49.00	\$ 26,264.00
15" RCP	236	LF	\$ 53.00	\$ 12,508.00
18" RCP	350	LF	\$ 64.30	\$ 22,505.00
24" RCP	484	LF	\$ 88.25	\$ 42,713.00
30" RCP	808	LF	\$ 148.00	\$ 119,584.00
Type 9 Curb Inlet	2	EA	\$ 11,720.00	\$ 23,440.00
Grate Inlet	3	EA	\$ 5,425.00	\$ 16,275.00
Valley Gutter Inlet	8	EA	\$ 6,810.00	\$ 54,480.00
Yard Drain	20	EA	\$ 3,830.00	\$ 76,600.00
Storm System Testing	1	LS	\$ 7,844.38	\$ 7,844.38
Water				
6" DR-18	590	LF	\$ 27.80	\$ 16,402.00
8" DR-18	1,398	LF	\$ 40.20	\$ 56,119.20
6" Gate Valve	1	EA	\$ 2,109.71	\$ 2,109.71
8" Gate Valve	5	EA	\$ 3,010.00	\$ 15,050.00
8" x 6" MJ Tee	2	EA	\$ 695.00	\$ 1,390.00
8" -45° MJ Bend	4	EA	\$ 525.00	\$ 2,100.00

8" -22 1/2" MJ Bend	3	EA	\$ 521.00	\$ 1,563.00
6" Cap / TBO	2	EA	\$ 1,584.64	\$ 3,169.28
Fire Hydrant Assembly	2	EA	\$ 7,690.00	\$ 15,380.00
Permanent Blow-off Assembly	1	EA	\$ 4,495.86	\$ 4,495.86
Chlorine Injection Point	1	EA	\$ 855.00	\$ 855.00
Temporary 6" Jumper	1	EA	\$ 8,420.00	\$ 8,420.00
Restrained Joints	1	LS	\$ 7,958.65	\$ 7,958.65
Pressure Test	1	LS	\$ 2,482.50	\$ 2,482.50
Chlorination	1	LS	\$ 2,482.50	\$ 2,482.50
Remove TBO & Connect to Existing 8" WM	1	EA	\$ 1,013.46	\$ 1,013.46
Remove TBO & Connect to Existing 8" WM	1	EA	\$ 1,015.00	\$ 1,015.00
Remove Auto-flusher & Connect to Existing 6" WM	1	EA	\$ 1,013.46	\$ 1,013.46
Single Short Water Service	28	EA	\$ 866.00	\$ 24,808.00
Single Long Water Service	3	EA	\$ 1,070.00	\$ 3,210.00
Double Short Water Service	N/A	EA	\$ -	N/A
Double Long Water Service	5	EA	\$ 1,795.00	\$ 8,975.00
Reclaim				
4" DR-18	466	LF	\$ 18.90	\$ 8,807.40
6" DR-18	30	LF	\$ 27.80	\$ 834.00
8" DR-18	1,404	LF	\$ 40.20	\$ 56,440.80
4" Gate Valve	1	EA	\$ 1,975.00	\$ 1,975.00
6" Gate Valve	2	EA	\$ 2,270.00	\$ 4,540.00
8" Gate Valve	7	EA	\$ 3,045.00	\$ 21,315.00
8" x 6" MJ Tee	2	EA	\$ 695.00	\$ 1,390.00
8" x 4" MJ Tee	2	EA	\$ 643.85	\$ 1,287.72
4" -45" MJ Bend	2	EA	\$ 411.00	\$ 822.00
8" -45" MJ Bend	13	EA	\$ 525.00	\$ 6,825.00
8" -11 1/4" MJ Bend	2	EA	\$ 504.76	\$ 1,009.52
4" Cap / TBO	2	EA	\$ 659.21	\$ 1,318.42
Permanent Blow-off Assembly	3	EA	\$ 4,495.86	\$ 13,487.58
Restrained Joints	1	LS	\$ 6,363.49	\$ 6,363.49
Pressure Test	1	LS	\$ 2,375.00	\$ 2,375.00
Remove TBO & Connect to Existing 4" RCM	2	EA	\$ 579.89	\$ 1,159.78
Remove TBO & Connect to Existing 8" RCM	1	EA	\$ 626.70	\$ 626.70
Single Short Reclaim Service	3	EA	\$ 833.00	\$ 2,499.00
Single Long Reclaim Service	5	EA	\$ 1,060.00	\$ 5,300.00
Double Short Reclaim Service	6	EA	\$ 1,830.00	\$ 10,980.00
Double Long Reclaim Service	12	EA	\$ 2,220.00	\$ 26,640.00

Roadways				
1" SP-9.5 Asphalt (1st Lift)	6,904	SY	\$ 11.25	\$ 77,670.00
6" Soil Cement	6,904	SY	\$ 18.30	\$ 126,343.20
8" Stabilized Subbase LBR 40	8,552	SY	\$ 7.25	\$ 62,002.00
4" Thick Concrete Sidewalk Non-Reinforced	10,678	SF	\$ 6.64	\$ 70,901.92
ADA Handicap Ramps w/ Detectable Mats	4	EA	\$ 1,315.00	\$ 5,260.00
F Curb	1,227	LF	\$ 22.30	\$ 27,362.10
Valley Gutter Curb	3,390	LF	\$ 18.80	\$ 63,732.00
Final Dress	1	LS	\$ 23,950.00	\$ 23,950.00
7' BOC Bahia Sod	3,591	SY	\$ 2.80	\$ 10,054.80
Temporary Striping	1	LS	\$ 2,200.00	\$ 2,200.00
			TOTAL CO	\$ 1,724,499.68

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

DocuSigned by:
Jamie Kuca
FAD81E182E9E419...

By: _____

Print Name: Jamie Kuca

Title: PM Land Development

Date: 8/16/2023

CONTRACTOR:

DEME CONSTRUCTION, LLC, A Florida Limited Liability Company

DocuSigned by:
Alex Deme
CDB8F5CD8DC8443...

By: _____

Print Name: Alex Deme

Title: vice President

Date: 8/15/2023

DocuSigned by:
John Willard
B916F385222846F...

8/16/2023

TO OWNER: Taylor Morrison of Florida, Inc.
FROM CONTRACTOR: Deme Construction LLC
CONTRACT FOR:
PROJECT: Skye Ranch Neighborhood 4 South (Phase 1)
Contract Number: 23-008
VIA ENGINEER: Waldrop Engineering

APPLICATION NO: 23008-11
PERIOD TO: 3/16/24 - 4/15/24 COST CODE:
PROJECT NO: 14280400-3908 OWNER JOB #:
SUBCONTRACT #:
CONTRACT DATE: 6/7/2023
INVOICE DATE: 4/15/2024

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract.
Continuation Sheet is attached.

1. ORIGINAL CONTRACT SUM	\$	3,344,354.04
2. NET CHANGE BY CHANGE ORDERS	\$	1,724,499.68
3. CONTRACT SUM TO DATE (LINE 1 ± 2)	\$	5,068,853.72
4. TOTAL COMPLETED & STORED TO DATE (COLUMN H ON CONTINUATION SHEET)	\$	5,068,853.72
5. RETAINAGE:		
a. 10 % of Completed Work	\$	506,885.37
(Columns E plus F on Continuation Sheet)		
b. % of Stored Material	\$	
(Column G on Continuation Sheet)		
Total Retainage (Line 5a plus 5b or Total in Column J on Continuation Sheet)	\$	506,885.37
6. TOTAL EARNED LESS RETAINAGE (Line 4 minus Line 5 Total)	\$	4,561,968.35
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate)	\$	4,338,541.18
8. CURRENT PAYMENT DUE	\$	223,427.17
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 minus Line 6)	\$	506,885.37

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: [Signature] Date: 04/15/24

State of Florida
County of Manatee
Subscribed and sworn to before me this Monday, April 15, 2024



Notary Public
Printed Name of Notary: Lisa Antos
Commission Number: HH480379
My Commission expires: 4/6/2028

ENGINEER'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Engineer certifies to the Owner that to the best of the Engineer's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the amount certified.

AMOUNT CERTIFIED \$ 223,427.17

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ENGINEER: [Signature] Date: 04/22/2024

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Insurance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	\$ 1,724,499.68	\$
Total approved this Month	\$	\$
TOTALS	\$ 1,724,499.68	\$
NET CHANGES by Change Order		\$ 1,724,499.68

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Potable Water									
1	8" PVC WM (C900 DR-18)	2,040.0	LF	\$ 51.25	\$ 104,550.00		2,040.00	\$ -	\$ 104,550.00
2	6" PVC WM (C900 DR-18)	95.0	LF	\$ 27.80	\$ 2,641.00		95.00	\$ -	\$ 2,641.00
3	4" PVC WM (C900 DR-18)	590.0	LF	\$ 25.62	\$ 15,115.80		590.00	\$ -	\$ 15,115.80
4	8" Gate Valve	5.0	EA	\$ 3,010.00	\$ 15,050.00		5.00	\$ -	\$ 15,050.00
5	4" Gate Valve	3.0	EA	\$ 1,815.00	\$ 5,445.00		3.00	\$ -	\$ 5,445.00
5	Double Service (Short)		EA	N/A	N/A			N/A	N/A
6	Double Service (Long)	10.0	EA	\$ 1,793.65	\$ 17,936.50		10.00	\$ -	\$ 17,936.50
7	1" Single Service (Short)	26.0	EA	\$ 886.00	\$ 23,036.00		26.00	\$ -	\$ 23,036.00
8	1" Single Service (Long)	14.0	EA	\$ 1,070.00	\$ 14,980.00		14.00	\$ -	\$ 14,980.00
9	Temporary Autoflusher	2.0	EA	\$ 2,017.50	\$ 4,035.00		2.00	\$ -	\$ 4,035.00
10	Hydrant Assembly	4.0	EA	\$ 7,690.00	\$ 30,760.00		4.00	\$ -	\$ 30,760.00
11	Chlorination and Testing	1.0	LS	\$ 6,810.00	\$ 6,810.00		1.00	\$ -	\$ 6,810.00
12	Temporary 6" Jumper	1.0	EA	\$ 1,545.00	\$ 1,545.00		1.00	\$ -	\$ 1,545.00
13	2" Temporary Blow-off	2.0	EA	\$ 1,160.00	\$ 2,320.00		2.00	\$ -	\$ 2,320.00
14	Remove TBO and Connect to End of Existing 8" WM	1.0	EA	\$ 1,015.00	\$ 1,015.00		1.00	\$ -	\$ 1,015.00
Subtotal					\$ 245,239.30			\$ -	\$ 245,239.30
TOTAL PAGE:					\$ 245,239.30			\$ -	\$ 245,239.30

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Wastewater									
1	8" PVC Sanitary Sewer SDR 26 (0-6')	386.0	LF	\$ 38.85	\$ 14,996.10		386.00	\$ -	\$ 14,996.10
2	8" PVC Sanitary Sewer SDR 26 (6'-8')	366.0	LF	\$ 48.85	\$ 17,879.10		366.00	\$ -	\$ 17,879.10
3	8" PVC Sanitary Sewer SDR 26 (8'-10')	568.0	LF	\$ 49.80	\$ 28,286.40		568.00	\$ -	\$ 28,286.40
4	8" PVC Sanitary Sewer SDR 26 (10'-12')	659.0	LF	\$ 57.25	\$ 37,727.75		659.00	\$ -	\$ 37,727.75
5	8" PVC Sanitary Sewer SDR 26 (12'-14')	467.0	LF	\$ 62.90	\$ 29,374.30		467.00	\$ -	\$ 29,374.30
6	8" PVC Sanitary Sewer SDR 26 (14'-16')	546.0	LF	\$ 93.25	\$ 50,914.50		546.00	\$ -	\$ 50,914.50
7	8" PVC Sanitary Sewer SDR 26 (16'-18')	24.0	LF	\$ 107.00	\$ 2,568.00		24.00	\$ -	\$ 2,568.00
8	Manhole 4' Diameter (0-6')	3.0	EA	\$ 7,017.27	\$ 21,051.81		3.00	\$ -	\$ 21,051.81
9	Manhole 4' Diameter (6'-8')	3.0	EA	\$ 7,757.97	\$ 23,273.91		3.00	\$ -	\$ 23,273.91
10	Manhole 4' Diameter (8'-10')	3.0	EA	\$ 9,396.63	\$ 28,189.89		3.00	\$ -	\$ 28,189.89
11	Manhole 4' Diameter (10'-12')	3.0	EA	\$ 10,334.18	\$ 31,002.54		3.00	\$ -	\$ 31,002.54
12	Manhole 4' Diameter (12'-14')	1.0	EA	\$ 11,808.45	\$ 11,808.45		1.00	\$ -	\$ 11,808.45
13	Manhole 4' Diameter (14'-16')	2.0	EA	\$ 13,037.15	\$ 26,074.30		2.00	\$ -	\$ 26,074.30
14	Single Lateral Service	13.0	EA	\$ 1,050.00	\$ 13,650.00		13.00	\$ -	\$ 13,650.00
15	Double Lateral Service	37.0	EA	\$ 1,480.00	\$ 54,760.00		37.00	\$ -	\$ 54,760.00
16	Testing and Inspection (TV, Mandrel & Air)	1.0	LS	\$ 9,050.00	\$ 9,050.00	0.50	1.00	\$ 4,525.00	\$ 9,050.00
17	8" PVC Boot and Connect to Existing Manhole	1.0	LS	\$ 32,012.89	\$ 32,012.89		1.00	\$ -	\$ 32,012.89
18	8" PVC Stub and Plug	2.0	EA	\$ 482.71	\$ 965.42		2.00	\$ -	\$ 965.42
Subtotal					\$ 433,585.36			\$ 4,525.00	\$ 433,585.36
TOTAL PAGE:					\$ 433,585.36			\$ 4,525.00	\$ 433,585.36

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Paving									
1	1" Type SP-9.5 Asphalt 1st Lift	6,420.0	SY	\$ 11.25	\$ 72,225.00		6,420.00	\$ -	\$ 72,225.00
2	7" Shell Base (98% Density LBR 100)		SY	N/A	N/A			N/A	N/A
3	8" Subgrade (Type B Stabilization LBR 40)	7,939.0	SY	\$ 7.23	\$ 57,398.97		7,939.00	\$ -	\$ 57,398.97
4	1st Lift Temporary Striping (Signage By Others)		LS	N/A	N/A			N/A	N/A
5	2' Valley Gutter	3,245.0	LF	\$ 18.80	\$ 61,006.00		3,245.00	\$ -	\$ 61,006.00
6	Type F Curb	1,965.0	LF	\$ 22.30	\$ 43,819.50		1,965.00	\$ -	\$ 43,819.50
7	4" Concrete Sidewalk (8' Wide)	12,894.0	SF	\$ 6.64	\$ 85,616.16	12,894.00	12,894.00	\$ 85,616.16	\$ 85,616.16
8	4" Concrete Sidewalk (5' Wide)		SF	N/A	N/A			N/A	N/A
9	Bahia Sod (8' BOC - Front Lots Only)	4,053.0	SY	\$ 2.80	\$ 11,348.40	4,053.00	4,053.00	\$ 11,348.40	\$ 11,348.40
10	ADA Handicapped Ramps w/ Detectable Warnings	6.0	EA	\$ 1,315.00	\$ 7,890.00	6.00	6.00	\$ 7,890.00	\$ 7,890.00
11	Temporary Striping	1.0	LS	\$ 2,500.00	\$ 2,500.00		1.00	\$ -	\$ 2,500.00
12	6" Soil Cement	6,420.0	SY	\$ 18.30	\$ 117,486.00		6,420.00	\$ -	\$ 117,486.00
13	Final Dress	1.0	LS	\$ 21,784.04	\$ 21,784.04	0.60	1.00	\$ 13,070.42	\$ 21,784.04
14	Emergency Access Drive	327.0	SY	\$ 17.13	\$ 5,601.51	327.00	327.00	\$ 5,601.51	\$ 5,601.51
Subtotal					\$ 486,675.58			\$ 123,526.49	\$ 486,675.58
TOTAL PAGE:					\$ 486,675.58			\$ 123,526.49	\$ 486,675.58

DEME CONSTRUCTION, LLC

3301 Whilfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Drainage									
1	12" HPDE	814.0	LF	\$ 35.25	\$ 28,693.50		814.00	\$ -	\$ 28,693.50
2	15" HPDE	520.0	LF	\$ 41.15	\$ 21,398.00		520.00	\$ -	\$ 21,398.00
3	18" HDPE	118.0	LF	\$ 49.00	\$ 5,782.00		118.00	\$ -	\$ 5,782.00
4	15" RCP	386.0	LF	\$ 53.00	\$ 20,458.00		386.00	\$ -	\$ 20,458.00
5	18" RCP	443.0	LF	\$ 64.30	\$ 28,484.90		443.00	\$ -	\$ 28,484.90
6	24" RCP	458.0	LF	\$ 88.25	\$ 40,418.50		458.00	\$ -	\$ 40,418.50
7	30" RCP	810.0	LF	\$ 148.00	\$ 119,880.00		810.00	\$ -	\$ 119,880.00
8	36" RCP	532.0	LF	\$ 188.00	\$ 100,016.00		532.00	\$ -	\$ 100,016.00
9	42" RCP	480.0	LF	\$ 240.00	\$ 115,200.00		480.00	\$ -	\$ 115,200.00
10	Yard Drain	17.0	EA	\$ 3,830.00	\$ 65,110.00		17.00	\$ -	\$ 65,110.00
11	Grate Inlet	6.0	EA	\$ 5,425.00	\$ 32,550.00		6.00	\$ -	\$ 32,550.00
12	Valley Gutter Inlet	12.0	EA	\$ 6,810.00	\$ 81,720.00		12.00	\$ -	\$ 81,720.00
13	Type "9" Curb Inlet	5.0	EA	\$ 11,718.16	\$ 58,590.80		5.00	\$ -	\$ 58,590.80
14	Control Structures	1.0	EA	\$ 11,140.00	\$ 11,140.00	0.10	1.00	\$ 1,114.00	\$ 11,140.00
15	Rip Rap Outfall Structures	2.0	EA	\$ 8,755.00	\$ 17,510.00		2.00	\$ -	\$ 17,510.00
16	12" Flared End	2.0	EA	\$ 2,510.00	\$ 5,020.00		2.00	\$ -	\$ 5,020.00
17	18" Flared End	2.0	EA	\$ 3,770.00	\$ 7,540.00		2.00	\$ -	\$ 7,540.00
18	24" Flared End	5.0	EA	\$ 5,275.00	\$ 26,375.00		5.00	\$ -	\$ 26,375.00
19	30" Flared End	6.0	EA	\$ 6,415.00	\$ 38,490.00		6.00	\$ -	\$ 38,490.00
20	36" Flared End	3.0	EA	\$ 7,280.00	\$ 21,840.00		3.00	\$ -	\$ 21,840.00
21	42" Flared End	2.0	EA	\$ 8,085.00	\$ 16,170.00		2.00	\$ -	\$ 16,170.00
22	4" Underdrain with Cleanout	4,391.0	LF	\$ 34.90	\$ 153,245.90		4,391.00	\$ -	\$ 153,245.90
23	18" Storm Plug	2.0	EA	\$ 955.00	\$ 1,910.00		2.00	\$ -	\$ 1,910.00
24	24" Storm Plug	2.0	EA	\$ 1,050.00	\$ 2,100.00		2.00	\$ -	\$ 2,100.00
25	30" Storm Plug	2.0	EA	\$ 1,160.00	\$ 2,320.00		2.00	\$ -	\$ 2,320.00
26	24" Concrete Collar	2.0	EA	\$ 785.00	\$ 1,570.00		2.00	\$ -	\$ 1,570.00
27	Connect to Existing Pond	1.0	EA	\$ 5,625.00	\$ 5,625.00		1.00	\$ -	\$ 5,625.00
28	Connect to Existing Wetland	2.0	EA	\$ 3,750.00	\$ 7,500.00		2.00	\$ -	\$ 7,500.00
29	RCP	2.0	EA	\$ 785.00	\$ 1,570.00		2.00	\$ -	\$ 1,570.00
30	Storm Testing	1.0	LS	\$ 10,235.00	\$ 10,235.00		1.00	\$ -	\$ 10,235.00
Subtotal					\$ 1,048,462.60			\$ 1,114.00	\$ 1,048,462.60
TOTAL PAGE:					\$ 1,048,462.60			\$ 1,114.00	\$ 1,048,462.60

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Irrigation									
1	8" PVC Irrigation Main (C900 DR-18)	505.0	LF	\$ 52.94	\$ 26,734.70		505.00	\$ -	\$ 26,734.70
2	6" PVC Irrigation Main (C900 DR-18)	1,510.0	LF	\$ 36.04	\$ 54,420.40		1,510.00	\$ -	\$ 54,420.40
3	4" PVC Irrigation Main (C900 DR-18)	685.0	LF	\$ 25.17	\$ 17,241.45		685.00	\$ -	\$ 17,241.45
4	8" Gate Valve	1.0	EA	\$ 3,045.00	\$ 3,045.00		1.00	\$ -	\$ 3,045.00
5	6" Gate Valve	3.0	EA	\$ 2,270.00	\$ 6,810.00		3.00	\$ -	\$ 6,810.00
6	4" Gate Valve	3.0	EA	\$ 1,975.00	\$ 5,925.00		3.00	\$ -	\$ 5,925.00
7	1" Single Service (Short)	15.0	EA	\$ 833.00	\$ 12,495.00		15.00	\$ -	\$ 12,495.00
8	1" Double Service (Short)	9.0	EA	\$ 1,830.00	\$ 16,470.00		9.00	\$ -	\$ 16,470.00
9	1" Single Service (Long)	12.0	EA	\$ 1,060.00	\$ 12,720.00		12.00	\$ -	\$ 12,720.00
10	1" Double Service (Long)	6.0	EA	\$ 2,220.00	\$ 13,320.00		6.00	\$ -	\$ 13,320.00
11	(Short)	3.0	EA	\$ 1,395.00	\$ 4,185.00		3.00	\$ -	\$ 4,185.00
12	(Long)	1.0	EA	\$ 1,895.00	\$ 1,895.00		1.00	\$ -	\$ 1,895.00
13	2" Blow-off Assembly	2.0	EA	\$ 4,495.00	\$ 8,990.00		2.00	\$ -	\$ 8,990.00
14	Testing and Inspection	1.0	LS	\$ 3,375.00	\$ 3,375.00		1.00	\$ -	\$ 3,375.00
15	2" Temporary Blow-off Assembly	3.0	EA	\$ 876.00	\$ 2,628.00		3.00	\$ -	\$ 2,628.00
16	Remove TBO and Connect to Existing	1.0	EA	\$ 627.00	\$ 627.00		1.00	\$ -	\$ 627.00
Subtotal					\$ 190,881.55			\$ -	\$ 190,881.55
TOTAL PAGE:					\$ 190,881.55			\$ -	\$ 190,881.55

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Earthwork									
1	Double Row Silt Fence	1,927.0	LF	\$ 4.30	\$ 8,286.10		1,927.00	\$ -	\$ 8,286.10
2	Single Row Silt Fence	3,945.0	LF	\$ 2.15	\$ 8,481.75		3,945.00	\$ -	\$ 8,481.75
3	Inlet Protection Device	77.0	EA	\$ 188.00	\$ 14,476.00		77.00	\$ -	\$ 14,476.00
4	Finish Grading (Lots & ROW)	1.0	LS	\$ 21,785.00	\$ 21,785.00	0.05	1.00	\$ 1,089.25	\$ 21,785.00
5	Rough Grading (Lots & ROW)	1.0	LS	\$ 29,045.00	\$ 29,045.00		1.00	\$ -	\$ 29,045.00
6	Seed and Mulch (Lots)	125,586.0	SY	\$ 0.45	\$ 56,513.70	5,586.00	125,586.00	\$ 2,513.70	\$ 56,513.70
7	Bahia Sod (Pond Slope Stabilization TOB-NWL)	15,675.0	SY	\$ 2.80	\$ 43,890.00		15,675.00	\$ -	\$ 43,890.00
8	Bahia Sod (6' Wide Rear Yard Swales)		SY	N/A	N/A			N/A	N/A
9	NPDES Compliance	1.0	LS	\$ 9,625.00	\$ 9,625.00		1.00	\$ -	\$ 9,625.00
10	Pond LL1 Excavation (20' Depth)		CY	N/A	N/A			N/A	N/A
11	Pond L4 Excavation (20' Depth)	147,505.0	CY	\$ 3.10	\$ 457,265.50		147,505.00	\$ -	\$ 457,265.50
12	Pond L5 Excavation (15.5' Depth)		CY	N/A	N/A			N/A	N/A
13	Grading Berms per Berm Plan (3' High)		LF	N/A	N/A			N/A	N/A
14	Mobilization	1.0	EA	\$ 7,725.00	\$ 7,725.00		1.00	\$ -	\$ 7,725.00
15	Construction Entrance	1.0	EA	\$ 5,625.00	\$ 5,625.00		1.00	\$ -	\$ 5,625.00
16	Tree Barricades	240.0	LF	\$ 6.50	\$ 1,560.00		240.00	\$ -	\$ 1,560.00
17	Discing	45.2	AC	\$ 583.00	\$ 26,351.60		45.20	\$ -	\$ 26,351.60
18	Clearing	1.0	LS	\$ 123,500.00	\$ 123,500.00		1.00	\$ -	\$ 123,500.00
19	Locate Existing Utilities	1.0	LS	\$ 1,620.00	\$ 1,620.00		1.00	\$ -	\$ 1,620.00
Subtotal					\$ 815,749.65			\$ 3,602.95	\$ 815,749.65
TOTAL PAGE:					\$ 815,749.65			\$ 3,602.95	\$ 815,749.65

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Survey									
1	Construction Stake-Out	1.0	LS	\$ 19,000.00	\$ 19,000.00	0.05	1.00	\$ 950.00	\$ 19,000.00
2	Record As-Built Survey	1.0	LS	\$ 74,760.00	\$ 74,760.00	0.05	1.00	\$ 3,738.00	\$ 74,760.00
Subtotal					\$ 93,760.00			\$ 4,688.00	\$ 93,760.00
TOTAL PAGE:					\$ 93,760.00			\$ 4,688.00	\$ 93,760.00

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

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PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To: 3/16/24 - 4/15/24 , Inclusive DATE: 04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Geotechnical Testing									
1	Compaction Testing (Roads & Utilities)	1.0	LS	\$ 30,000.00	\$ 30,000.00	0.05	1.00	\$ 1,500.00	\$ 30,000.00
Subtotal					\$ 30,000.00			\$ 1,500.00	\$ 30,000.00
TOTAL PAGE:					\$ 30,000.00			\$ 1,500.00	\$ 30,000.00

DEME CONSTRUCTION, LLC

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OWNER: Taylor Morrison of Florida, Inc.

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PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT		
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE	
	Amendment #1 - Add Phase 2 Utilities & Roadways									
	Earthwork									
1	NPDES Compliance	1.0	LS	\$ 9,625.00	\$ 9,625.00		1.00	\$ -	\$ 9,625.00	
2	Inlet Protection	33.0	EA	\$ 188.00	\$ 6,204.00		33.00	\$ -	\$ 6,204.00	
3	Grading	1.0	LS	\$ 23,720.00	\$ 23,720.00		1.00	\$ -	\$ 23,720.00	
4	Geotechnical Testing	1.0	LS	\$ 30,000.00	\$ 30,000.00	0.05	1.00	\$ 1,500.00	\$ 30,000.00	
5	Survey, Stakeout and As-Builts	1.0	LS	\$ 74,675.00	\$ 74,675.00	0.05	1.00	\$ 3,733.75	\$ 74,675.00	
6	Seed & Mulch	N/A	SY	\$ 0.45	IF REQUIRED			\$ -	\$ -	
7	Sod	N/A	SY	\$ 2.80	IF REQUIRED			\$ -	\$ -	
	Subtotal					\$ 144,224.00			\$ 5,233.75	\$ 144,224.00
	TOTAL PAGE:					\$ 144,224.00			\$ 5,233.75	\$ 144,224.00

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

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PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

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Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Amendment #1 - Add Phase 2 Utilities & Roadways (Continued)									
Sanitary Sewer									
1	8" SDR 26 (0-6' Cut)	792.0	LF	\$ 38.85	\$ 30,769.20		792.00	\$ -	\$ 30,769.20
2	8" SDR 26 (6'-8' Cut)	262.0	LF	\$ 48.85	\$ 12,798.70		262.00	\$ -	\$ 12,798.70
3	8" SDR 26 (8'-10' Cut)	705.0	LF	\$ 49.80	\$ 35,109.00		705.00	\$ -	\$ 35,109.00
4	8" SDR 26 (10'-12' Cut)	247.0	LF	\$ 57.25	\$ 14,140.75		247.00	\$ -	\$ 14,140.75
5	Sanitary Manhole (0-6' Cut)	5.0	EA	\$ 7,015.00	\$ 35,075.00		5.00	\$ -	\$ 35,075.00
6	Sanitary Manhole (8'-10' Cut)	3.0	EA	\$ 9,395.00	\$ 28,185.00		3.00	\$ -	\$ 28,185.00
7	Sanitary System Testing	1.0	LS	\$ 3,475.50	\$ 3,475.50	1.00	1.00	\$ 3,475.50	\$ 3,475.50
8	Sanitary Air Testing	1.0	LS	\$ 2,482.50	\$ 2,482.50		1.00	\$ -	\$ 2,482.50
9	Single Service Connection	7.0	EA	\$ 1,050.00	\$ 7,350.00		7.00	\$ -	\$ 7,350.00
10	Double Service Connection	18.0	EA	\$ 1,480.00	\$ 26,640.00		18.00	\$ -	\$ 26,640.00
Subtotal					\$ 196,025.65			\$ 3,475.50	\$ 196,025.65
TOTAL PAGE:					\$ 196,025.65			\$ 3,475.50	\$ 196,025.65

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Amendment #1 - Add Phase 2 Utilities & Roadways (Continued)									
Storm									
1	Underdrain Cleanout Assembly	30.0	EA	\$ 403.00	\$ 12,090.00		30.00	\$ -	\$ 12,090.00
2	4" ADS Underdrain	3,000.0	LF	\$ 32.90	\$ 98,700.00		3,000.00	\$ -	\$ 98,700.00
3	12" ADS	418.0	LF	\$ 35.25	\$ 14,734.50		418.00	\$ -	\$ 14,734.50
4	15" ADS	754.0	LF	\$ 41.15	\$ 31,027.10		754.00	\$ -	\$ 31,027.10
5	18" ADS	536.0	LF	\$ 49.00	\$ 26,264.00		536.00	\$ -	\$ 26,264.00
6	15" RCP	236.0	LF	\$ 53.00	\$ 12,508.00		236.00	\$ -	\$ 12,508.00
7	18" RCP	350.0	LF	\$ 64.30	\$ 22,505.00		350.00	\$ -	\$ 22,505.00
8	24" RCP	484.0	LF	\$ 88.25	\$ 42,713.00		484.00	\$ -	\$ 42,713.00
9	30" RCP	808.0	LF	\$ 148.00	\$ 119,584.00		808.00	\$ -	\$ 119,584.00
10	Type 9 Curb Inlet	2.0	EA	\$ 11,720.00	\$ 23,440.00		2.00	\$ -	\$ 23,440.00
11	Grate Inlet	3.0	EA	\$ 5,425.00	\$ 16,275.00		3.00	\$ -	\$ 16,275.00
12	Valley Gutter Inlet	8.0	EA	\$ 6,810.00	\$ 54,480.00		8.00	\$ -	\$ 54,480.00
13	Yard Drain	20.0	EA	\$ 3,830.00	\$ 76,600.00		20.00	\$ -	\$ 76,600.00
14	Storm System Testing	1.0	LS	\$ 7,844.38	\$ 7,844.38		1.00	\$ -	\$ 7,844.38
Subtotal					\$ 558,764.98			\$ -	\$ 558,764.98
TOTAL PAGE:					\$ 558,764.98			\$ -	\$ 558,764.98

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
Amendment #1 - Add Phase 2 Utilities & Roadways (Continued)									
Water									
1	6" DR-18	590.0	LF	\$ 27.80	\$ 16,402.00		590.00	\$ -	\$ 16,402.00
2	8" DR-18	1,396.0	LF	\$ 40.20	\$ 56,119.20		1,396.00	\$ -	\$ 56,119.20
3	6" Gate Valve	1.0	EA	\$ 2,109.71	\$ 2,109.71		1.00	\$ -	\$ 2,109.71
4	8" Gate Valve	5.0	EA	\$ 3,010.00	\$ 15,050.00		5.00	\$ -	\$ 15,050.00
5	8" x 6" MJ Tee	2.0	EA	\$ 695.00	\$ 1,390.00		2.00	\$ -	\$ 1,390.00
6	8" -45° MJ Bend	4.0	EA	\$ 525.00	\$ 2,100.00		4.00	\$ -	\$ 2,100.00
7	8" -22 1/2° MJ Bend	3.0	EA	\$ 521.00	\$ 1,563.00		3.00	\$ -	\$ 1,563.00
8	6" Cap / TBO	2.0	EA	\$ 1,584.64	\$ 3,169.28		2.00	\$ -	\$ 3,169.28
9	Fire Hydrant Assembly	2.0	EA	\$ 7,690.00	\$ 15,380.00		2.00	\$ -	\$ 15,380.00
10	Permanent Blow-off Assembly	1.0	EA	\$ 4,495.86	\$ 4,495.86		1.00	\$ -	\$ 4,495.86
11	Chlorine Injection Point	1.0	EA	\$ 855.00	\$ 855.00		1.00	\$ -	\$ 855.00
12	Temporary 6" Jumper	1.0	EA	\$ 8,420.00	\$ 8,420.00		1.00	\$ -	\$ 8,420.00
13	Restrained Joints	1.0	LS	\$ 7,958.65	\$ 7,958.65		1.00	\$ -	\$ 7,958.65
14	Pressure Test	1.0	LS	\$ 2,482.50	\$ 2,482.50		1.00	\$ -	\$ 2,482.50
15	Chlorination	1.0	LS	\$ 2,482.50	\$ 2,482.50		1.00	\$ -	\$ 2,482.50
16	Remove TBO & Connect to Existing 6" WM	1.0	EA	\$ 1,013.46	\$ 1,013.46		1.00	\$ -	\$ 1,013.46
17	Remove TBO & Connect to Existing 8" WM	1.0	EA	\$ 1,015.00	\$ 1,015.00		1.00	\$ -	\$ 1,015.00
18	Remove Auto-flusher & Connect to Existing 6" WM	1.0	EA	\$ 1,013.46	\$ 1,013.46		1.00	\$ -	\$ 1,013.46
19	Single Short Water Service	28.0	EA	\$ 886.00	\$ 24,808.00		28.00	\$ -	\$ 24,808.00
20	Single Long Water Service	3.0	EA	\$ 1,070.00	\$ 3,210.00		3.00	\$ -	\$ 3,210.00
21	Double Short Water Service	N/A	EA	-	N/A			\$ -	\$ -
22	Double Long Water Service	5.0	EA	\$ 1,795.00	\$ 8,975.00		5.00	\$ -	\$ 8,975.00
Subtotal					\$ 180,012.62			\$ -	\$ 180,012.62
TOTAL PAGE:					\$ 180,012.62			\$ -	\$ 180,012.62

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
	Amendment #1 - Add Phase 2 Utilities & Roadways (Continued)								
	Reclaim								
1	4" DR-18	466.0	LF	\$ 18.90	\$ 8,807.40		466.00	\$ -	\$ 8,807.40
2	6" DR-18	30.0	LF	\$ 27.80	\$ 834.00		30.00	\$ -	\$ 834.00
3	8" DR-18	1,404.0	LF	\$ 40.20	\$ 56,440.80		1,404.00	\$ -	\$ 56,440.80
4	4" Gate Valve	1.0	EA	\$ 1,975.00	\$ 1,975.00		1.00	\$ -	\$ 1,975.00
5	6" Gate Valve	2.0	EA	\$ 2,270.00	\$ 4,540.00		2.00	\$ -	\$ 4,540.00
6	8" Gate Valve	7.0	EA	\$ 3,045.00	\$ 21,315.00		7.00	\$ -	\$ 21,315.00
7	8" x 6" MJ Tee	2.0	EA	\$ 695.00	\$ 1,390.00		2.00	\$ -	\$ 1,390.00
8	8" x 4" MJ Tee	2.0	EA	\$ 643.86	\$ 1,287.72		2.00	\$ -	\$ 1,287.72
9	4" -45° MJ Bend	2.0	EA	\$ 411.00	\$ 822.00		2.00	\$ -	\$ 822.00
10	8" -45° MJ Bend	13.0	EA	\$ 525.00	\$ 6,825.00		13.00	\$ -	\$ 6,825.00
11	8" -11 1/4° MJ Bend	2.0	EA	\$ 504.76	\$ 1,009.52		2.00	\$ -	\$ 1,009.52
12	4" Cap / TBO	2.0	EA	\$ 659.21	\$ 1,318.42		2.00	\$ -	\$ 1,318.42
13	Permanent Blow-off Assembly	3.0	EA	\$ 4,495.86	\$ 13,487.58		3.00	\$ -	\$ 13,487.58
14	Restrained Joints	1.0	LS	\$ 6,363.49	\$ 6,363.49		1.00	\$ -	\$ 6,363.49
15	Pressure Test	1.0	LS	\$ 2,375.00	\$ 2,375.00		1.00	\$ -	\$ 2,375.00
16	Remove TBO & Connect to Existing 4" RCM	2.0	EA	\$ 579.89	\$ 1,159.78		2.00	\$ -	\$ 1,159.78
17	Remove TBO & Connect to Existing 8" RCM	1.0	EA	\$ 626.70	\$ 626.70		1.00	\$ -	\$ 626.70
18	Single Short Reclaim Service	3.0	EA	\$ 833.00	\$ 2,499.00		3.00	\$ -	\$ 2,499.00
19	Single Long Reclaim Service	5.0	EA	\$ 1,060.00	\$ 5,300.00		5.00	\$ -	\$ 5,300.00
20	Double Short Reclaim Service	6.0	EA	\$ 1,830.00	\$ 10,980.00		6.00	\$ -	\$ 10,980.00
21	Double Long Reclaim Service	12.0	EA	\$ 2,220.00	\$ 26,640.00		12.00	\$ -	\$ 26,640.00
	Subtotal					\$ 175,996.41		\$ -	\$ 175,996.41
	TOTAL PAGE:					\$ 175,996.41		\$ -	\$ 175,996.41

DEME CONSTRUCTION, LLC

3301 Whitfield Ave Ste. C - Sarasota, FL 34243 - Phone: (941) 755-5900

OWNER: Taylor Morrison of Florida, Inc.

Draw: # 23008-11

PROJECT NAME: Skye Rance Neighborhood 4 South (Phase 1)

ENGINEER: Waldrop Engineering

For Work Accomplished From Start To:

3/16/24 - 4/15/24

, Inclusive

DATE:

04/15/24

Item No.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	QUANTITIES		AMOUNT	
						THIS PERIOD	TO DATE	THIS PERIOD	TO DATE
	Amendment #1 - Add Phase 2 Utilities & Roadways (Continued)								
	Roadways								
1	1" SP-9.5 Asphalt (1st Lift)	6,904.0	SY	\$ 11.25	\$ 77,670.00		6,904.00	\$ -	\$ 77,670.00
2	6" Soil Cement	6,904.0	SY	\$ 18.30	\$ 126,343.20		6,904.00	\$ -	\$ 126,343.20
3	8" Stabilized Subbase LBR 40	8,552.0	SY	\$ 7.25	\$ 62,002.00		8,552.00	\$ -	\$ 62,002.00
4	4" Thick Concrete Sidewalk Non-Reinforced	10,678.0	SF	\$ 6.64	\$ 70,901.92	10,678.00	10,678.00	\$ 70,901.92	\$ 70,901.92
5	ADA Handicap Ramps w/ Detectable Mats	4.0	EA	\$ 1,315.00	\$ 5,260.00	4.00	4.00	\$ 5,260.00	\$ 5,260.00
6	F Curb	1,227.0	LF	\$ 22.30	\$ 27,362.10		1,227.00	\$ -	\$ 27,362.10
7	Valley Gutter Curb	3,390.0	LF	\$ 18.80	\$ 63,732.00		3,390.00	\$ -	\$ 63,732.00
8	Final Dress	1.0	LS	\$ 23,950.00	\$ 23,950.00	0.60	1.00	\$ 14,370.00	\$ 23,950.00
9	7' BOC Bahia Sod	3,591.0	SY	\$ 2.80	\$ 10,054.80	3,591.00	3,591.00	\$ 10,054.80	\$ 10,054.80
10	Temporary Striping	1.0	LS	\$ 2,200.00	\$ 2,200.00		1.00	\$ -	\$ 2,200.00
	Subtotal					\$ 469,476.02		\$ 100,586.72	\$ 469,476.02
	GRAND TOTAL					\$ 5,068,853.72		\$ 248,252.41	\$ 5,068,853.72

**AUTHORIZING ADDENDUM #144 Skye Ranch 4
TO
MASTER LAND DEVELOPMENT SERVICES AGREEMENT**

TAYLOR MORRISON:
Taylor Morrison of Florida, Inc., a Florida corporation

CONTRACTOR:
RYAN GOLF CORPORATION, a Florida corporation

Job Code: 14280100
PO: 14280100-355

NOTICE TO PROCEED DATE: 09/03/2021
SUBSTANTIAL COMPLETION DATE: See EXHIBIT C

DESCRIPTION OF WORK:

This Authorizing Addendum to Master Land Development Services Agreement (“**Authorizing Addendum**”) is made and entered into effective as of 3rd day of September, 2021 by and between **Taylor Morrison of Florida, Inc., a Florida corporation** (“**Taylor Morrison**”) and **RYAN GOLF CORPORATION, a Florida corporation** (“**Contractor**”), with respect to the Master Land Development Services Agreement between Taylor Morrison and Contractor dated January 12, 2012 (the “**Agreement**”).

1. Scope/Work. Pursuant to the Agreement, Contractor shall perform the Work for the Contract Price and within the time frame set forth on **Exhibit A** attached to this Authorizing Addendum.
2. Site. The Work will be performed at the job site (the “**Site**”), the location of which is legally described on **Exhibit B** attached hereto.

Unless otherwise defined herein, all capitalized terms used in this Authorizing Addendum shall have the meanings set forth in the Agreement. This Authorizing Addendum may be executed simultaneously or in counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. In the event of a conflict between the provisions of the Agreement and this Authorizing Addendum, the Agreement shall control except to the extent that the Authorizing Addendum specifically states that a provision is intended to modify the Agreement. Except as supplemented by this Authorizing Addendum, all provisions of the Agreement shall remain in full force and effect.

TAYLOR MORRISON:
Taylor Morrison of Florida, Inc., a Florida corporation

CONTRACTOR:
RYAN GOLF CORPORATION

DocuSigned by:
Morris Hill
D4A4E0982E50477...

By: _____
Name: Morris Hill
Title: PM Land Development
Date: 9/30/2021

DocuSigned by:
Liz Garrido
850BA698F9E6454...

By: _____
Name: Liz Garrido
Title: Treasurer
Date: 9/30/2021

DocuSigned by:
John Wollard
B916F3B5222646F...

9/30/2021

DocuSigned by:
Jason Besse
B0862F246EB9403...

10/4/2021

DocuSigned by:
Steve Kempton
2575F6A56EC5404...

10/4/2021

DocuSigned by:
Dave Cone
7021D87EB3364C5...

10/4/2021

AUTHORIZING ADDENDUM #144 Skye Ranch 4
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES

EXHIBIT A
 SCOPE/CONTRACT PRICE/SCHEDULE

Job No.: 14280100

PO: 14280100-355

Taylor Morrison's Representative: Morris Hill

Contractor's Representative: Cort Byrnes

1. **Schedule.** The Work shall be completed during the following time frames: **See EXHIBIT C**
2. **Contract Price/Budget.** The Contract Price is as follows: **See EXHIBIT D for details**
3. **Hourly Fee Schedule.** Contractor's hourly fee schedule including time period for which rates apply: N/A
4. **Additional or Modified Provisions.** **NONE**
5. **Description of Work.** Contractor shall provide the following services for the Project (the "Work"):

Skye Ranch Neighborhood 2	
16s & 20s - Phase 1	
BID SCHEDULE - REV 00	
Bid Date:	<u>Monday, August 9, 2021</u>
Bid Due Date:	<u>Monday, August 16, 2021</u>
Bid Plan No., Rev No.	<u>386-040 Skye Ranch 16s 20s, Phase 1</u>
Contractor	<u>RYANGOLF CORPORATION</u>
SUMMARY	
Potable Water	\$273,496.70
Wastewater	\$263,234.05
Paving	\$441,492.29
Drainage	\$743,407.50
Irrigation	\$124,578.20
Earthwork	\$194,771.48
Survey	\$71,350.00
Geotech	\$23,000.00
TOTAL =	\$2,135,330.22
Notes:	
1. It is the responsibility of the contractor to verify all quantities prior to submitting any bids. Any discrepancies shall be noted in the Contractor Quantity Column and calculated into the line item amount.	

GRADING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Grading Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

1. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").
2. Select applicable provision by checking either Option 2(A) **OR** 2(B):

A. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

B. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

3. The Work includes hurricane pump and/or pump/standpipe to fill water pulls and trucks.
4. Contractor shall provide earthwork calculations in its bid submittal.
5. Contractor shall coordinate its equipment line up with Taylor Morrison.
6. Contractor shall notify Taylor Morrison 48 hours prior to any staking or testing being required.
7. Contractor shall undercut all basins _____, or per direction of Taylor Morrison.
8. Contractor shall undercut all street 0.20' and leave all street subgrade flat (no crown).
9. Contractor shall cut all sidewalk areas 3" from top of curb elevation.
10. Contractor shall build stepped pads when adjacent pad differential is equal to or greater than 0.25' and rake when less than 0.25'.
11. Contractor shall overbuild front yards 5' from BSL on Final Plat and slope to sidewalk grade (do not bench).
12. Contractor shall overbuild all property lines 2' to allow for wall footing.
13. Contractor shall overbuild all areas with sidewalks a minimum of 18".
14. Contractor shall cut all retaining walls back 3' and leave spoils on the upper pad side to allow for backfill of retaining walls.

15. Contractor shall cut basins _____ in retention basins with dry wells, or per direction of Taylor Morrison, to make room for dry well spoils.
16. Contractor must supply weekly safety report and dust control records.
17. Contractor is required to have a Certified Dust Coordinator onsite at all times during operations, without exception.
18. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during grading operations.

MATERIALS TESTING AND ENGINEER OF RECORD SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Material Testing and Engineer of Record Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

19. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "Soils Report").
20. Select applicable provision by checking Option 2(A) OR 2(B):

C. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

D. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

Materials Testing-

21. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.
22. Contractor shall sample and test earthwork for building pads, trench backfill and subgrade beneath paving, curbs, gutters and sidewalks.
23. Contractor shall sample and test concrete for curbs, gutters and sidewalks.
24. Contractor shall sample and test ABC below asphaltic concrete pavement.
25. Contractor shall sample and test asphaltic concrete materials.
26. Contractor shall sample and test electrical for SRP equipment pads.

Observation-

27. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.
28. Contractor shall observe all earthwork and trenching operations.
29. Contractor shall observe placement of concrete for curbs, gutters and sidewalks.
30. Contractor shall observe placement of asphaltic concrete materials.

Engineer of Record-

31. Contractor shall be the Engineer of Record for ADEQ/MCESD certification and coordinate all activities with Taylor Morrison and the municipal inspector;
32. Engineer of Record shall observe construction of the water and sewer lines, keep paper record of all testing operations, and provide records to Taylor Morrison within 24 hours of testing (including but not limited to water pressure tests, water bacteriological tests, sewer air tests, sewer pressure tests, and mandrel).
33. Engineer of Record shall review the filming of the sewer lines, certify the as-built drawings, and provide the written Approval of Construction documentation to Taylor Morrison for submittal to ADEQ.

Reports-

34. Reports shall be generated in a timely manner and disseminated to Taylor Morrison and its applicable contractors.
35. Weekly field/progress reports shall be submitted to Taylor Morrison.

PAVING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Paving Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

36. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").
37. Select applicable provision by checking either Option 2(A) **OR** 2(B):

E. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

F. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

38. Contractor shall clean out all laydown machines and other equipment in designated areas only, as determined by Taylor Morrison's Designated Representative.
39. Contractor's Work shall be performed in strict accordance with the Project's Contract Documents.
40. Contractor is required to furnish all labor, equipment, and materials to construct the improvements as set forth in the Project's Contract Documents. This work shall include but is not limited to: paving asphalt, subgrade prep, installing and prepping A.B.C., achieving compaction, adjust manholes, valves, and cleanouts, as well as providing and installing: barricades, survey monuments, fire hydrant markers, street sign bases, signage and striping, and temporary and/or permanent barricading.
41. Contractor shall re-grade any areas disturbed by the water, sewer, or utility contractors. The cost of this work shall be included in the bid, assuming the grade left by all utility contractors 0.30' from the original rough grade or 0.30' from design grade.
42. Contractor shall notify Taylor Morrison's Designated Representative at least 48 hours prior to any staking being required.
43. Contractor shall notify Taylor Morrison's Designated Representative at least 24 hours prior to any asphalt being placed for the purpose of coordinating testing.
44. Contractor shall be responsible for coordinating with Taylor Morrison's Designated Representative to provide a water truck for flow testing curb and paving, which cost shall be included in Contractor's bid.
45. Contractor shall be responsible for manhole adjustments, water and gas valve adjustments, street signs and bases, barricades, fire hydrant markers, striping, monuments, etc.
46. Contractors' bid shall include the cost of any removals, saw cuts, etc.

47. Contractor's bid shall include the cost of one mobilization. Additional mobilization costs must also be provided.
48. All entrances used by Contractor shall be kept clean, either by sweeping or washed with a water truck. Any track out shall be cleaned by Contractor on a daily basis.
49. Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur shall become the responsibility of the Contractor to repair, if the original survey stakes are missing when any problems are found. Any utilities or property pins damaged or removed during Contractor's work shall be repaired or replaced at the Contractor's expense.
50. Contractor shall exercise care around all existing improvements. Contractor shall arrange to walk the site with Taylor Morrison's Designated Representative before Contractor starts its work to determine the extent and location of any cracks in the concrete, the cleanliness of the manholes and the condition of water valves, etc. Any cleanup or repair needed for Contractor's pre-paving work shall be done by the Contractor at its own expense before the paving operation begins.
51. Contractor shall be responsible for all traffic control including barricades, as required by public authorities and Owner. Contractor shall obtain an approved traffic control plan, if the municipality or County within which the Project is located requires a traffic control plan.
52. Normal soil conditions are those outlined in the Soils Report. Any ripping, jack hammering, or blasting that is necessary to perform the work shall be included in Contractor's bid.

WET UTILITIES SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Wet Utilities Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

53. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").

54. Select applicable provision by checking Option 2(A) OR 2(B):

G. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

H. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

55. One mobilization to be included in Agreement. Additional mobilization costs must also be provided.

56. Contractor shall coordinate services of surveying and observation contractors designated by Taylor Morrison;

57. The Contractor shall provide all materials, equipment, and labor necessary to install sewer, water and storm drain improvements as set forth in the Contract Documents. The Work shall include, but is not limited to: trenching, excavating, backfilling and compacting, bacteria, compaction, camera, and pressure testing, furnishing and installing bedding, pipe, fittings, valves, valve boxes and covers, fire hydrants, manholes, plugs, clean-outs, taps, services, meter boxes and lids, and any other necessary appurtenances.

58. Prior to commencing any other Work, the Contractor shall expose all existing sewer tie-ins so that the surveyors can verify their locations.

59. Contractor shall install sewer services as follows: Sewer services to be stubbed into property five (5) feet behind the PUE. Sewer taps shall be marked with a 2x4 metal stud. The metal stud shall extend from the sewer tap to 3' above finished grade. Contractor shall paint top twelve (12) inches of metal stud green. The sewer tap should be installed with two 45 degree elbows and extended to within one (1) foot of finished grade. A 3/8" x 12" length of #4 rebar shall be duct taped to end of sewer tap;

60. Contractor shall stub water services up six (6) inches above grade and set to grade after sidewalk installation;

61. If water main valve boxes are located behind sidewalk, Contractor shall adjust them to grade after sidewalk installation;

62. Contractor shall remove any excess or miscellaneous materials from lots prior to receiving final payment;

63. Contractor will return site to +/- .3 ft. of original grade including lots, R.O.W., and P.U.E., and will be confirmed by Taylor Morrison's Designated Representative. Any excess dirt, ABC, or chips remaining after all trenches have been backfilled and compacted shall be spread evenly in the streets. Contractor will be responsible for all testing

and coordination with inspectors or government entities. The Contractor will leave all trenches open long enough to allow as-built locations to be verified by the Owner's surveyor.

64. All sewer and water tie-ins that are in existing pavement will be permanently patched back by the sewer and water contractor, per governing municipality/provider requirements.
65. Contractor pricing to include municipality/private provider approved methods for backfill.
66. Contractor will provide all necessary barricades, barricade plans and traffic control plans. Contractor is responsible for city or county acceptance if necessary.
67. Contractor shall include in its bid price the cost for two air pressure and camera tests of the sewer system. One test will be after the sewer has been installed to verify that it has been installed correctly, and one test after the remainder of the underground utilities have been installed to verify that the sewer was not damaged by the installation of other utilities.
68. This proposal is to be based on the use of standard trenching equipment equivalent to a 125,000-pound class excavator with a rock bucket and with a production rate of at least 200 linear feet per an 8-hour working day. All excavation beyond the capability of the said equipment at the said production rate will be considered hard excavation.
69. Bidding Contractors to visit the site and account for any borings that may be necessary for any irrigation crossings.
70. Taylor Morrison' shall be notified by Contractor 48 hours prior to any staking being required;
71. The Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur will become the responsibility of the Contractor to repair if the original survey stakes are missing when any problems are found.
72. All costs associated with maintaining all dust control are included in the Agreement – this includes, but is not limited to, all dust generating activities, haul roads around the site, trenching, machine work, and using provided ingress/egress to and from the site. etc.
73. Contractor must use provided entrances/exits when arriving or leaving site. Any fines/violations incurred for this failure to comply will be paid by contractor. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during operations.
74. Contractor shall supply weekly safety and dust records.

**AUTHORIZING ADDENDUM #144 Skye Ranch 4
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

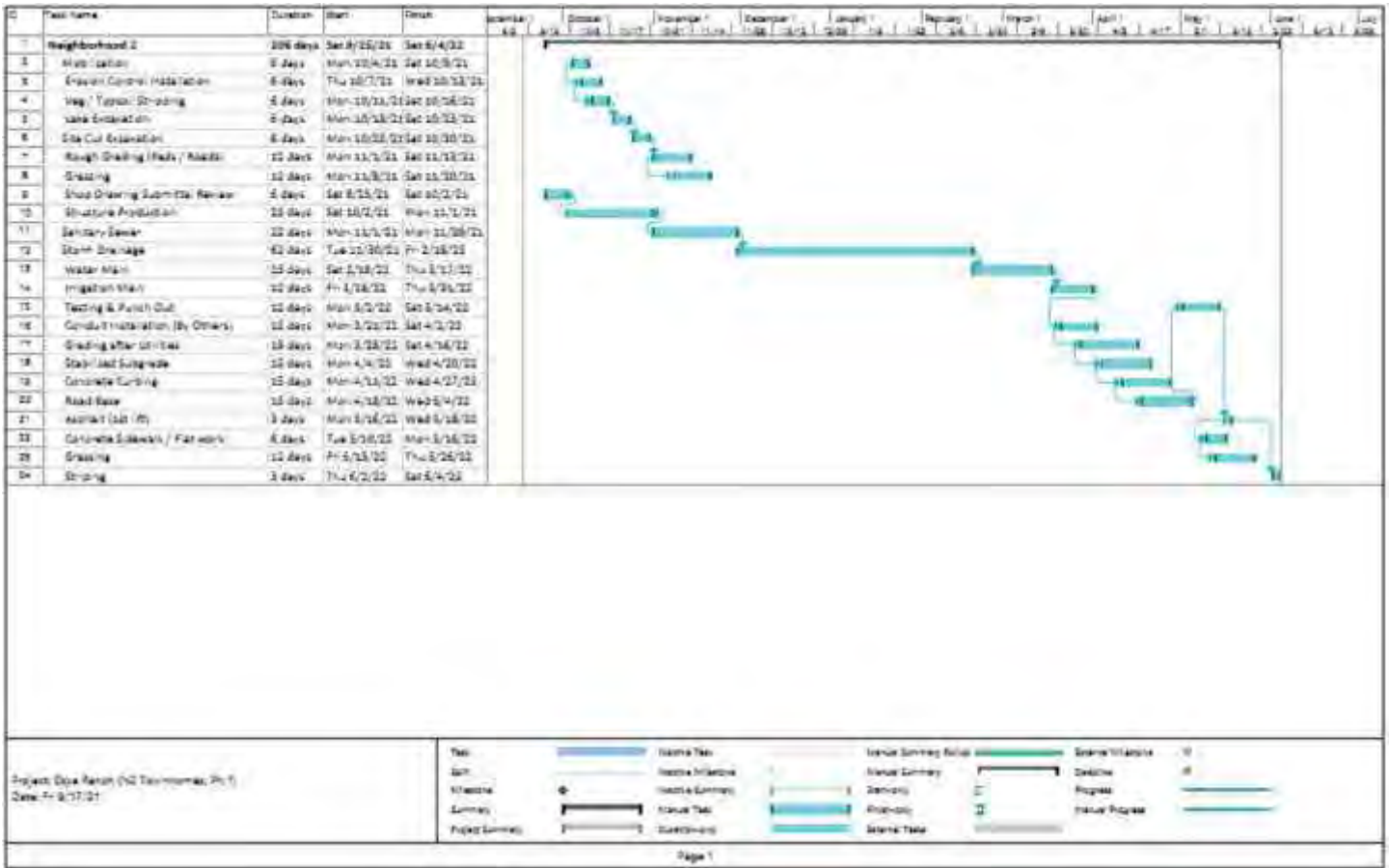
EXHIBIT B
JOB SITE

SKYE RANCH NEIGHBORHOOD TWO TOWNHOMES
BEING REPLAT OF A PORTION OF TRACT 501 (FUTURE DEVELOPMENT AREA), LT RANCH NEIGHBORHOOD ONE, AS RECORDED IN PLAT BOOK 53,
PAGES 175 - 224, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; TOGETHER WITH A PORTION OF THE NORTHWEST 1/4 OF
SECTION 22, LYING IN SECTIONS 16, 21 AND 22, TOWNSHIP 37 SOUTH, RANGE 19 EAST, SARASOTA COUNTY, FLORIDA

AUTHORIZING ADDENDUM #144 Skye Ranch 4 TO MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES

EXHIBIT C SCHEDULE

**** There will be a liquidated delay fee of \$500 per day assessed to the contract for every day past substantial completion and Road open. There will be no delay fee if delay is due to Taylor Morrison.**



**AUTHORIZING ADDENDUM #144 Skye Ranch 4
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

**EXHIBIT D
SCHEDULE OF VALUES**

SURVEYING							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
S-1	Construction Stake-out	1	1	LS	\$71,350.00	\$71,350.00	10
S-2	Record As-built Survey	1	1	LS	N/A	Incl Above	
SURVEYING TOTAL =						\$71,350.00	

GEOTECH							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
S-1	Geotech Testing	1	1	LS	\$23,000.00	\$23,000.00	20
GEOTECH TOTAL =						\$23,000.00	

EARTHWORK							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
E-1	Double Row Silt Fence	734	734	LF	\$3.70	\$2,715.80	30
E-2	Single Row Silt Fence	4,206	4,206	LF	\$1.85	\$7,781.10	40
E-3	Inlet Protection Device	36	47	EA	\$135.00	\$6,345.00	50
E-4	Finish Grading	17	17	AC	\$1,850.00	\$31,450.00	60
E-5	Seed and Mulch (Lots)	6	6	AC	\$1,100.00	\$6,600.00	70
E-6	Bahia Sod (20' pond slope stabilization)	1,773	1,773	SY	\$2.07	\$3,670.11	80
E-7	NPDES Compliance	1	1	LS	\$13,000.00	\$13,000.00	90
E-8	Lake Excavation (unclassified)	10,513	10,909	CY	\$2.75	\$29,999.75	100
E-9	Bahia Sod (Perimeter Slopes, Berm & Swale)	10,000	14,721	SY	\$2.07	\$30,472.47	110
E-10	Topsoil / Veg Stripping (allowance)	17	17	AC	\$950.00	\$16,150.00	120
E-11	Construction Entrance	1	1	EA	\$5,750.00	\$5,750.00	130
**	Mobilization & Supervision		1	LS	\$15,000.00	\$15,000.00	140
**	Site Cut Excavation		6,576	BCY	\$2.25	\$14,796.00	150
**	Swale Grading		2,950	LF	\$2.25	\$6,637.50	160
**	Berm Grading		1,355	LF	\$3.25	\$4,403.75	170
EARTHWORK TOTAL =						\$194,771.48	
POTABLE WATER							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Street A (Entrance TH's)							
W-1	8" PVC Water Main	71	71	LF	\$42.50	\$3,017.50	180
W-2	8" Gate Valve	1	1	EA	\$2,430.00	\$2,430.00	190
W-3	Chlorination & Testing	71	71	LF	\$1.10	\$78.10	200
**	Connect to Ex. WM		1	EA	\$4,400.00	\$4,400.00	210
TOTAL =						\$9,925.60	
Street C (16' TH's) Phase 1							
W-4	6" PVC Water Main	117	2,011	LF	\$29.00	\$58,319.00	220
W-5	4" PVC Water Main	449	60	LF	\$27.50	\$1,650.00	230
W-6	6" Gate Valve	1	5	EA	\$1,850.00	\$9,250.00	240
W-7	4" Gate Valve	1	1	EA	\$1,750.00	\$1,750.00	250
W-8	Hydrant Assembly	1	3	EA	\$5,600.00	\$16,800.00	260
W-9	1" Single Service (Short)	16	89	EA	\$1,000.00	\$89,000.00	270
W-10	1" Single Service (Long)	12	62	EA	\$1,300.00	\$80,600.00	280
W-11	Chlorination & Testing	566	2,161	LF	\$1.10	\$2,377.10	290
**	8" PVC Water Main		90	LF	\$42.50	\$3,825.00	300
TOTAL =						\$263,571.10	
POTABLE WATER TOTAL =						\$273,496.70	
Notes:							
1. Fittings are to be included in linear foot price for pipe.							

WASTEWATER							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
	Street A (Entry TH's)						
WW-1	8" PVC Sanitary Sewer SDR-26 (10-12')	25	25	LF	\$69.00	\$1,725.00	310
WW-2	8" PVC Sanitary Sewer SDR-26 (12-14')	65	65	LF	\$86.00	\$5,590.00	320
WW-3	Manhole 4' Diameter (10-12')	1	1	EA	\$7,850.00	\$7,850.00	330
WW-4	Testing and Inspection	90	90	LF	\$1.35	\$121.50	340
**	Connect to Ex. Manhole		1	EA	\$8,500.00	\$8,500.00	350
					TOTAL =	\$23,786.50	
	Street C (16' TH's) Phsae 1						
WW-5	8" PVC Sanitary Sewer SDR-26 (6-8')	562	800	LF	\$48.00	\$38,400.00	360
WW-6	8" PVC Sanitary Sewer SDR-26 (8-10')	964	710	LF	\$55.00	\$39,050.00	370
WW-7	8" PVC Sanitary Sewer SDR-26 (10-12')	275	283	LF	\$69.00	\$19,527.00	380
WW-8	Manhole 4' Diameter (6-8')	2	3	EA	\$6,000.00	\$18,000.00	390
WW-9	Manhole 4' Diameter (8-10')	4	3	EA	\$7,350.00	\$22,050.00	400
WW-10	Manhole 4' Diameter (10-12')	1	1	EA	\$8,000.00	\$8,000.00	410
WW-11	Double Lateral Service	80	80	EA	\$1,150.00	\$92,000.00	420
WW-12	Testing and Inspection	1,801	1,793	LF	\$1.35	\$2,420.55	430
					TOTAL =	\$239,447.55	
					WASTEWATER TOTAL =	\$263,234.05	
Notes:							
1. Fittings are to be included in linear foot price for pipe.							
2. Lift Station testing to be included in unit price for lift station							

PAVING							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
	Street A & Street C Phase 1						
P-1	1" Type SP-9.5 Asphalt 1st Lift	11,030	10,905	SY	\$7.40	\$80,697.00	440
P-2	6" Crushed Concrete Base (7" FDOT Shell base in lieu)	11,030	11,400	SY	\$12.00	\$136,800.00	450
P-3	8" Stabilized Subgrade*	12,685	13,250	SY	\$7.05	\$93,412.50	460
P-4	Type D curb	196	1,520	LF	\$15.00	\$22,800.00	470
P-5	Type F curb	1,680	385	LF	\$17.65	\$6,795.25	480
P-6	2' Valley Gutter	3,664	3,525	LF	\$12.15	\$42,828.75	490
P-7	4" Concrete Sidewalk (5' wide)	1,957	460	SY	\$35.55	\$16,353.00	500
P-8	"Temporary Paint" Striping	1	1	LS	\$23,250.00	\$23,250.00	510
P-9	Sod Behind Curbs (8ft)	4,924	4,972	SY	\$2.07	\$10,292.04	520
**	Type "A" Curb		170	LF	\$15.50	\$2,635.00	530
**	Thickened Edge Concrete		395	LF	\$14.25	\$5,628.75	540
					PAVING TOTAL =	\$441,492.29	

DRAINAGE							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Neighborhood 2 16' & 20' Townhomes Phase 1							
D-1	4" HDPE	435	490	LF	\$19.00	\$9,310.00	550
D-2	18" RCP	92	418	LF	\$62.00	\$25,916.00	560
D-3	24" RCP	273	499	LF	\$76.50	\$38,173.50	570
D-4	30" RCP	796	796	LF	\$98.00	\$78,008.00	580
D-5	36" RCP	661	661	LF	\$127.00	\$83,947.00	590
D-6	42" RCP	272	272	LF	\$174.00	\$47,328.00	600
D-7	48" RCP	549	549	LF	\$215.00	\$118,035.00	610
D-8	54" RCP	342	342	LF	\$265.00	\$90,630.00	620
D-9	42" Flared End	1	1	EA	\$6,575.00	\$6,575.00	630
D-10	48" Flared End	1	1	EA	\$7,665.00	\$7,665.00	640
D-11	54" Flared End	2	2	EA	\$8,100.00	\$16,200.00	650
D-12	Valley Gutter	20	26	EA	\$5,225.00	\$135,850.00	660
D-13	Junction Box	3	3	EA	\$5,950.00	\$17,850.00	670
D-14	4" Yard Drain	12	13	EA	\$1,335.00	\$17,355.00	680
D-15	Grate Inlet	7	8	EA	\$4,650.00	\$37,200.00	690
**	15" RCP		105	LF	\$53.00	\$5,565.00	700
**	24" Flared End		2	EA	\$3,900.00	\$7,800.00	710
DRAINAGE TOTAL =						\$743,407.50	

IRRIGATION							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Street A (Entrance TH's)							
I-7	Connect to Existing	1	1	EA	\$4,500.00	\$4,500.00	720
I-8	4" PVC Irrigation Main	135	137	LF	\$29.50	\$4,041.50	730
I-9	4" Gate Valve	1	1	EA	\$1,850.00	\$1,850.00	740
I-10	2" single service (COMMON) short	1	1	EA	\$2,375.00	\$2,375.00	750
I-11	2" single service (COMMON) long	2	2	EA	\$2,845.00	\$5,690.00	760
I-12	Testing	135	137	LF	\$0.55	\$75.35	770
TOTAL						\$18,531.85	
Street C (16' TH's) Phase 1							
I-19	4" PVC Irrigation Main	1,727	1,727	LF	\$29.50	\$50,946.50	780
I-20	4" Gate Valve	3	3	EA	\$1,850.00	\$5,550.00	790
I-21	2" single service (COMMON) short	10	10	EA	\$2,375.00	\$23,750.00	800
I-22	2" single service (COMMON) long	9	10	EA	\$2,485.00	\$24,850.00	810
I-23	Testing	1,727	1,727	LF	\$0.55	\$949.85	820
TOTAL						\$106,046.35	
IRRIGATION TOTAL =						\$124,578.20	

Notes:

1. Fittings are to be included in linear foot price for pipe.

TAYLOR MORRISON

**AMENDMENT #1
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #1 (the "Authorizing Addendum Amendment") made and entered into as of June 15, 2022 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated August 16, 2021 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$2,541.00 to previously authorized amount of 2,135,330.22

The maximum authorized for the Services under this Authorizing Addendum is \$2,137,871.22 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Morris Hill. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 144 Skye Ranch 4 (PO 14280100-355, Land DEV PO 727)
- Project and Phase Number:
- Cost Code Number: 021520 Grading
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C
3. **Hourly Fee Schedule:** N/A
4. **Modifications to Description of Work:**

- a) Scope of Work: RG CO1

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	AMOUNT (+) (-)
ADDITIONS					
1	LABOR Excavation (continued)	50.00	CY	\$1.70	\$8,500.00
2					\$0.00

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

DocuSigned by:
Jamie Kuca
FAD81E182E9E419...

By: _____

Print Name: Jamie Kuca

Title: PM Land Development

Date: 6/16/2022

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

DocuSigned by:
Liz Garrido
850BA696F0E6454...

By: _____

Liz Garrido
Print Name: _____

Treasurer
Title: _____

6/16/2022
Date: _____

TAYLOR MORRISON

**AMENDMENT #2
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #2 (the "Authorizing Addendum Amendment") made and entered into as of October 10, 2022 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated August 16, 2021 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$16,138.83 to previously authorized amount of 2,137,871.22

The maximum authorized for the Services under this Authorizing Addendum is \$2,154,010.05 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 144 Skye Ranch 4 (PO 14280100-355, Land DEV PO 727)
- Project and Phase Number:
- Cost Code Number: 320120 Sanitary Sewerage, 320145 Storm Water
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C
3. **Hourly Fee Schedule:** N/A
4. **Modifications to Description of Work:**

- a) Scope of Work: RG CO1

RYANGOLF CORPORATION 614 S. Military Trail, Deerfield Beach, FL 33442 SKYE RANCH (N2 Towahomes - Core-in Connection #2) (Sarasota Co., Florida)	BID		UNIT COST	BID AMOUNT
	QUANTITY	UNIT		
Core in Ex. Manhole #615 (Labor, Equipment & Materials (including 8" x 12" boot) used to facilitate core-in connection)	1.00	LS	\$2,795.00	\$2,795.00
PROJECT TOTAL				\$13,343.83

RYANGOLF CORPORATION 614 S. Military Trail, Deerfield Beach, FL 33442 SKYE RANCH (N2 - 6" HDPE pipe & Yard Drains), rev.1 (Sarasota Co., Florida)	BID		UNIT COST	BID AMOUNT
	QUANTITY	UNIT		
6" HDPE ADS Drainage Pipe	490.00	LF	\$25.00	\$12,250.00
4" HDPE	(490.00)	LF	\$19.00	(\$9,310.00)
6" Yard Drain	17.00	EA	\$1,500.00	\$25,500.00
4" Yard Drain	(13.00)	EA	\$1,335.00	(\$17,355.00)
Restocking Fee for 4" pipe, Inline Drains & fittings	1.00	LS	\$2,258.83	\$2,258.83
PROJECT TOTAL				\$13,343.83

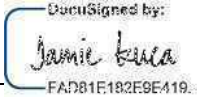
5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.
6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.
7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____  _____
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Print Name: Jamie Kuca

Title: PM Land Development

Date: 10/31/2022

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By: _____  _____
850BA696F0E6454...

Print Name: Liz Garrido

Title: Treasurer

Date: 10/27/2022

TAYLOR MORRISON**AMENDMENT #3
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")****(FLORIDA)**

This Amendment #3 (the "Authorizing Addendum Amendment") made and entered into as of January 4, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated August 16, 2021 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$22,970.00 to previously authorized amount of 2,154,010.05

The maximum authorized for the Services under this Authorizing Addendum is \$2,176,980.05 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 144 Skye Ranch 4 (PO 14280100-355, Land DEV PO 727)
- Project and Phase Number:
- Cost Code Number: 320145 Drainage
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

- a) Scope of Work:

SKYE RANCH (N2 Townhomes - Added Pipe & Yard Drains) (Narasota Co., Florida)	QUANTITY	UNIT	UNIT COST	BID AMOUNT
Labor & Equipment for Yard Drains and Pipe install	1.00	LS	\$11,600.00	\$11,600.00
Materials for Yard Drains & Pipe	1.00	LS	\$9,895.00	\$9,895.00
Remove / Replace Concrete Sidewalk (10' length)	1.00	LS	\$1,475.00	\$1,475.00

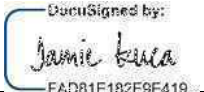
5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.
6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.
7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By:  _____
FAD81E182E9E419

Print Name: Jamie Kuca

Title: PM Land Development

Date: 1/5/2023

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By:  _____
650BA696F0E6454...

Print Name: Liz Garrido

Title: Treasurer

Date: 1/5/2023

TAYLOR MORRISON

**AMENDMENT #4
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #4 (the "Authorizing Addendum Amendment") made and entered into as of June 14, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated August 16, 2021 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$1,900.00 to previously authorized amount of 2,176,980.05

The maximum authorized for the Services under this Authorizing Addendum is \$2,178,880.05 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 144 Skye Ranch 4 (PO 14280100-355, Land DEV PO 727)
- Project and Phase Number:
- Cost Code Number: 320100 Water
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C
3. **Hourly Fee Schedule:** N/A
4. **Modifications to Description of Work:**

- a) Scope of Work:

<u>KYE RANCH - N2 Townhomes (BACTERIOLOGICAL TESTING)</u> (Sarasota Co., Florida)	<u>QUANTITY</u>	<u>UNIT</u>	<u>UNIT COST</u>	<u>BID AMOUNT</u>
Bacteriological Testing - N2 Townhomes	1.00	LS	<u>\$1,900.00</u>	<u>\$1,900.00</u>


5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.
6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.
7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By:  _____
FAD81E182E9E419

Print Name: Jamie Kuca

Title: PM Land Development

 6/21/2023

Date: _____

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By:  _____
B508A698F0E6454...

Print Name: Liz Garrido

Title: Treasurer

 6/20/2023

Date: _____

TAYLOR MORRISON

**AMENDMENT #5
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #5 (the "Authorizing Addendum Amendment") made and entered into as of July 10, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated August 16, 2021 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Deduct (\$5,955.80) from previously authorized amount of 2,178,880.05

The maximum authorized for the Services under this Authorizing Addendum is \$2,172,924.25 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 144 Skye Ranch 4 (PO 14280100-355, Land DEV PO 727)
- Project and Phase Number:
- Cost Code Number: 021520 Excavation
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

- a) Scope of Work:

CREDITS					
1	Double Row 38t Fence	-734.90	LF	\$3.70	-\$2,718.80
2	Inlet Protection Device	-24.00	EA	\$175.00	-\$1,340.00
3					\$0.00

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.
6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.
7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____  _____

Print Name: Jamie Kuca

Title: PM Land Development

Date: 7/11/2023

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By: _____  _____

Print Name: Liz Garrido

Title: Treasurer

Date: 7/11/2023

**AUTHORIZING ADDENDUM #151 Skye Ranch 8
TO
MASTER LAND DEVELOPMENT SERVICES AGREEMENT**

TAYLOR MORRISON:
Taylor Morrison of Florida, Inc., a Florida corporation

CONTRACTOR:
RYAN GOLF CORPORATION, a Florida corporation

Job Code: 14280100
PO: 14280100-411

NOTICE TO PROCEED DATE: 01/28/2022
SUBSTANTIAL COMPLETION DATE: See EXHIBIT C

DESCRIPTION OF WORK:

This Authorizing Addendum to Master Land Development Services Agreement (“**Authorizing Addendum**”) is made and entered into effective as of 28th day of January, 2022 by and between **Taylor Morrison of Florida, Inc., a Florida corporation** (“**Taylor Morrison**”) and **RYAN GOLF CORPORATION, a Florida corporation** (“**Contractor**”), with respect to the Master Land Development Services Agreement between Taylor Morrison and Contractor dated January 12, 2012 (the “**Agreement**”).

1. **Scope/Work.** Pursuant to the Agreement, Contractor shall perform the Work for the Contract Price and within the time frame set forth on **Exhibit A** attached to this Authorizing Addendum.
2. **Site.** The Work will be performed at the job site (the “**Site**”), the location of which is legally described on **Exhibit B** attached hereto.

Unless otherwise defined herein, all capitalized terms used in this Authorizing Addendum shall have the meanings set forth in the Agreement. This Authorizing Addendum may be executed simultaneously or in counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. In the event of a conflict between the provisions of the Agreement and this Authorizing Addendum, the Agreement shall control except to the extent that the Authorizing Addendum specifically states that a provision is intended to modify the Agreement. Except as supplemented by this Authorizing Addendum, all provisions of the Agreement shall remain in full force and effect.

TAYLOR MORRISON:
Taylor Morrison of Florida, Inc., a Florida corporation

CONTRACTOR:
RYAN GOLF CORPORATION,

DocuSigned by:
Morris Hill
D4A4E0832F50477...

By: _____
Name: Morris Hill
Title: PM Land Development
Date: 2/3/2022

DocuSigned by:
Liz Garrido
850BA696F0E6454...

By: _____
Name: _____
Title: Treasurer
Date: 2/3/2022

DocuSigned by:
John Wollard
B916F3B5222646F...

2/3/2022

DocuSigned by:
[Signature]
B0802F246E99403...

2/3/2022

DocuSigned by:
Steve Kempton
25D75F6A56EC5404...

2/4/2022

DocuSigned by:
Louis E. Steffens
81D124F06156419...

2/4/2022

AUTHORIZING ADDENDUM #151 Skye Ranch 8
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES

EXHIBIT A
 SCOPE/CONTRACT PRICE/SCHEDULE

Job No.: 14280100

PO: 14280100-411

Taylor Morrison's Representative: Morris Hill

Contractor's Representative: Cort Byrnes

1. **Schedule.** The Work shall be completed during the following time frames: **See Exhibit C**
2. **Contract Price/Budget.** The Contract Price is as follows: **Not to exceed \$6,816,408.24**
3. **Hourly Fee Schedule.** Contractor's hourly fee schedule including time period for which rates apply: N/A
4. **Additional or Modified Provisions.** **NONE**
5. **Description of Work.** Contractor shall provide the following services for the Project (the "Work"):

Skye Ranch			
Neighborhood 5			
BID SCHEDULE - REV 02			
	Bid Date:	Friday, November 12, 2021	
	Bid Due Date:	Friday, December 10, 2021	
	Bid Plan No., Rev No.	Skye Ranch N5 - REV02	
	Contractor	RYANGOLF CORPORATION	
SUMMARY			
	Potable Water		\$680,265.90
	Wastewater		\$1,244,715.30
	Paving		\$871,592.76
	Drainage		\$1,528,330.50
	Irrigation		\$559,660.50
	Earthwork		\$1,773,843.28
	Survey		\$104,000.00
	Geotechnical Testing		\$54,000.00
		TOTAL =	\$6,816,408.24

GRADING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Grading Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

1. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "Soils Report").
2. Select applicable provision by checking either Option 2(A) **OR** 2(B):

A. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

B. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

3. The Work includes hurricane pump and/or pump/standpipe to fill water pulls and trucks.
4. Contractor shall provide earthwork calculations in its bid submittal.
5. Contractor shall coordinate its equipment line up with Taylor Morrison.
6. Contractor shall notify Taylor Morrison 48 hours prior to any staking or testing being required.
7. Contractor shall undercut all basins _____, or per direction of Taylor Morrison.
8. Contractor shall undercut all street 0.20' and leave all street subgrade flat (no crown).
9. Contractor shall cut all sidewalk areas 3" from top of curb elevation.
10. Contractor shall build stepped pads when adjacent pad differential is equal to or greater than 0.25' and rake when less than 0.25'.
11. Contractor shall overbuild front yards 5' from BSL on Final Plat and slope to sidewalk grade (do not bench).
12. Contractor shall overbuild all property lines 2' to allow for wall footing.
13. Contractor shall overbuild all areas with sidewalks a minimum of 18".
14. Contractor shall cut all retaining walls back 3' and leave spoils on the upper pad side to allow for backfill of retaining walls.

- 15. Contractor shall cut basins _____ in retention basins with dry wells, or per direction of Taylor Morrison, to make room for dry well spoils.
- 16. Contractor must supply weekly safety report and dust control records.
- 17. Contractor is required to have a Certified Dust Coordinator onsite at all times during operations, without exception.
- 18. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during grading operations.

MATERIALS TESTING AND ENGINEER OF RECORD SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Material Testing and Engineer of Record Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

- 19. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").
- 20. Select applicable provision by checking Option 2(A) OR 2(B):

C. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

D. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

Materials Testing-

- 21. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.
- 22. Contractor shall sample and test earthwork for building pads, trench backfill and subgrade beneath paving, curbs, gutters and sidewalks.
- 23. Contractor shall sample and test concrete for curbs, gutters and sidewalks.
- 24. Contractor shall sample and test ABC below asphaltic concrete pavement.
- 25. Contractor shall sample and test asphaltic concrete materials.
- 26. Contractor shall sample and test electrical for SRP equipment pads.

Observation-

- 27. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.
- 28. Contractor shall observe all earthwork and trenching operations.
- 29. Contractor shall observe placement of concrete for curbs, gutters and sidewalks.
- 30. Contractor shall observe placement of asphaltic concrete materials.

Engineer of Record-

- 31. Contractor shall be the Engineer of Record for ADEQ/MCESD certification and coordinate all activities with Taylor Morrison and the municipal inspector;
- 32. Engineer of Record shall observe construction of the water and sewer lines, keep paper record of all testing operations, and provide records to Taylor Morrison within 24 hours of testing (including but not limited to water pressure tests, water bacteriological tests, sewer air tests, sewer pressure tests, and mandrel).
- 33. Engineer of Record shall review the filming of the sewer lines, certify the as-built drawings, and provide the written Approval of Construction documentation to Taylor Morrison for submittal to ADEQ.

Reports-

- 34. Reports shall be generated in a timely manner and disseminated to Taylor Morrison and its applicable contractors.
- 35. Weekly field/progress reports shall be submitted to Taylor Morrison.

PAVING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Paving Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

- 36. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "Soils Report").
- 37. Select applicable provision by checking either Option 2(A) **OR** 2(B):

E. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

F. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

38. Contractor shall clean out all laydown machines and other equipment in designated areas only, as determined by Taylor Morrison's Designated Representative.
39. Contractor's Work shall be performed in strict accordance with the Project's Contract Documents.
40. Contractor is required to furnish all labor, equipment, and materials to construct the improvements as set forth in the Project's Contract Documents. This work shall include but is not limited to: paving asphalt, subgrade prep, installing and prepping A.B.C., achieving compaction, adjust manholes, valves, and cleanouts, as well as providing and installing: barricades, survey monuments, fire hydrant markers, street sign bases, signage and striping, and temporary and/or permanent barricading.
41. Contractor shall re-grade any areas disturbed by the water, sewer, or utility contractors. The cost of this work shall be included in the bid, assuming the grade left by all utility contractors 0.30' from the original rough grade or 0.30' from design grade.
42. Contractor shall notify Taylor Morrison's Designated Representative at least 48 hours prior to any staking being required.
43. Contractor shall notify Taylor Morrison's Designated Representative at least 24 hours prior to any asphalt being placed for the purpose of coordinating testing.
44. Contractor shall be responsible for coordinating with Taylor Morrison's Designated Representative to provide a water truck for flow testing curb and paving, which cost shall be included in Contractor's bid.
45. Contractor shall be responsible for manhole adjustments, water and gas valve adjustments, street signs and bases, barricades, fire hydrant markers, striping, monuments, etc.
46. Contractors' bid shall include the cost of any removals, saw cuts, etc.
47. Contractor's bid shall include the cost of one mobilization. Additional mobilization costs must also be provided.
48. All entrances used by Contractor shall be kept clean, either by sweeping or washed with a water truck. Any track out shall be cleaned by Contractor on a daily basis.
49. Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur shall become the responsibility of the Contractor to repair, if the original survey stakes are missing when any problems are found. Any utilities or property pins damaged or removed during Contractor's work shall be repaired or replaced at the Contractor's expense.
50. Contractor shall exercise care around all existing improvements. Contractor shall arrange to walk the site with Taylor Morrison's Designated Representative before Contractor starts its work to determine the extent and location of any cracks in the concrete, the cleanliness of the manholes and the condition of water valves, etc. Any cleanup or repair needed for Contractor's pre-paving work shall be done by the Contractor at its own expense before the paving operation begins.
51. Contractor shall be responsible for all traffic control including barricades, as required by public authorities and Owner. Contractor shall obtain an approved traffic control plan, if the municipality or County within which the Project is located requires a traffic control plan.
52. Normal soil conditions are those outlined in the Soils Report. Any ripping, jack hammering, or blasting that is necessary to perform the work shall be included in Contractor's bid.

WET UTILITIES SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Wet Utilities Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

53. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").

54. Select applicable provision by checking Option 2(A) OR 2(B):

G. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

H. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

55. One mobilization to be included in Agreement. Additional mobilization costs must also be provided.

56. Contractor shall coordinate services of surveying and observation contractors designated by Taylor Morrison;

57. The Contractor shall provide all materials, equipment, and labor necessary to install sewer, water and storm drain improvements as set forth in the Contract Documents. The Work shall include, but is not limited to: trenching, excavating, backfilling and compacting, bacteria, compaction, camera, and pressure testing, furnishing and installing bedding, pipe, fittings, valves, valve boxes and covers, fire hydrants, manholes, plugs, clean-outs, taps, services, meter boxes and lids, and any other necessary appurtenances.

58. Prior to commencing any other work, the Contractor shall expose all existing sewer tie-ins so that the surveyors can verify their locations.

59. Contractor shall install sewer services as follows: Sewer services to be stubbed into property five (5) feet behind the PUE. Sewer taps shall be marked with a 2x4 metal stud. The metal stud shall extend from the sewer tap to 3' above finished grade. Contractor shall paint top twelve (12) inches of metal stud green. The sewer tap should be installed with two 45 degree elbows and extended to within one (1) foot of finished grade. A 3/8" x 12" length of #4 rebar shall be duct taped to end of sewer tap;

60. Contractor shall stub water services up six (6) inches above grade and set to grade after sidewalk installation;

61. If water main valve boxes are located behind sidewalk, Contractor shall adjust them to grade after sidewalk installation;

62. Contractor shall remove any excess or miscellaneous materials from lots prior to receiving final payment;

63. Contractor will return site to +/- .3 ft. of original grade including lots, R.O.W., and P.U.E., and will be confirmed by Taylor Morrison's Designated Representative. Any excess dirt, ABC, or chips remaining after all trenches have been backfilled and compacted shall be spread evenly in the streets. Contractor will be responsible for all testing and coordination with inspectors or government entities. The Contractor will leave all trenches open long enough to allow as-built locations to be verified by the Owner's surveyor.

64. All sewer and water tie-ins that are in existing pavement will be permanently patched back by the sewer and water contractor, per governing municipality/provider requirements.

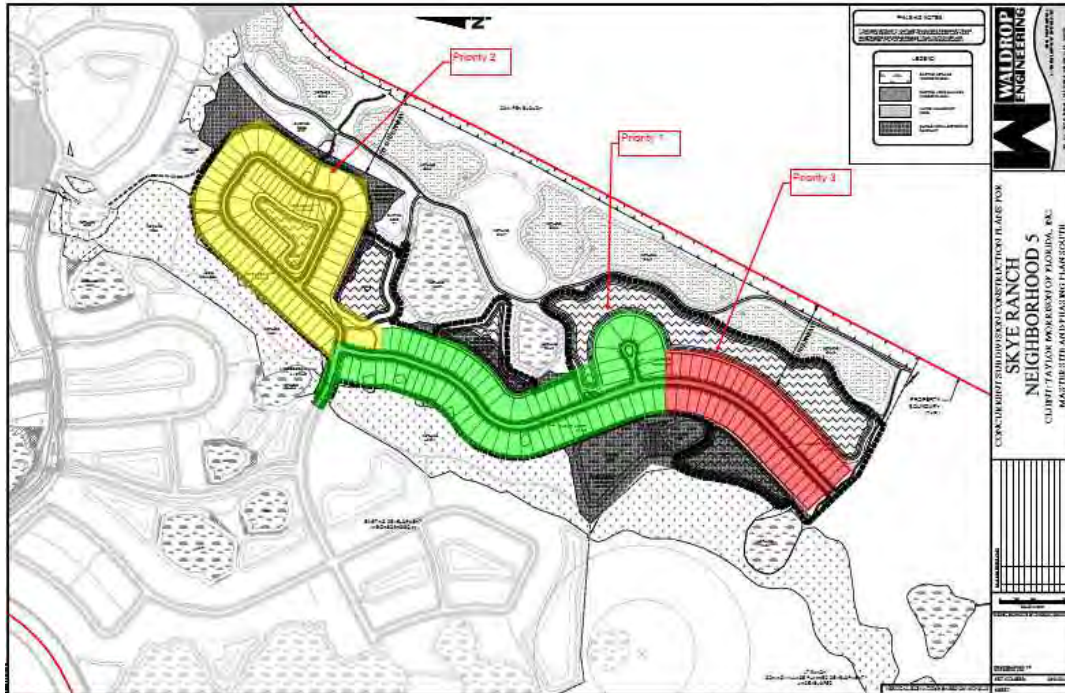
65. Contractor pricing to include municipality/private provider approved methods for backfill.
66. Contractor will provide all necessary barricades, barricade plans and traffic control plans. Contractor is responsible for city or county acceptance if necessary.
67. Contractor shall include in its bid price the cost for two air pressure and camera tests of the sewer system. One test will be after the sewer has been installed to verify that it has been installed correctly, and one test after the remainder of the underground utilities have been installed to verify that the sewer was not damaged by the installation of other utilities.
68. This proposal is to be based on the use of standard trenching equipment equivalent to a 125,000-pound class excavator with a rock bucket and with a production rate of at least 200 linear feet per an 8-hour working day. All excavation beyond the capability of the said equipment at the said production rate will be considered hard excavation.
69. Bidding Contractors to visit the site and account for any borings that may be necessary for any irrigation crossings.
70. Taylor Morrison' shall be notified by Contractor 48 hours prior to any staking being required;
71. The Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur will become the responsibility of the Contractor to repair if the original survey stakes are missing when any problems are found.
72. All costs associated with maintaining all dust control are included in the Agreement – this includes, but is not limited to, all dust generating activities, haul roads around the site, trenching, machine work, and using provided ingress/egress to and from the site. etc.
73. Contractor must use provided entrances/exits when arriving or leaving site. Any fines/violations incurred for this failure to comply will be paid by contractor. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during operations.
74. Contractor shall supply weekly safety and dust records.

**AUTHORIZING ADDENDUM #151 Skye Ranch 8
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

**EXHIBIT B
JOB SITE**

LT RANCH

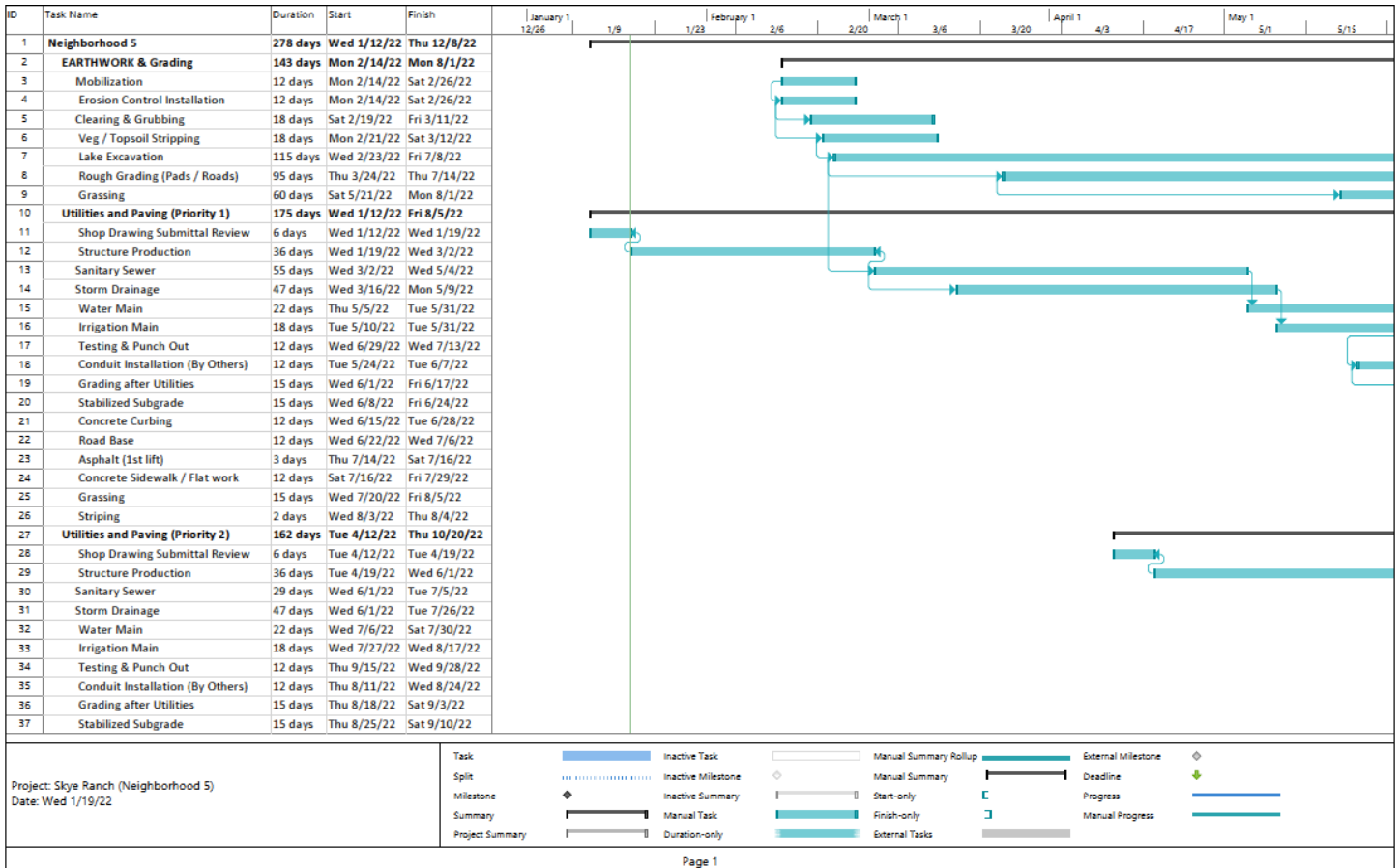
Sections 15, 16, 21, 27, 28 & 33, Township 37 South, Range 19 East,
Sarasota County, Florida



AUTHORIZING ADDENDUM #151 Skye Ranch 8 TO MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES

EXHIBIT C SCHEDULE

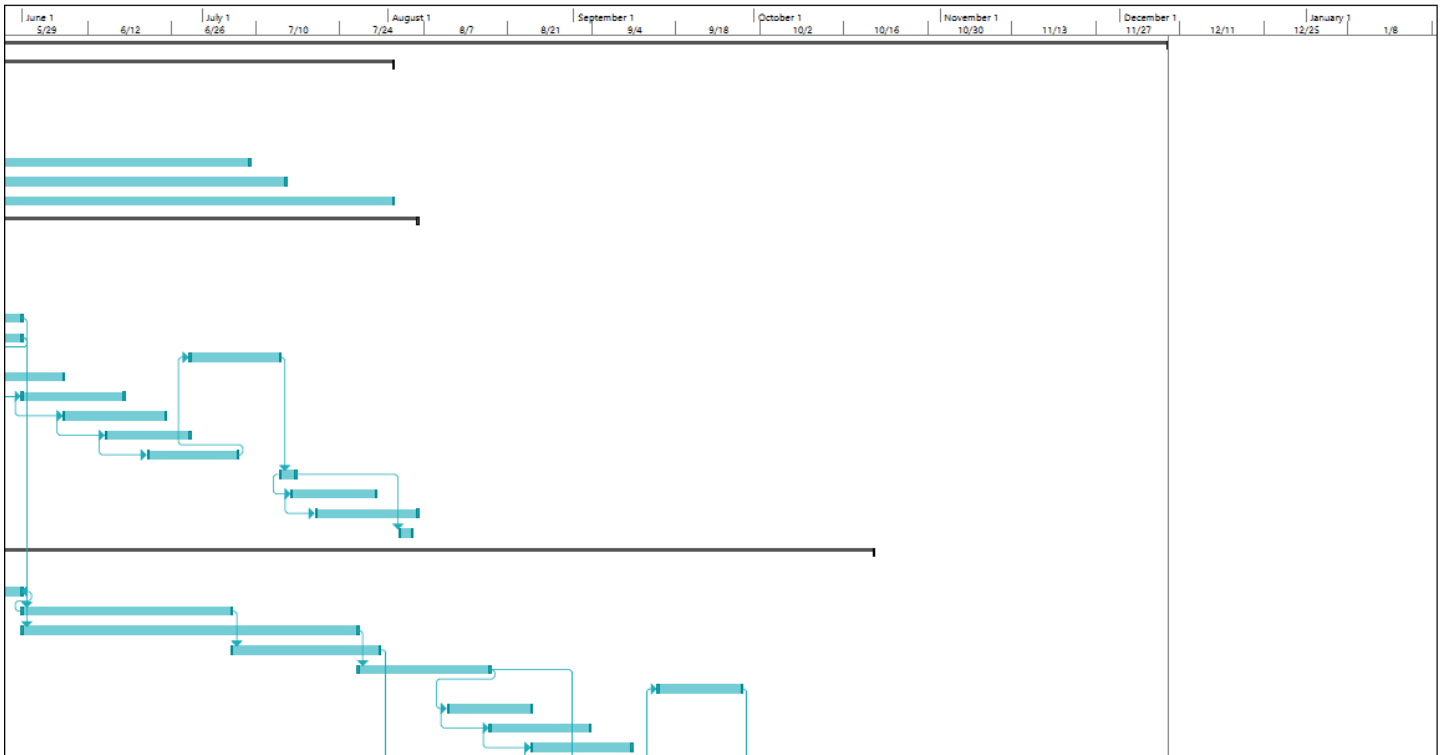
**** There will be a liquidated delay fee of \$500 per day assessed to the contract for every day past substantial completion and Road open. There will be no delay fee if delay is due to Taylor Morrison.**



ID	Task Name	Duration	Start	Finish	January 1 12/26	1/9	February 1 1/23	2/6	2/20	March 1 3/6	3/20	April 1 4/3	4/17	May 1 5/1	5/15
38	Concrete Curbing	12 days	Thu 9/1/22	Wed 9/14/22											
39	Road Base	12 days	Thu 9/8/22	Wed 9/21/22											
40	Asphalt (1st lift)	2 days	Thu 9/29/22	Fri 9/30/22											
41	Concrete Sidewalk / Flat work	12 days	Sat 10/1/22	Fri 10/14/22											
42	Grassing	15 days	Tue 10/4/22	Thu 10/20/22											
43	Striping	2 days	Tue 10/18/22	Wed 10/19/22											
44	Utilities and Paving (Priority 3)	138 days	Sat 6/25/22	Thu 12/8/22											
45	Shop Drawing Submittal Review	6 days	Sat 6/25/22	Sat 7/2/22											
46	Structure Production	24 days	Sat 7/2/22	Mon 8/1/22											
47	Sanitary Sewer	17 days	Mon 8/1/22	Sat 8/20/22											
48	Storm Drainage	24 days	Mon 8/22/22	Sat 9/17/22											
49	Water Main	11 days	Thu 9/1/22	Tue 9/13/22											
50	Irrigation Main	9 days	Wed 9/14/22	Fri 9/23/22											
51	Testing & Punch Out	6 days	Tue 11/8/22	Mon 11/14/22											
52	Conduit Installation (By Others)	10 days	Sat 9/24/22	Wed 10/5/22											
53	Grading after Utilities	12 days	Thu 10/6/22	Wed 10/19/22											
54	Stabilized Subgrade	10 days	Thu 10/13/22	Mon 10/24/22											
55	Concrete Curbing	10 days	Thu 10/20/22	Mon 10/31/22											
56	Road Base	10 days	Thu 10/27/22	Mon 11/7/22											
57	Asphalt (1st lift)	2 days	Tue 11/15/22	Wed 11/16/22											
58	Concrete Sidewalk / Flat work	10 days	Thu 11/17/22	Thu 12/1/22											
59	Grassing	12 days	Sat 11/19/22	Tue 12/6/22											
60	Striping	2 days	Wed 12/7/22	Thu 12/8/22											

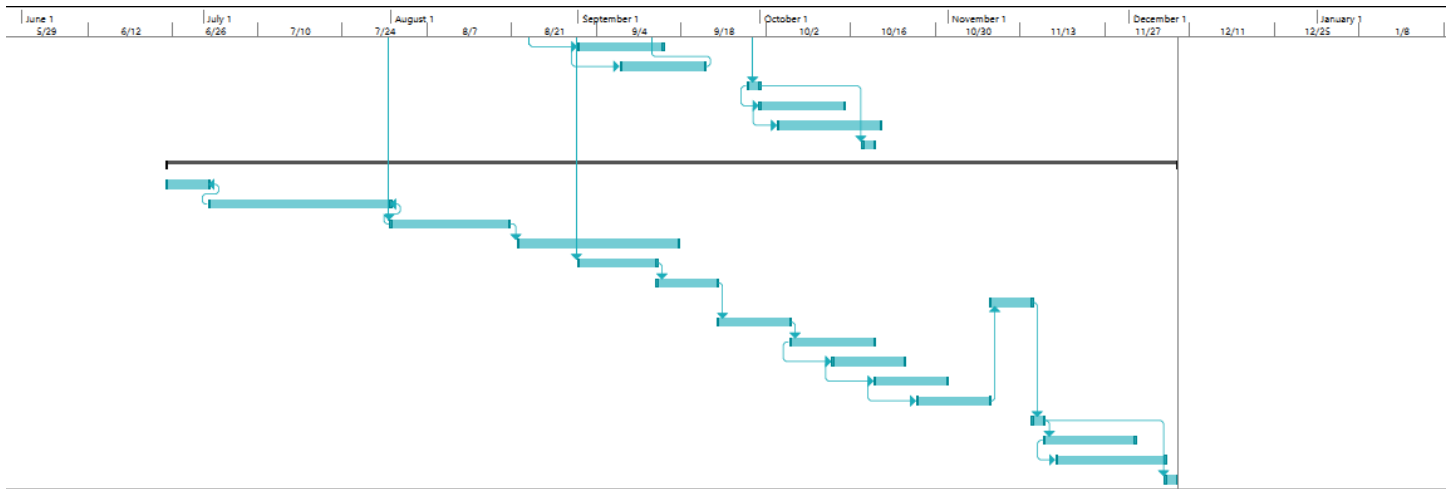
Project: Skye Ranch (Neighborhood 5)
Date: Wed 1/19/22

Task	Inactive Task	Manual Summary Rollup	External Milestone
Split	Inactive Milestone	Manual Summary	Deadline
Milestone	Inactive Summary	Start-only	Progress
Summary	Manual Task	Finish-only	Manual Progress
Project Summary	Duration-only	External Tasks	



Project: Skye Ranch (Neighborhood 5)
Date: Wed 1/19/22

Task	Inactive Task	Manual Summary Rollup	External Milestone
Split	Inactive Milestone	Manual Summary	Deadline
Milestone	Inactive Summary	Start-only	Progress
Summary	Manual Task	Finish-only	Manual Progress
Project Summary	Duration-only	External Tasks	



Project: Skye Ranch (Neighborhood 5)
Date: Wed 1/19/22

Task		Inactive Task		Manual Summary Rollup		External Milestone	
Split		Inactive Milestone		Manual Summary		Deadline	
Milestone		Inactive Summary		Start-only		Progress	
Summary		Manual Task		Finish-only		Manual Progress	
Project Summary		Duration-only		External Tasks			

Page 4

**AUTHORIZING ADDENDUM #151 Skye Ranch 8
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

EXHIBIT D
SCHEDULE OF VALUES

POTABLE WATER							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
W-1	12" PVC WM (C900 DR-18)	838	843	LF	\$97.00	\$81,771.00	10
W-2	8" PVC WM (C900 DR-18)	4,491	4,504	LF	\$49.50	\$222,948.00	20
W-3	6" PVC WM (C900 DR-18)	1,341	1,345	LF	\$35.50	\$47,747.50	30
W-4	4" PVC WM (C900 DR-18)	162	161	LF	\$35.00	\$5,635.00	40
W-5	2" HDPE WM (C900 DR-18)	89	91	LF	\$18.00	\$1,638.00	50
W-6	2" PE Discharge pipe	232	241	LF	\$18.00	\$4,338.00	60
W-7	12" Gate Valve	1	1	EA	\$4,215.00	\$4,215.00	70
W-8	8" Gate Valve	11	11	EA	\$2,475.00	\$27,225.00	80
W-9	6" Gate Valve	4	4	EA	2050	\$8,200.00	90
W-10	1" Single Service (Short)	100	99	EA	1150	\$113,850.00	100
W-11	1" Single Service (Long)	70	71	EA	\$1,275.00	\$90,525.00	110
W-12	Hydrant Assembly	9	9	EA	\$5,265.00	\$47,385.00	120
W-13	2" HG-2 Autoflusher	1	1	EA	\$12,000.00	\$12,000.00	130
W-14	Chlorination & Testing	6,921	6,944	LF	\$1.10	\$7,638.40	140
**	Remove Temp Auto Flshr & CTE 12" WM		1	EA	\$5,150.00	\$5,150.00	150
TOTAL						\$680,265.90	

WASTEWATER							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
WW-1	8" PVC Sanitary Sewer SDR-26 (0-6')	1,386	1,314	LF	\$48.00	\$63,072.00	160
WW-2	8" PVC Sanitary Sewer SDR-26 (6-8')	1,560	1,917	LF	\$53.00	\$101,601.00	170
WW-3	8" PVC Sanitary Sewer SDR-26 (8-10')	1,083	678	LF	\$60.00	\$40,680.00	180
WW-4	8" PVC Sanitary Sewer SDR-26 (10-12')	637	780	LF	\$73.50	\$57,330.00	190
WW-5	8" PVC Sanitary Sewer SDR-26 (12-14')	630	659	LF	\$91.00	\$59,969.00	200
WW-6	8" PVC Sanitary Sewer SDR-26 (14-16')	614	562	LF	\$110.00	\$61,820.00	210
WW-7	8" PVC Sanitary Sewer SDR-26 (16-18')	400	400	LF	\$141.00	\$56,400.00	220
WW-8	8" PVC Sanitary Sewer DR-14 (16-18')	44	44	LF	\$179.00	\$7,876.00	230
WW-9	Manhole 4' Diameter (0-6')	8	8	EA	\$6,000.00	\$48,000.00	240
WW-10	Manhole 4' Diameter (6-8')	5	5	EA	\$7,000.00	\$35,000.00	250
WW-11	Manhole 4' Diameter (8-10')	4	4	EA	\$8,500.00	\$34,000.00	260
WW-12	Manhole 4' Diameter (10-12')	2	2	EA	\$9,500.00	\$19,000.00	270
WW-13	Manhole 4' Diameter (12-14')	2	2	EA	\$10,500.00	\$21,000.00	280
WW-14	Manhole 4' Diameter (14-16')	1	1	EA	\$11,750.00	\$11,750.00	290
WW-15	Manhole 4' Diameter (16-18')	1	1	EA	\$13,000.00	\$13,000.00	300
WW-16	Manhole 4' Diameter LINED (16-18')	1	1	EA	\$18,500.00	\$18,500.00	310
WW-17	Single Lateral Service	23	23	EA	\$1,575.00	\$36,225.00	320
WW-18	Double Lateral Service	169	73	EA	\$1,700.00	\$124,100.00	330
WW-19	Testing and Inspection (TV, Mandrel & Air)	6,354	6,354	LF	1.35	\$8,577.90	340
WW-20	Lift Station	1	1	EA	355000	\$355,000.00	350
WW-21	4" PVC FM (C900 DR-18)	2,081	2,093	LF	30.25	\$63,313.25	360
WW-22	4" Gate Valve	1	1	EA	2850	\$2,850.00	370
WW-23	Testing and Inspection (FM)	2,081	2,093	LF	0.55	\$1,151.15	380
**	Remove Ex. B/O and Connect to Ex.		1	EA	4500	\$4,500.00	390
TOTAL						\$1,244,715.30	

PAVING							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
P-1	1" Type SP-9.5 Asphalt 1st Lift	18,889	18,889	SY	\$6.30	\$119,000.70	400
P-2	7" Shell Base (98% Density LBR 100)	18,889	18,889	SY	\$13.00	\$245,557.00	410
P-3	8" Subgrade (Type B Stabilization LBR 40)	21,722	23,425	SY	\$7.05	\$165,146.25	420
P-4	1st Lift Temp. Striping (Sinage by others)	1	1	LS	\$4,400.00	\$4,400.00	430
P-5	2' Valley Gutter	8,673	10,425	LF	11.35	\$118,323.75	440
P-6	Type F Curb	2,618	2,995	LF	12.9	\$38,635.50	450
P-7	Type A Curb	191	191	LF	\$20.35	\$3,886.85	460
P-8	4" Concrete Sidewalk (12' wide)	937	937	SY	\$36.90	\$34,575.30	470
P-9	4" Concrete Sidewalk (8' wide)	718	718	SY	\$36.90	\$26,494.20	480
P-10	4" Concrete Sidewalk (5' wide)	1,925	1,925	SY	\$36.90	\$71,029.27	490
P-11	Bahia Sod (8' BOC - Front of Lots Only)	7,581	7,581	SY	\$2.16	\$16,374.96	500
P-12	Bahia Sod (2' BOC - See exhibit)	128	128	SY	\$2.16	\$276.48	510
P-13	ADA Handicapped Ramps w/ Detectable Warnings	10	10	EA	\$975.00	\$9,750.00	520
**	Temp Turnaround		1	EA	\$9,300.00	\$9,300.00	530
**	Lift Station Driveway, 6"		110	SY	\$67.50	\$7,425.00	540
**	Bench Concrete Pad, 6"		21	SY	\$67.50	\$1,417.50	550
TOTAL						\$871,592.76	

DRAINAGE							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
D-1	10" HDPE	1,995	1,987	LF	\$30.00	\$59,610.00	560
D-2	12" HDPE	1,835	1,835	LF	\$37.00	\$67,895.00	570
D-3	15" HDPE	1,240	1,256	LF	\$47.00	\$59,032.00	580
D-4	18" HDPE	238	174	LF	\$57.00	\$9,918.00	590
D-5	30" HDPE	692	692	LF	\$125.00	\$86,500.00	600
D-6	15" RCP	977	853	LF	\$57.00	\$48,621.00	610
D-7	18" RCP	1,182	1,182	LF	\$79.00	\$93,378.00	620
D-8	24" RCP	1,613	1,613	LF	\$83.00	\$133,879.00	630
D-9	30" RCP	2,271	2,241	LF	\$112.50	\$252,112.50	640
D-10	36" RCP	720	720	LF	\$146.00	\$105,120.00	650
D-11	42" RCP	177	177	LF	\$195.00	\$34,515.00	660
D-12	Yard Drain	55	54	EA	\$1,350.00	\$72,900.00	670
D-13	Grate Inlet	17	17	EA	4950	\$84,150.00	680
D-14	Valley Gutter Inlet	22	22	EA	5800	\$127,600.00	690
D-15	Type "9" Curb Inlet	6	6	EA	5250	\$31,500.00	700
D-16	Junction Box	9	9	EA	\$5,950.00	\$53,550.00	710
D-17	Type "C" Inlet	2	2	EA	\$4,000.00	\$8,000.00	720
D-18	Type "D" Inlet	3	2	EA	\$5,800.00	\$11,600.00	730
D-19	Type "F" Inlet	2	2	EA	5500	\$11,000.00	740
D-20	Type "H" Inlet	1	2	EA	13700	\$27,400.00	750
D-21	Control Structures	5	3	EA	8250	\$24,750.00	760
D-22	Rip Rap Outfall Structures	6	6	EA	1500	\$9,000.00	770
D-23	10" Flared End	5	5	EA	3000	\$15,000.00	780
D-24	15" Flared End	1	1	EA	\$3,750.00	\$3,750.00	790
D-25	24" Flared End	5	5	EA	\$4,250.00	\$21,250.00	800
D-26	30" Flared End	7	7	EA	\$4,850.00	\$33,950.00	810
D-27	36" Flared End	4	4	EA	\$5,600.00	\$22,400.00	820
D-28	42" Flared End	1	1	EA	\$6,700.00	\$6,700.00	830
**	Connect to Ex. 30" RCP (added 5 tons gr)		1	EA	\$3,950.00	\$3,950.00	840
**	Connect to Ex. 36" RCP (added 5 tons gr)		2	EA	\$4,650.00	\$9,300.00	850
TOTAL =						\$1,528,330.50	

IRRIGATION							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
I-1	8" PVC Irrigation Main (C900 DR-18)	4,306	4,329	LF	\$51.50	\$222,943.50	860
I-2	6" PVC Irrigation Main (C900 DR-18)	731	741	LF	\$34.50	\$25,564.50	870
I-3	4" PVC Irrigation Main (C900 DR-18)	1,372	1,680	LF	\$27.00	\$45,360.00	880
I-4	8" Gate Valve	6	6	EA	2700	\$16,200.00	890
I-5	6" Gate Valve	2	1	EA	2250	\$2,250.00	900
I-6	4" Gate Valve	4	5	EA	1825	\$9,125.00	910
I-7	1" Single service (short)	26	27	EA	1125	\$30,375.00	920
I-8	1" Double service (short)	22	22	EA	\$1,925.00	\$42,350.00	930
I-9	1" Single service (long)	17	14	EA	\$1,375.00	\$19,250.00	940
I-10	1" Double service (long)	41	42	EA	\$2,200.00	\$92,400.00	950
I-11	2" single service (COMMON)	11	8	EA	\$2,650.00	\$21,200.00	960
I-12	6" Permanent Blowoff	2	2	EA	\$2,915.00	\$5,830.00	970
I-13	4" Permanent Blowoff	1	1	EA	2800	\$2,800.00	980
I-14	2" Permanent Blowoff	2	2	EA	2100	\$4,200.00	990
I-15	Testing and Inspection	6,409	6,750	LF	0.55	\$3,712.50	1000
**	Remove B/O & CTE, 8"		1	EA	4500	\$4,500.00	1010
**	2" single service (COMMON) long		4	EA	2900	\$11,600.00	1020
TOTAL						\$559,660.50	

EARTHWORK							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
E-1	Mobilization	1	1	LS	\$85,000.00	\$85,000.00	1030
E-2	Clearing and Grubbing	-	75.3	AC	\$1,650.00	\$124,245.00	1040
E-3	Double Row Silt Fence	10,683	10,683	LF	\$3.70	\$39,527.23	1050
E-4	Single Row Silt Fence	2,352	2,352	LF	\$1.85	\$4,350.87	1060
E-5	Inlet Protection Device	100	100	EA	\$125.00	\$12,500.00	1070
E-6	Finish Grading (Lots & ROW)	49.0	49.0	AC	\$1,200.00	\$58,742.61	1080
E-7	Seed and Mulch (Lots)	34.4	34.4	AC	\$1,100.00	\$37,860.77	1090
E-8	Bahia Sod (pond slope stabilization TOB-NWL)	33,158	33,158	SY	\$2.16	\$71,621.60	1100
E-9	Bahia Sod (6' wide rear yard swales)	5,076	5,076	SY	\$2.16	\$10,964.82	1110
E-10	NPDES Compliance	1	1	LS	\$28,500.00	\$28,500.00	1120
E-11	Pond M1 Excavation (20' depth)	26,863	26,863	CY	\$2.85	\$76,559.55	1130
E-12	Pond N1 Excavation (12' depth)	40,453	40,453	CY	\$2.85	\$115,291.05	1140
E-13	Pond U1 Excavation (20' depth)	37,511	37,511	CY	\$2.85	\$106,906.35	1150
E-14	Pond V1 Excavation (20' depth)	254,223	254,223	CY	\$2.85	\$724,535.55	1160
E-15	Pond W1 Excavation (14' depth)	45,146	45,146	CY	\$2.85	\$128,666.10	1170
E-16	Berm placement and rough grading - See Landscape Plans	-	-	CY	N/A	t.b.d.	
**	Tree Protection Fence (Orange Constr Fnc)		2,100	LF	\$3.50	\$7,350.00	1180
**	Construction Entrance		1	EA	\$5,850.00	\$5,850.00	1190
**	Rough Grading		49	AC	\$850.00	\$41,650.00	1200
**	Swale Grading		7,230	LF	\$2.35	\$16,990.50	1210
**	Berm Grading (@ pond int)		6,200	LF	\$3.35	\$20,770.00	1220
**	Bahia Sodding (Pad Back Slopes & berms)		25,908	SY	\$2.16	\$55,961.28	1230
EARTHWORK TOTAL						\$1,773,843.28	

SURVEYING							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
S-1	Construction Stake-out	1	1	LS	\$104,000.00	\$104,000.00	1240
S-2	Record As-built Survey	1	1	LS	N/A	incl above	
SURVEYING TOTAL =						\$104,000.00	

GEOTECHNICAL TESTING							
Item #	Description	Engineer Quantity	Contractor Quantity	Unit	Unit Price	Amount	Line
Skye Ranch Neighborhood 5							
G-1	Compaction Testing (Roads & Utilities)	1	1	LS	\$54,000.00	\$54,000.00	1250
GEOTECHNICAL TOTAL =						\$54,000.00	

TAYLOR MORRISON**AMENDMENT #1
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")****(FLORIDA)**

This Amendment #1 (the "Authorizing Addendum Amendment") made and entered into as of July 12, 2022 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation** ("Contractor") and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation** ("Taylor Morrison") as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$15,153.19 to previously authorized amount of \$6,816,408.24

The maximum authorized for the Services under this Authorizing Addendum is \$6,831,571.43 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 151 Skye Ranch 8 (PO 14280100-411, Land DEV PO 735)
- Project and Phase Number:
- Cost Code Number: 310100 Paving
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

- a) Scope of Work:

SKYE RANCH (Missing section from N4 to N5) (Sarasota Co., Florida)	QUANTITY	UNIT	UNIT COST	BID AMOUNT
Finish Grading (Lots & ROW)	0.20	AC	\$1,200.00	\$240.00
**Rough Gading	0.20	AC	\$850.00	\$170.00
1" Type SP-9.5 Asphalt 1st Lift	240.00	SY	\$6.30	\$1,512.00
7" Shell Base (98% Density LBR 100)	240.00	SY	\$13.00	\$3,120.00
8" Subgrade (Type B Stabilization LBR 40)	292.00	SY	\$7.05	\$2,058.60
1st Lift Temp. Striping (Signage by others)	1.00	LS	\$600.00	\$600.00
Type F Curb	155.00	LF	\$12.90	\$1,999.50
4" Concrete Sidewalk (12' wide x 76')	101.34	SY	\$36.90	\$3,739.45
4" Concrete Sidewalk (5' wide x 80')	44.45	SY	\$36.90	\$1,640.21
Bahia Sod (2' BOC - See exhibit)	34.00	SY	\$2.16	\$73.44

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.
6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.
7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____

FAD81E182E9E419

Print Name: Jamie Kuca

Title: PM Land Development

Date: 7/13/2022

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By: _____

850BA698F9E6454

Print Name: Liz Garrido

Title: Treasurer

Date: 7/12/2022

TAYLOR MORRISON

**AMENDMENT #2
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #2 (the "Authorizing Addendum Amendment") made and entered into as of November 10, 2022 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$80,804.60 to previously authorized amount of \$6,831,571.43

The maximum authorized for the Services under this Authorizing Addendum is \$6,912,376.03 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 151 Skye Ranch 8 (PO 14280100-411, Land DEV PO 735)
- Project and Phase Number:
- Cost Code Number: 021520 Grading
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

- a) Scope of Work:

SKYE RANCH - Neighborhood 5 (Over-Excavation) (Sarasota Co., Florida)	QUANTITY	UNIT	UNIT COST	TOT. AMOUNT
N5 Pond Over - Excavation (V1)	26,066.00	CY	\$3.10	\$80,804.60

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

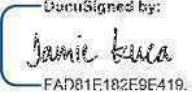
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____

FAD81E182E9E419

Print Name: Jamie Kuca

Title: PM Land Development

11/11/2022

Date: _____

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By: _____

850BA696F9E6454

Print Name: Liz Garrido

Title: Treasurer

11/10/2022

Date: _____

TAYLOR MORRISON

**AMENDMENT #3
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #3 (the "Authorizing Addendum Amendment") made and entered into as of January 12, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation** ("Contractor") and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation** ("Taylor Morrison") as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$8,755.00 to previously authorized amount of \$6,912,376.03

The maximum authorized for the Services under this Authorizing Addendum is \$6,921,131.03 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 151 Skye Ranch 8 (PO 14280100-411, Land DEV PO 735)
- Project and Phase Number:
- Cost Code Number: 320100 Water
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

- a) Scope of Work:

<u>(Barrow Co., Florida)</u>	QUANTITY	UNIT	UNIT COST	BID AMOUNT
<u>Labor & Equipment for Installation of Accessories</u>	1.00	LS	<u>\$8,853.00</u>	<u>\$8,853.00</u>
<u>Materials for Connecting accessories and pipe</u>	1.00	LS	<u>\$2,100.00</u>	<u>\$2,100.00</u>

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

Taylor Morrison

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____  _____
FAD81E182E9E419

Print Name: Jamie Kuca

Title: PM Land Development

Date: 1/18/2023

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By: _____  _____
85GBA696F0E6454...

Print Name: Liz Garrido

Title: Treasurer

Date: 1/18/2023

TAYLOR MORRISON

**AMENDMENT #4
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #4 (the "Authorizing Addendum Amendment") made and entered into as of June 14, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation** ("Contractor") and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation** ("Taylor Morrison") as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$1,350.00 to previously authorized amount of \$6,921,131.03

The maximum authorized for the Services under this Authorizing Addendum is \$6,922,481.03 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 151 Skye Ranch 8 (PO 14280100-411, Land DEV PO 735)
- Project and Phase Number:
- Cost Code Number: 320100 Water
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

a) Scope of Work:

<u>SKYE RANCH- NS (BACTERIOLOGICAL TESTING)</u> <u>(Sarasota Co., Florida)</u>	<u>QUANTITY</u>	<u>UNIT</u>	<u>UNIT COST</u>	<u>BID AMOUNT</u>
Bacteriological Testing - NS	1.00	LS	\$1,350.00	\$1,350.00

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

DocuSigned by:
Jamie Kuca
FAD81E182E9E419...

By: _____

Print Name: Jamie Kuca

Title: PM Land Development

Date: 6/21/2023

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

DocuSigned by:
Liz Garrido
B508A698F0E6454...

By: _____

Print Name: Liz Garrido

Title: Treasurer

Date: 6/20/2023

TAYLOR MORRISON

**AMENDMENT #5
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #5 (the "Authorizing Addendum Amendment") made and entered into as of November 1, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

Amend 4 has finishing amount \$6,922,481.03 which is overstated by \$10, Correct amount is 6,922,471.03

RK

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$354,467.00 to previously authorized amount of \$6,922,471.03

The maximum authorized for the Services under this Authorizing Addendum is \$7,276,938.03 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 151 Skye Ranch 8 (PO 14280100-411, Land DEV PO 735)
- Project and Phase Number:
- Cost Code Number: 021520 Grading, 00150 Surveying, 320145 Drainage, 320120 Wastewater, 320100 Potable Water, 320150 Irrigation, 310100 Paving
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C
3. **Hourly Fee Schedule:** N/A
4. **Modifications to Description of Work:**

a) Scope of Work:

ITEM	RYANGOLF CORPORATION 614 S. Military Trail, Deerfield Beach, FL 33442 SKYE RANCH Neighborhood 5, (Priority 3), rev.2 (Sarasota Co., Florida)	BID		UNIT COST	BID AMOUNT
		QUANTITY	UNIT		
*	Mobilization & Supervision	1.00	LS	\$15,000.00	\$15,000.00
*	Silt Fence - Single Row	3,060.00	LF	\$2.35	\$7,191.00
*	Inlet Protection	17.00	EA	\$135.00	\$2,295.00
*	Construction Entrance	-	EA	\$7,500.00	Unit Price

ITEM	RYANGOLF CORPORATION		BID		UNIT COST	BID AMOUNT
	614 S. Military Trail, Deerfield Beach, FL 33442 SKYE RANCH Neighborhood 5, (Priority 3), rev.2 (Sarasota Co., Florida)		QUANTITY	UNIT		
*	NPDES Compliance	1.00	LS		\$8,000.00	\$8,000.00
	Remove Ex. Stockpile	1.00	LS		t.b.d.	t.b.d.
	Site Cut Excavation to local fills	-	CY		\$2.50	t.b.d.
*	Rough Grading	11.00	AC		\$1,100.00	\$12,100.00
*	Finish Grading (Lots & ROW)	-	AC		\$1,400.00	Unit Price
*	Seed & Mulch (Lots)	-	AC		\$1,150.00	Unit Price
*	Bahia Sod	3,045.00	SY		\$2.52	\$7,673.40
I	EARTHWORK & GEN CONDITIONS SUBTOTAL					\$52,259.40
	Surveying, Construction Stake-out & As-builts	1.00	LS		\$15,750.00	\$15,750.00
II	SURVEYING SUBTOTAL					\$15,750.00
	Geotech Testing	1.00	LS		\$0.00	\$0.00
III	GEOTECH SUBTOTAL					\$0.00
	10" HDPE	669.00	LF		\$9.00	\$6,021.00
	15" HDPE	366.00	LF		\$10.00	\$3,660.00
	15" RCP	158.00	LF		\$18.00	\$2,844.00
	18" RCP	216.00	LF		\$14.00	\$3,024.00
	24" RCP	199.00	LF		\$17.00	\$3,383.00
	30" RCP	202.00	LF		\$85.00	\$17,170.00
	Valley Gutter Inlet	4.00	EA		\$1,240.00	\$4,960.00
	Grate Inlet	2.00	EA		\$735.00	\$1,470.00
	10" Flared End Section	1.00	EA		\$735.00	\$735.00
	24" Flared End Section	1.00	EA		\$855.00	\$855.00
	30" Flared End Section	1.00	EA		\$1,100.00	\$1,100.00
	Yard Drains	11.00	EA		\$640.00	\$7,040.00
*	Remove and Replace existing 30" RCP to install sew	1.00	LS		\$2,500.00	\$2,500.00
*	Dewatering	1.00	LS		\$20,000.00	\$20,000.00
IV	DRAINAGE SUBTOTAL					\$74,762.00
*	Connect to Existing Manhole	1.00	EA		\$3,145.00	\$3,145.00
	Manhole 4' Diameter (0-6')	1.00	EA		\$1,700.00	\$1,700.00
	Manhole 4' Diameter (6-8')	2.00	EA		\$1,800.00	\$3,600.00
	Manhole 4' Diameter (8-10')	1.00	EA		\$1,900.00	\$1,900.00
	8" PVC Sanitary Sewer (0-6')	396.00	LF		\$9.00	\$3,564.00
	8" PVC Sanitary Sewer (6-8')	529.00	LF		\$10.00	\$5,290.00
	8" PVC Sanitary Sewer (8-10')	206.00	LF		\$13.00	\$2,678.00
	Single Lateral Service	6.00	EA		\$205.00	\$1,230.00
	Double Lateral Service	17.00	EA		\$225.00	\$3,825.00
	Testing and Inspection	1,131.00	LF		\$12.00	\$13,572.00
*	Repurchase Sewer Pipe & Fittings	1.00	LS		\$47,945.00	\$47,945.00
*	Credit for Previously Un-delivered Sewer Materials	1.00	LS		(\$9,688.50)	(\$9,688.50)
V	WASTERWATER SUBTOTAL					\$78,760.50

I T E M	RYANGOLF CORPORATION 614 S. Military Trail, Deerfield Beach, FL 33442 SKYE RANCH Neighborhood 5, (Priority 3), rev.2 (Sarasota Co., Florida)	BID		UNIT COST	BID AMOUNT
		QUANTITY	UNIT		
*	Connect to Existing Water Main	1.00	EA	\$1,825.00	\$1,825.00
*	Remove and Relocate Autoflushing Device	1.00	EA	\$975.00	\$975.00
	2" PE Discharge Pipe for autoflushing device	232.00	LF	\$7.50	\$1,740.00
*	Temporary Blow-off Assembly	1.00	EA	\$2,865.00	\$2,865.00
	8" PVC Water Main	1,173.00	LF	\$6.00	\$7,038.00
	8" Gate Valve	3.00	EA	\$1,620.00	\$4,860.00
	1" Single Service (Short)	19.00	EA	\$510.00	\$9,690.00
	1" Single Service (Long)	23.00	EA	\$635.00	\$14,605.00
	Hydrant Assembly	2.00	EA	\$1,330.00	\$2,660.00
	Chlorination & Testing	1,173.00	LF	\$1.75	\$2,052.75
VI	POTABLE WATER SUBTOTAL				\$48,310.75
*	Connect to Existing Irrigation Main	1.00	EA	\$1,655.00	\$1,655.00
	6" Blow-off Assembly	1.00	EA	\$960.00	\$960.00
	8" PVC Irrigation Main	1,239.00	LF	\$6.00	\$7,434.00
	8" Gate Valve	1.00	EA	\$1,620.00	\$1,620.00
	1" Single service (short)	5.00	EA	\$470.00	\$2,350.00
	1" Single service (long)	3.00	EA	\$630.00	\$1,890.00
	1" Double service (short)	9.00	EA	\$510.00	\$4,590.00
	1" Double service (long)	8.00	EA	\$630.00	\$5,040.00
	2" single service (COMMON) short	1.00	EA	\$900.00	\$900.00
*	2" single service (COMMON) long	1.00	EA	\$1,025.00	\$1,025.00
	Pressure Testing	1,239.00	LF	\$0.85	\$1,053.15
VII	IRRIGATION SUBTOTAL				\$28,517.15
	1" Type SP-9.5 Asphalt, 1st Lift (prem)	4,729.00	SY	\$2.25	\$10,640.25
	7" Shell Base (LBR 100) (prem)	4,169.00	SY	\$3.25	\$13,549.25
	8" Stabilized Subgrade (LBR 40) (prem)	4,451.00	SY	\$1.45	\$6,453.95
*	Hammerhead Turnaround - 7" Shell Base (LBR 100)	505.00	SY	\$3.25	\$1,641.25
*	Hammerhead Turnaround - 8" Stabilized Subgrade (LB	550.00	SY	\$1.45	\$797.50
	1st Lift Striping	1.00	LS	\$1,500.00	\$1,500.00
	2" Valley Gutter (prem)	2,229.00	LF	\$2.00	\$4,458.00
	Type "F" Curb (prem)	128.00	LF	\$13.75	\$1,760.00
	4" Concrete Sidewalk (8' wide) (prem)	253.00	SY	\$27.45	\$6,944.85
	4" Concrete Sidewalk (5' wide) (prem)	99.36	SY	\$27.45	\$2,727.43
	8" Shell Sidewalk, 4" thick	220.00	SY	N/A	By Others
*	Bahia Sod, 8" BOC	2,236.00	SY	\$2.52	\$5,634.72
VIII	PAVING SUBTOTAL				\$56,107.20

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

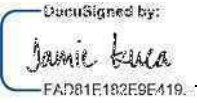
7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement. [Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____

FA781E192E9E419

Print Name: Jamie Kuca

Title: PM Land Development

Date: 11/13/2023

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

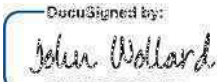
By: _____

850BA698F0E8454...

Print Name: Liz Garrido

Title: Treasurer

Date: 11/13/2023


BB16F38522846F

John Wollard
VP of Land Development
11/13/2023

**AUTHORIZING ADDENDUM #152 Skye Ranch 9
TO
MASTER LAND DEVELOPMENT SERVICES AGREEMENT**

TAYLOR MORRISON:
Taylor Morrison of Florida, Inc., a Florida corporation

CONTRACTOR:
RYAN GOLF CORPORATION, a Florida corporation

Job Code: 14280100
PO: 14280100-482

NOTICE TO PROCEED DATE: 03/04/2022
SUBSTANTIAL COMPLETION DATE: See EXHIBIT C

DESCRIPTION OF WORK:

This Authorizing Addendum to Master Land Development Services Agreement (“**Authorizing Addendum**”) is made and entered into effective as of 4th day of March, 2022 by and between **Taylor Morrison of Florida, Inc., a Florida corporation** (“**Taylor Morrison**”) and **RYAN GOLF CORPORATION, a Florida corporation** (“**Contractor**”), with respect to the Master Land Development Services Agreement between Taylor Morrison and Contractor dated January 12, 2012 (the “**Agreement**”).

1. **Scope/Work.** Pursuant to the Agreement, Contractor shall perform the Work for the Contract Price and within the time frame set forth on **Exhibit A** attached to this Authorizing Addendum.

2. **Site.** The Work will be performed at the job site (the “**Site**”), the location of which is legally described on **Exhibit B** attached hereto.

Unless otherwise defined herein, all capitalized terms used in this Authorizing Addendum shall have the meanings set forth in the Agreement. This Authorizing Addendum may be executed simultaneously or in counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. In the event of a conflict between the provisions of the Agreement and this Authorizing Addendum, the Agreement shall control except to the extent that the Authorizing Addendum specifically states that a provision is intended to modify the Agreement. Except as supplemented by this Authorizing Addendum, all provisions of the Agreement shall remain in full force and effect.

TAYLOR MORRISON:
Taylor Morrison of Florida, Inc., a Florida corporation

CONTRACTOR:
RYAN GOLF CORPORATION,

DocuSigned by:
Morris Hill
By: D4A4E0982E50477...
Name: Morris Hill
Title: PM Land Development
4/8/2022
Date: _____

DocuSigned by:
Liz Garrido
By: 850BA696F0E6454...
Name: Liz Garrido
Title: Treasurer
4/7/2022
Date: _____

DocuSigned by:
John Wollard
B916F3B5222646F...
4/28/2022

DocuSigned by:
Steve Kempton
25D5F6A56EC5404...
4/28/2022

AUTHORIZING ADDENDUM #152 Skye Ranch 9

**TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

EXHIBIT A
SCOPE/CONTRACT PRICE/SCHEDULE

Job No.: 14280100

PO: 14280100-482

Taylor Morrison's Representative: Morris Hill

Contractor's Representative: Cort Byrnes

1. **Schedule.** The Work shall be completed during the following time frames: **See Exhibit C**
2. **Contract Price/Budget.** The Contract Price is as follows: **Not to exceed \$886,741.30**
3. **Hourly Fee Schedule.** Contractor's hourly fee schedule including time period for which rates apply: N/A
4. **Additional or Modified Provisions.** **NONE**
5. **Description of Work.** Contractor shall provide the following services for the Project (the "Work"): N2 TH PH 2

GRADING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Grading Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

1. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "Soils Report").
2. Select applicable provision by checking either Option 2(A) **OR** 2(B):

A. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

B. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be

used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

3. The Work includes hurricane pump and/or pump/standpipe to fill water pulls and trucks.
4. Contractor shall provide earthwork calculations in its bid submittal.
5. Contractor shall coordinate its equipment line up with Taylor Morrison.
6. Contractor shall notify Taylor Morrison 48 hours prior to any staking or testing being required.
7. Contractor shall undercut all basins _____, or per direction of Taylor Morrison.
8. Contractor shall undercut all street 0.20' and leave all street subgrade flat (no crown).
9. Contractor shall cut all sidewalk areas 3" from top of curb elevation.
10. Contractor shall build stepped pads when adjacent pad differential is equal to or greater than 0.25' and rake when less than 0.25'.
11. Contractor shall overbuild front yards 5' from BSL on Final Plat and slope to sidewalk grade (do not bench).
12. Contractor shall overbuild all property lines 2' to allow for wall footing.
13. Contractor shall overbuild all areas with sidewalks a minimum of 18".
14. Contractor shall cut all retaining walls back 3' and leave spoils on the upper pad side to allow for backfill of retaining walls.
15. Contractor shall cut basins _____ in retention basins with dry wells, or per direction of Taylor Morrison, to make room for dry well spoils.
16. Contractor must supply weekly safety report and dust control records.
17. Contractor is required to have a Certified Dust Coordinator onsite at all times during operations, without exception.
18. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during grading operations.

MATERIALS TESTING AND ENGINEER OF RECORD SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Material Testing and Engineer of Record Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

19. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").
20. Select applicable provision by checking Option 2(A) OR 2(B):

C. Construction Water IS Supplied by Taylor Morrison

Construction water ***shall*** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

D. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

Materials Testing-

21. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.
22. Contractor shall sample and test earthwork for building pads, trench backfill and subgrade beneath paving, curbs, gutters and sidewalks.
23. Contractor shall sample and test concrete for curbs, gutters and sidewalks.
24. Contractor shall sample and test ABC below asphaltic concrete pavement.
25. Contractor shall sample and test asphaltic concrete materials.
26. Contractor shall sample and test electrical for SRP equipment pads.

Observation-

27. Contractor shall complete work within 24 hours of receiving a request from Taylor Morrison.
28. Contractor shall observe all earthwork and trenching operations.
29. Contractor shall observe placement of concrete for curbs, gutters and sidewalks.
30. Contractor shall observe placement of asphaltic concrete materials.

Engineer of Record-

31. Contractor shall be the Engineer of Record for ADEQ/MCESD certification and coordinate all activities with Taylor Morrison and the municipal inspector;
32. Engineer of Record shall observe construction of the water and sewer lines, keep paper record of all testing operations, and provide records to Taylor Morrison within 24 hours of testing (including but not limited to water pressure tests, water bacteriological tests, sewer air tests, sewer pressure tests, and mandrel).
33. Engineer of Record shall review the filming of the sewer lines, certify the as-built drawings, and provide the written Approval of Construction documentation to Taylor Morrison for submittal to ADEQ.

Reports-

34. Reports shall be generated in a timely manner and disseminated to Taylor Morrison and its applicable contractors.
35. Weekly field/progress reports shall be submitted to Taylor Morrison.

PAVING SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Paving Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

36. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "**Soils Report**").

37. Select applicable provision by checking either Option 2(A) OR 2(B):

E. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison shall make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison shall not be held liable for any downtime that may occur.

OR

F. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison shall not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

38. Contractor shall clean out all laydown machines and other equipment in designated areas only, as determined by Taylor Morrison's Designated Representative.

39. Contractor's Work shall be performed in strict accordance with the Project's Contract Documents.

40. Contractor is required to furnish all labor, equipment, and materials to construct the improvements as set forth in the Project's Contract Documents. This work shall include but is not limited to: paving asphalt, subgrade prep, installing and prepping A.B.C., achieving compaction, adjust manholes, valves, and cleanouts, as well as providing and installing: barricades, survey monuments, fire hydrant markers, street sign bases, signage and striping, and temporary and/or permanent barricading.

41. Contractor shall re-grade any areas disturbed by the water, sewer, or utility contractors. The cost of this work shall be included in the bid, assuming the grade left by all utility contractors 0.30' from the original rough grade or 0.30' from design grade.

42. Contractor shall notify Taylor Morrison's Designated Representative at least 48 hours prior to any staking being required.

43. Contractor shall notify Taylor Morrison's Designated Representative at least 24 hours prior to any asphalt being placed for the purpose of coordinating testing.

44. Contractor shall be responsible for coordinating with Taylor Morrison's Designated Representative to provide a water truck for flow testing curb and paving, which cost shall be included in Contractor's bid.

45. Contractor shall be responsible for manhole adjustments, water and gas valve adjustments, street signs and bases, barricades, fire hydrant markers, striping, monuments, etc.

46. Contractors' bid shall include the cost of any removals, saw cuts, etc.

47. Contractor's bid shall include the cost of one mobilization. Additional mobilization costs must also be provided.

- 48. All entrances used by Contractor shall be kept clean, either by sweeping or washed with a water truck. Any track out shall be cleaned by Contractor on a daily basis.
- 49. Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur shall become the responsibility of the Contractor to repair, if the original survey stakes are missing when any problems are found. Any utilities or property pins damaged or removed during Contractor's work shall be repaired or replaced at the Contractor's expense.
- 50. Contractor shall exercise care around all existing improvements. Contractor shall arrange to walk the site with Taylor Morrison's Designated Representative before Contractor starts its work to determine the extent and location of any cracks in the concrete, the cleanliness of the manholes and the condition of water valves, etc. Any cleanup or repair needed for Contractor's pre-paving work shall be done by the Contractor at its own expense before the paving operation begins.
- 51. Contractor shall be responsible for all traffic control including barricades, as required by public authorities and Owner. Contractor shall obtain an approved traffic control plan, if the municipality or County within which the Project is located requires a traffic control plan.
- 52. Normal soil conditions are those outlined in the Soils Report. Any ripping, jack hammering, or blasting that is necessary to perform the work shall be included in Contractor's bid.

WET UTILITIES SCOPE OF WORK

Contractor shall provide all supervision, labor, materials, equipment and all other facilities required to complete the installation of the Wet Utilities Work in the time and manner shown on the Contract Documents (as defined in the Agreement) and as further specifically identified below.

53. Contractor shall rely on the Soils Report (defined herein) and site visits to gain an understanding of soil and subsoil conditions prior to submitting a bid. Any excavation due to caliché, cemented soil or rock is included in the Agreement. All soil work performed by Contractor shall strictly comply with the recommendations contained in the Soils Report. A copy of the Project's _____ Report(s) is/are attached and incorporated into this Exhibit (collectively, if more than one, "Soils Report").

54. Select applicable provision by checking Option 2(A) OR 2(B):

G. Construction Water IS Supplied by Taylor Morrison

Construction water **shall** be provided by Taylor Morrison via _____. Taylor Morrison will make all necessary efforts to keep water in pond, however if an unforeseen circumstance arises and water can not be delivered to, Taylor Morrison will not be held liable for any downtime that may occur.

OR

H. Construction Water is NOT Supplied by Taylor Morrison

Construction water **shall not** be provided by Taylor Morrison. Contractor shall determine the best source of construction water required for compaction, testing and dust control. The cost of this water shall be included in Contractor's bid. Taylor Morrison will not reimburse the cost of water, permits for water or water meters to be used for Contractor's construction purposes. Contractor is responsible for any maintenance of the existing improvements around the meter area.

55. One mobilization to be included in Agreement. Additional mobilization costs must also be provided.

56. Contractor shall coordinate services of surveying and observation contractors designated by Taylor Morrison;

57. The Contractor shall provide all materials, equipment, and labor necessary to install sewer, water and storm drain improvements as set forth in the Contract Documents. The Work shall include, but is not limited to: trenching, excavating, backfilling and compacting, bacteria, compaction, camera, and pressure testing, furnishing and installing bedding, pipe, fittings, valves, valve boxes and covers, fire hydrants, manholes, plugs, clean-outs, taps, services, meter boxes and lids, and any other necessary appurtenances.
58. Prior to commencing any other work, the Contractor shall expose all existing sewer tie-ins so that the surveyors can verify their locations.
59. Contractor shall install sewer services as follows: Sewer services to be stubbed into property five (5) feet behind the PUE. Sewer taps shall be marked with a 2x4 metal stud. The metal stud shall extend from the sewer tap to 3' above finished grade. Contractor shall paint top twelve (12) inches of metal stud green. The sewer tap should be installed with two 45 degree elbows and extended to within one (1) foot of finished grade. A 3/8" x 12" length of #4 rebar shall be duct taped to end of sewer tap;
60. Contractor shall stub water services up six (6) inches above grade and set to grade after sidewalk installation;
61. If water main valve boxes are located behind sidewalk, Contractor shall adjust them to grade after sidewalk installation;
62. Contractor shall remove any excess or miscellaneous materials from lots prior to receiving final payment;
63. Contractor will return site to +/- .3 ft. of original grade including lots, R.O.W., and P.U.E., and will be confirmed by Taylor Morrison's Designated Representative. Any excess dirt, ABC, or chips remaining after all trenches have been backfilled and compacted shall be spread evenly in the streets. Contractor will be responsible for all testing and coordination with inspectors or government entities. The Contractor will leave all trenches open long enough to allow as-built locations to be verified by the Owner's surveyor.
64. All sewer and water tie-ins that are in existing pavement will be permanently patched back by the sewer and water contractor, per governing municipality/provider requirements.
65. Contractor pricing to include municipality/private provider approved methods for backfill.
66. Contractor will provide all necessary barricades, barricade plans and traffic control plans. Contractor is responsible for city or county acceptance if necessary.
67. Contractor shall include in its bid price the cost for two air pressure and camera tests of the sewer system. One test will be after the sewer has been installed to verify that it has been installed correctly, and one test after the remainder of the underground utilities have been installed to verify that the sewer was not damaged by the installation of other utilities.
68. This proposal is to be based on the use of standard trenching equipment equivalent to a 125,000-pound class excavator with a rock bucket and with a production rate of at least 200 linear feet per an 8-hour working day. All excavation beyond the capability of the said equipment at the said production rate will be considered hard excavation.
69. Bidding Contractors to visit the site and account for any borings that may be necessary for any irrigation crossings.
70. Taylor Morrison' shall be notified by Contractor 48 hours prior to any staking being required;
71. The Contractor shall protect the surveyor's stakes from damage. Any discrepancies that occur will become the responsibility of the Contractor to repair if the original survey stakes are missing when any problems are found.
72. All costs associated with maintaining all dust control are included in the Agreement – this includes, but is not limited to, all dust generating activities, haul roads around the site, trenching, machine work, and using provided ingress/egress to and from the site. etc.

73. Contractor must use provided entrances/exits when arriving or leaving site. Any fines/violations incurred for this failure to comply will be paid by contractor. Contractor shall install and maintain the stabilized entrance(s) and track-out(s) during operations.
74. Contractor shall supply weekly safety and dust records.

**AUTHORIZING ADDENDUM #152 Skye Ranch 9
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

**EXHIBIT B
JOB SITE**

LT RANCH

Sections 15, 16, 21, 27, 28 & 33, Township 37 South, Range 19 East,
Sarasota County, Florida

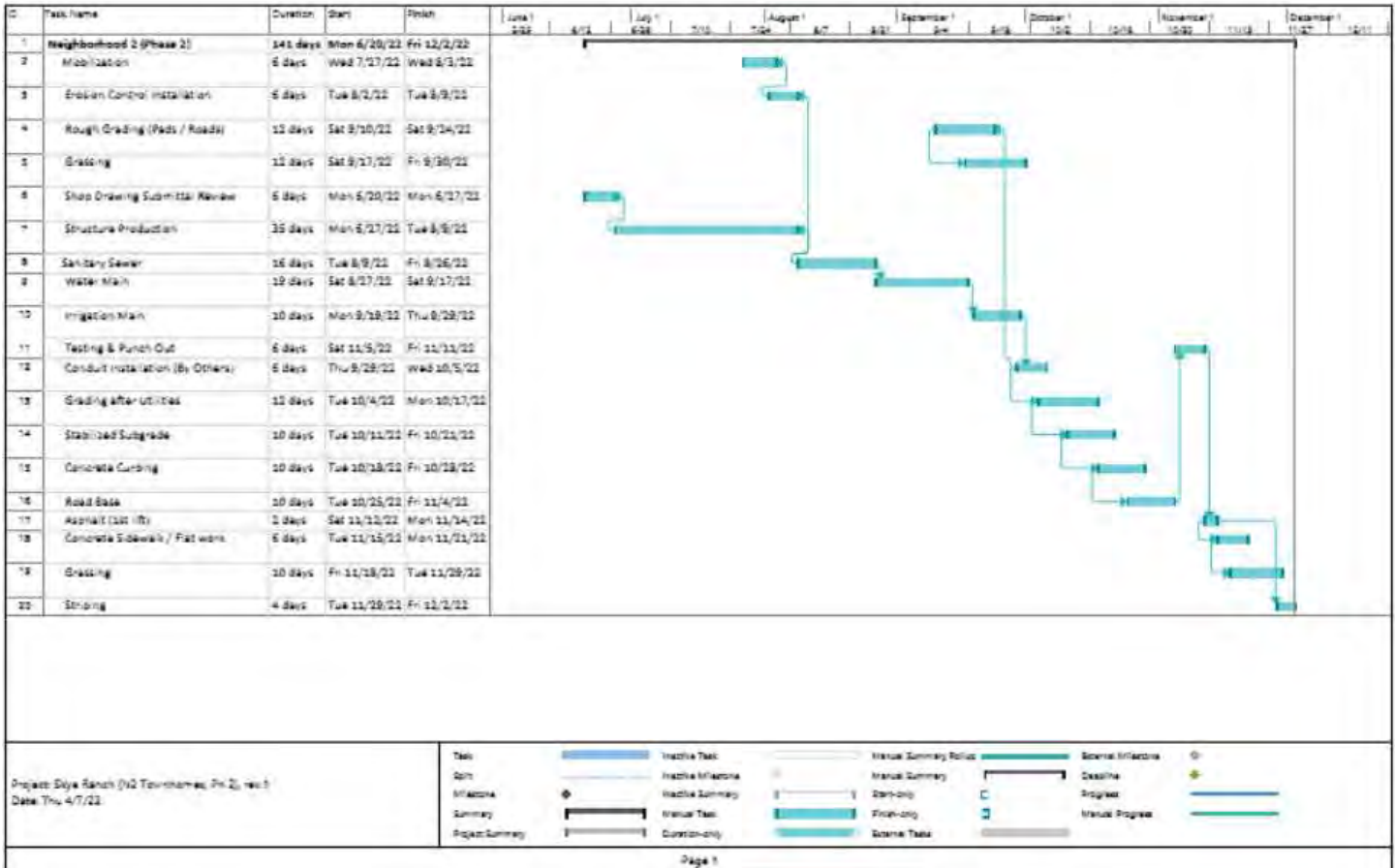


—Vicinity Map—
Aerial to Satellite

AUTHORIZING ADDENDUM #152 Skye Ranch 9 TO MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES

EXHIBIT C SCHEDULE

**** There will be a liquidated delay fee of \$500 per day assessed to the contract for every day past substantial completion and Road open. There will be no delay fee if delay is due to Taylor Morrison.**



**AUTHORIZING ADDENDUM #152 Skye Ranch 9
TO
MASTER AGREEMENT FOR LAND DEVELOPMENT SERVICES**

**EXHIBIT D
SCHEDULE OF VALUES**

						Line
	Inlet Protection Device	14.00	EA	\$165.00	\$2,310.00	10
	Finish Grading	8.40	AC	\$1,600.00	\$13,440.00	20
	Seed and Mulch (Lots)	6.00	AC	\$1,100.00	\$6,600.00	30
	NPDES Compliance	1.00	LS	\$7,500.00	\$7,500.00	40
	Construction Entrance	1.00	EA	\$6,000.00	\$6,000.00	50
	Mobilization & Supervision	1.00	LS	\$9,500.00	\$9,500.00	60
I	EARTHWORK SUBTOTAL				\$45,350.00	
	Construction Stakes-out	1.00	LS	\$41,000.00	\$41,000.00	70
	Record As-built Survey	1.00	LS	N/A	incl above	
II	SURVEY SUBTOTAL				\$41,000.00	
	Geotech Testing	1.00	LS	\$19,500.00	\$19,500.00	80
III	GEOTECH SUBTOTAL				\$19,500.00	
	1" Type SP-9.5 Asphalt 1st Lift	5,100.00	SY	\$7.40	\$37,740.00	90
	(7" FDOT Shell base in lieu)	5,250.00	SY	\$12.25	\$64,312.50	100
	8" Stabilized Subgrade*	6,380.00	SY	\$7.05	\$44,979.00	110
	Type D curb	300.00	LF	\$16.75	\$5,025.00	120
	Type F curb	430.00	LF	\$17.65	\$7,589.50	130
	2" Valley Gutter	2,525.00	LF	\$13.15	\$33,203.75	140
	4" Concrete Sidewalk (5' wide)	1,000.00	SY	\$35.55	\$35,550.00	150
	Thickened Edge Concrete	345.00	LF	\$14.50	\$5,002.50	160
	Handicap Ramps	4.00	EA	\$900.00	\$3,600.00	170
	Handicap Ramp Matting	360.00	SF	\$30.00	\$10,800.00	180
	Temporary Paint Striping	1.00	LS	\$2,000.00	\$2,000.00	190
	Wheel Stops	88.00	EA	\$71.00	\$6,248.00	200
	Sod Behind Curbs (6ft)	2,885.00	SY	\$2.07	\$5,971.95	210
IV	PAVING SUBTOTAL				\$262,022.20	
	8" PVC Sanitary Sewer SDR-26 (0-6')	65.00	LF	\$48.50	\$3,152.50	220
	8" PVC Sanitary Sewer SDR-26 (6-8')	400.00	LF	\$53.00	\$21,200.00	230
	8" PVC Sanitary Sewer SDR-26 (8-10')	658.00	LF	\$60.00	\$39,480.00	240
	8" PVC Sanitary Sewer SDR-26 (14-16')	119.00	LF	\$128.50	\$15,291.50	250
	Manhole 4' Diameter (0-6')	2.00	EA	\$6,000.00	\$12,000.00	260
	Manhole 4' Diameter (6-8')	1.00	EA	\$6,600.00	\$6,600.00	270
	Manhole 4' Diameter (8-10')	1.00	EA	\$7,600.00	\$7,600.00	280
	Manhole 4' Diameter (10-12')	1.00	EA	\$8,500.00	\$8,500.00	290

Double Lateral Service	51.00	EA	\$1,200.00	\$61,200.00	300
Connect to Existing Manhole 18.5' deep	1.00	EA	\$13,750.00	\$13,750.00	310
Testing and Inspection	1,242.00	LF	\$1.35	\$1,676.70	320
SANITARY SEWER SUBTOTAL				\$190,450.70	
6" PVC Water Main	1,000.00	LF	\$33.00	\$33,000.00	330
6" DI Water Main	20.00	LF	\$134.00	\$2,680.00	340
4" PVC Water Main	457.00	LF	\$28.50	\$13,024.50	350
4" DI Water Main	20.00	LF	\$142.50	\$2,850.00	360
6" Gate Valve	4.00	EA	\$1,950.00	\$7,800.00	370
4" Gate Valve	1.00	EA	\$1,800.00	\$1,800.00	380
Hydrant Assembly	3.00	EA	\$5,650.00	\$16,950.00	390
1" Single Service (Short)	60.00	EA	\$1,030.00	\$61,800.00	400
1" Single Service (Long)	42.00	EA	\$1,435.00	\$60,270.00	410
2" SDR9 HDPE Water Pipe	150.00	LF	\$23.00	\$3,450.00	420
2" Gate Valve	4.00	EA	\$1,565.00	\$6,260.00	430
Chlorination & Testing	1,443.00	LF	\$1.10	\$1,587.30	440
Connect to Existing WM	1.00	EA	\$4,625.00	\$4,625.00	450
EOL Permanent Blow Off Assembly	2.00	EA	\$2,050.00	\$4,100.00	460
POTABLE WATER SUBTOTAL				\$220,196.80	
4" PVC Irrigation Main	1,420.00	LF	\$33.50	\$47,570.00	470
4" DI Irrigation Main	60.00	LF	\$142.50	\$8,550.00	480
4" Gate Valve	7.00	EA	\$1,875.00	\$13,125.00	490
2" single service (COMMON) short	7.00	EA	\$2,500.00	\$17,500.00	500
2" single service (COMMON) long	6.00	EA	\$2,700.00	\$16,200.00	510
Testing	1,412.00	LF	\$0.55	\$776.60	520
Connect to Existing IR WM	1.00	EA	\$4,500.00	\$4,500.00	530
IRRIGATION SUBTOTAL				\$108,221.60	
PROJECT TOTAL				\$886,741.30	

TAYLOR MORRISON

**AMENDMENT #1
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #1 (the "Authorizing Addendum Amendment") made and entered into as of July 28, 2022 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$25,135.00 to previously authorized amount of \$886,741.30

The maximum authorized for the Services under this Authorizing Addendum is \$911,876.30 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 152 Skye Ranch 9 (PO 14280100-482, Land DEV PO 736)
- Project and Phase Number:
- Cost Code Number: 320100 Utility Water
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

- a) Scope of Work:

E	SKYE RANCH - Neighborhood 2 Townhomes (Utility Field Deviations)			UNIT	COST	BID
M	(Sarasota Co., Florida)	QUANTITY		UNIT	COST	AMOUNT
1	F & I Single Water Service (Short) to Ex. 4" PVC WM	1.00		EA	\$1,535.00	\$1,535.00
1	F & I Single Sewer Service to Ex. 8" PVC San. Sewer Main (9.5' depth)	1.00		EA	\$7,100.00	\$7,100.00
A	Additional Utilities for Amenity Site Subtotal					\$8,635.00

1	Horizontal Deflection of 6" WM (Deflect around Drainage Structure #D5-16)	1.00	EA	\$5,500.00	\$5,500.00
2	Vertical Deflection of 6" WM (Deflection above 30" RCP at Station 20+00 reduced cover)	1.00	EA	\$5,500.00	\$5,500.00
3	Vertical Deflection of 6" WM (Deflection above 48" RCP at Station 23+40 reduced cover)	1.00	EA	\$5,500.00	\$5,500.00
B	New Deflection on Existing Water Main Subtotal				\$16,500.00

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

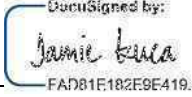
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____  _____
FAD81E182E9E419...

Print Name: Jamie Kuca

Title: PM Land Development

Date: 9/11/2022

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By: _____  _____
850BA696F0E6454...

Print Name: Liz Garrido

Title: Treasurer

Date: 9/9/2022

TAYLOR MORRISON

**AMENDMENT #2
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #2 (the "Authorizing Addendum Amendment") made and entered into as of September 9, 2022 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$2,795.00 to previously authorized amount of \$911,876.30

The maximum authorized for the Services under this Authorizing Addendum is \$914,671.30 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 152 Skye Ranch 9 (PO 14280100-482, Land DEV PO 736)
- Project and Phase Number:
- Cost Code Number: 320120 Sanitary Sewerage Utilities
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

a) Scope of Work:

E M	<u>SKYE RANCH (N2 Townhomes - Core-in Connection)</u> (Sarasota Co., Florida)	QUANTITY	UNIT	UNIT COST	BID AMOUNT
	<u>Core in Ex. Manhole #612</u> (Labor, Equipment & Materials used to facilitate core-in connection)	1.00	LS	<u>\$2,795.00</u>	<u>\$2,795.00</u>

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

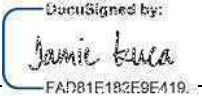
8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By: _____  _____
FAD81E182E9E419

Print Name: Jamie Kuca

Title: PM Land Development

Date: 9/14/2022

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By: _____  _____
850BA696F9E6454...

Print Name: Liz Garrido

Title: Treasurer

Date: 9/14/2022

TAYLOR MORRISON

**AMENDMENT #3
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #3 (the "Authorizing Addendum Amendment") made and entered into as of May 9, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation** ("Contractor") and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation** ("Taylor Morrison") as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$188,939.10 to previously authorized amount of \$914,671.30

The maximum authorized for the Services under this Authorizing Addendum is \$1,103,610.40 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 152 Skye Ranch 9 (PO 14280100-482, Land DEV PO 736)
- Project and Phase Number:
- Cost Code Number: 0021520 Earthwork, 310100 Paving, 320100 Water, 320120 Sewer, 320145 Drainage, 320150 Irrigation
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** Revised completion date of **December 31, 2023**

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

- a) Scope of Work:

DESCRIPTION OF THE SERVICE CHANGE AND SCOPE OF WORK (Gersons Co, Florida)	QUANTITY	UNIT	UNIT COST	BID AMOUNT
Construction Entrance - old	(1.00)	EA	\$4,000.00	(\$4,000.00)
Construction Entrance - new	1.00	EA	\$4,517.50	\$4,517.50
EARTHWORK SUBTOTAL				\$517.50

1" Type II-3.1 Asphalt (in Lift) - old	(5,100.00)	SY	\$7.40	(\$37,740.00)
1" Type II-3.1 Asphalt (in Lift) - new	5,100.00	SY	\$9.70	\$49,470.00
7" FDOT Shell base (in lift) - old	(5,250.00)	SY	\$12.25	(\$64,212.50)
7" FDOT Shell base - new	5,250.00	SY	\$14.25	\$74,812.50
8" Stabilized Subgrade* - old	(6,180.00)	SY	\$7.02	(\$44,976.00)
8" Stabilized Subgrade - new	6,180.00	SY	\$7.49	\$48,907.00
Type F curb - old	(430.00)	LF	\$17.65	(\$7,589.50)
Type F Curb - new	430.00	LF	\$23.40	\$10,062.00
2" Valley Gutter - old	(2,525.00)	LF	\$13.13	(\$33,203.75)
2" Valley Gutter - new	2,525.00	LF	\$17.90	\$45,123.75
4" Concrete Sidewalk (3' wide) - old	(818.00)	SY	\$35.25	(\$29,079.90)
4" Concrete Sidewalk (3' wide) - new	818.00	SY	\$51.75	\$42,331.50
Handicap Ramp Matting - old	(360.00)	SF	\$30.00	(\$10,800.00)
Handicap Ramp Matting - new	360.00	SF	\$35.00	\$12,600.00
Temporary Paint Striping - old	(1.00)	LS	\$2,000.00	(\$2,000.00)
Temporary Paint Striping - new	1.00	LS	\$3,500.00	\$3,500.00
Wheel Stops - old	(88.00)	EA	\$71.00	(\$6,248.00)
Wheel Stops - new	88.00	EA	\$81.00	\$7,128.00
Soil Behind Curb (SB) - old	(2,885.00)	SY	\$2.07	(\$5,971.95)
Soil Behind Curb - new	2,885.00	SY	\$2.25	\$6,491.25
PAVING SUBTOTAL				\$58,601.40
**Additional Dewatering Pumping Lower Pond Dr & Cr	1.00	LS	\$8,415.00	\$8,415.00
STORM DRAINAGE SUBTOTAL				\$6,415.00
**Mobilization / Demob Lower Crew	1.00	LS	\$17,902.50	\$17,902.50
8" PVC Sanitary Sewer SDR-24 (8-4) - old	(85.00)	LF	\$48.50	(\$4,127.50)
8" PVC Sanitary Sewer SDR-24 (8-4) - new	85.00	LF	\$56.50	\$4,797.50
6" PVC Sanitary Sewer SDR-24 (6-4) - old	(400.00)	LF	\$53.00	(\$21,200.00)
6" PVC Sanitary Sewer SDR-24 (6-4) - new	400.00	LF	\$64.00	\$25,600.00
Manhole # Diameter 3-4 - old	(2.00)	EA	\$6,000.00	(\$12,000.00)
Manhole # Diameter 3-4 - new	2.00	EA	\$6,600.00	\$13,200.00
Double Lateral Service - old	(51.00)	EA	\$1,200.00	(\$61,200.00)
Double Lateral Service - new	51.00	EA	\$1,370.00	\$69,970.00
**Connect to Existing Manhole	2.00	EA	\$10,850.00	\$21,700.00
SANITARY SEWER SUBTOTAL				\$54,392.50

**Mobilization / Demob Pressure Pipe Crew	1.00	LS	\$11,946.00	\$11,946.00
8" PVC Water Main - old	(1,000.00)	LF	\$33.00	(\$33,000.00)
8" PVC Water Main - new	1,000.00	LF	\$36.30	\$36,300.00
8" DI Water Main - old	(20.00)	LF	\$134.00	(\$2,680.00)
8" DI Water Main - new	20.00	LF	\$142.00	\$2,840.00
4" PVC Water Main - old	(457.00)	LF	\$28.50	(\$13,024.50)
4" PVC Water Main - new	657.00	LF	\$34.10	\$22,403.70
4" DI Water Main - old	(20.00)	LF	\$142.50	(\$2,850.00)
4" DI Water Main - new	20.00	LF	\$146.50	\$2,930.00
8" Gate Valve - old	(4.00)	EA	\$1,950.00	(\$7,800.00)
8" Gate Valve - new	4.00	EA	\$2,250.00	\$9,000.00
4" Gate Valve - old	(1.00)	EA	\$1,800.00	(\$1,800.00)
4" Gate Valve - new	1.00	EA	\$2,100.00	\$2,100.00
Hydrant Assembly - old	(3.00)	EA	\$5,650.00	(\$16,950.00)
Hydrant Assembly - new	3.00	EA	\$6,700.00	\$20,100.00
1" Single Service (Short) - old	(60.00)	EA	\$1,030.00	(\$61,800.00)
1" Single Service (Short) - new	60.00	EA	\$1,170.00	\$70,200.00
1" Single Service (Long) - old	(42.00)	EA	\$4,435.00	(\$186,270.00)
1" Single Service (Long) - new	42.00	EA	\$1,580.00	\$66,360.00
2" SDR9 HDPE Water Pipe - old	(150.00)	LF	\$23.00	(\$3,450.00)
2" SDR9 HDPE Water Pipe - new	150.00	LF	\$26.95	\$4,042.50
2" Gate Valve - old	(4.00)	EA	\$1,565.00	(\$6,260.00)
2" Gate Valve - new	4.00	EA	\$1,710.00	\$6,840.00
Chlorination & Testing - old	(1,443.00)	LF	\$1.10	(\$1,587.30)
Chlorination & Testing - new	1,697.00	LF	\$0.00	\$0.00
Connect to Existing WM - old	(1.00)	EA	\$4,625.00	(\$4,625.00)
Connect to Existing WM - new	2.00	EA	\$5,525.00	\$11,050.00
EOI Permanent Blow Off Assembly - old	(2.00)	EA	\$2,050.00	(\$4,100.00)
EOI Permanent Blow Off Assembly - new	1.00	EA	\$2,950.00	\$2,950.00
POTABLE WATER SUBTOTAL			\$50,452.70	\$48,865.40

4" PVC Irrigation Main - old	(1,420.00)	LF	\$33.50	(\$47,570.00)	
4" PVC Irrigation Main - new	1,420.00	LF	\$38.50	\$54,670.00	
4" DI Irrigation Main - old	(60.00)	LF	\$142.50	(\$8,550.00)	
4" DI Irrigation Main - new	60.00	LF	\$146.50	\$8,790.00	
4" Gate Valve - old	(7.00)	EA	\$1,875.00	(\$13,125.00)	
4" Gate Valve - new	7.00	EA	\$2,120.00	\$14,840.00	
2" single service (COMMON) short - old	(7.00)	EA	\$2,500.00	(\$17,500.00)	
2" single service (COMMON) short - new	7.00	EA	\$2,675.00	\$18,725.00	
2" single service (COMMON) long - old	(6.00)	EA	\$2,700.00	(\$16,200.00)	
2" single service (COMMON) long - new	6.00	EA	\$2,855.00	\$17,130.00	
Testing - old	(1,412.00)	LF	\$0.55	(\$776.60)	Remove
*Testing - new	1,480.00	LF	\$0.00	\$0.00	
Connect to Existing IR WM - old	(1.00)	EA	\$4,500.00	(\$4,500.00)	
Connect to Existing IR WM - new	1.00	EA	\$3,950.00	\$3,950.00	
**EOL Permanent Blow Off Assembly	2.00	EA	\$2,950.00	\$5,900.00	
IRRIGATION SUBTOTAL			\$16,560.00	\$15,783.40	

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.


8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

By:  _____
FAD81E182E9E419...

Print Name: Jamie Kuca

Title: PM Land Development

5/11/2023

Date: _____

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

By:  _____
350BA696F0E6454...

Liz Garrido

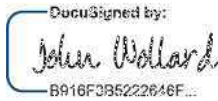
Print Name: _____

Treasurer

Title: _____

5/11/2023

Date: _____


B916F3B5222646F...

5/11/2023

TAYLOR MORRISON

**AMENDMENT #4
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #4 (the "Authorizing Addendum Amendment") made and entered into as of May 17, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation** ("Contractor") and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation** ("Taylor Morrison") as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$4,657.00 to previously authorized amount of \$1,103,610.40

The maximum authorized for the Services under this Authorizing Addendum is \$1,108,267.40 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 152 Skye Ranch 9 (PO 14280100-482, Land DEV PO 736)
- Project and Phase Number:
- Cost Code Number: 001500 Surveying
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C
3. **Hourly Fee Schedule:** N/A
4. **Modifications to Description of Work:**

- a) Scope of Work:

<u>SKYE RANCH 9 TH (PH 1, Additional Surveying)</u> (Sarasota Co., Florida)	QUANTITY	UNIT	UNIT COST	BID AMOUNT
Additional Surveying	1.00	LS	<u>\$4,657.00</u>	<u>\$4,657.00</u>

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

DocuSigned by:
Jamie Kuca
FAD81E182E9E419...

By: _____

Print Name: Jamie Kuca

Title: PM Land Development

Date: 5/22/2023

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

DocuSigned by:
Liz Garrido
850BA698F0E6454...

By: _____

Print Name: Liz Garrido

Title: Treasurer

Date: 5/19/2023

TAYLOR MORRISON

**AMENDMENT #5
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #5 (the "Authorizing Addendum Amendment") made and entered into as of November 9, 2023 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation** ("Contractor") and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation** ("Taylor Morrison") as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

1. **Contract Price/Budget:** Add \$865.50 to previously authorized amount of \$1,108,267.40

The maximum authorized for the Services under this Authorizing Addendum is \$1,109,132.90 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 152 Skye Ranch 9 (PO 14280100-482, Land DEV PO 736)
- Project and Phase Number:
- Cost Code Number: 310100 Roadway
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

2. **Schedule:** N/C

3. **Hourly Fee Schedule:** N/A

4. **Modifications to Description of Work:**

- a) Scope of Work:

I T E M	RYANGOLF CORPORATION 614 S. Military Trail, Deerfield Beach, FL 33442 Skye Ranch Townhomes PH 2 (Sarasota, Florida)	BID		UNIT COST	BID AMOUNT
		QUANTITY	UNIT		
	Bahia Sodding	2,885.00	SY	\$0.30	\$851.08

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

DocuSigned by:
Jamie Kuca
FAD81E182E9E419...

By: _____

Print Name: Jamie Kuca

Title: PM Land Development

Date: 12/4/2023

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

DocuSigned by:
Liz Garrido
850BA698F9E8454...

By: _____

Print Name: Liz Garrido

Title: Treasurer

Date: 12/4/2023

TAYLOR MORRISON

**AMENDMENT #6
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #6 (the "Authorizing Addendum Amendment") made and entered into as of February 2, 2024 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation ("Contractor")** and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation ("Taylor Morrison")** as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

- 1. **Contract Price/Budget:** Deduct (\$14.42) from previously authorized amount of \$1,109,132.90

The maximum authorized for the Services under this Authorizing Addendum is \$1,109,118.48 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 152 Skye Ranch 9 (PO 14280100-482, Land DEV PO 736)
- Project and Phase Number:
- Cost Code Number: 310100 Roadway
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

- 2. **Schedule:** N/C

- 3. **Hourly Fee Schedule:** N/A

- 4. **Modifications to Description of Work:**

- a) Scope of Work: Amendment 5 – wrong amount(s/b \$851.08 not \$865.50)

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

DocuSigned by:
Jamie Kuca
FAD81E182E9E419...

By: _____

Print Name: Jamie Kuca

Title: PM Land Development

Date: 2/5/2024

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

DocuSigned by:
Liz Garrido
650BA696F9E6454...

By: _____

Print Name: Liz Garrido

Title: Treasurer

Date: 2/2/2024

TAYLOR MORRISON

**AMENDMENT #7
TO AUTHORIZING ADDENDUM TO MASTER LAND DEVELOPMENT SERVICES AGREEMENT
(the "AUTHORIZING ADDENDUM AMENDMENT")**

(FLORIDA)

This Amendment #7 (the "Authorizing Addendum Amendment") made and entered into as of March 12, 2024 (the "Effective Date") serves to modify, supersede and control as to that certain Authorizing Addendum to Master Land Development Services Agreement, dated January 28, 2022 (the "Authorizing Addendum"), that modified that certain Master Land Development Services Agreement, dated January 12, 2012 (the "Agreement") made by and between **RYAN GOLF CORPORATION, a Florida corporation** ("Contractor") and **TAYLOR MORRISON OF FLORIDA, INC., a Florida corporation** ("Taylor Morrison") as follows:

AUTHORIZING ADDENDUM AMENDMENT

In consideration of the mutual promises, covenants and conditions hereinafter set forth, the parties agree that **Exhibit A** to the above-described Authorizing Addendum is hereby modified as follows:

- 1. **Contract Price/Budget:** Deduct (\$6,517.50) from previously authorized amount of \$1,109,118.48

The maximum authorized for the Services under this Authorizing Addendum is \$1,102,600.98 on a "fixed fee" basis.

This amount is not to be exceeded without prior written consent of Jamie Kuca. Reimbursable expenses shall be limited to reproduction, blueprinting, overnight mail and messenger service. All permitted reimbursable expenses shall be billed at actual cost. Invoices must include the following information:

- Authorizing Addendum Number: 152 Skye Ranch 9 (PO 14280100-482, Land DEV PO 736)
- Project and Phase Number:
- Cost Code Number: 021520 Grading
- Total invoiced to date for entire Authorizing Addendum:
- Description of Services performed:
- Amount of time spent, name of person who provided the Services described:
- Total amount authorized hereunder:

- 2. **Schedule:** N/C

- 3. **Hourly Fee Schedule:** N/A

- 4. **Modifications to Description of Work:**

- a) Scope of Work: **Construction Entrance**

5. This Authorizing Addendum Amendment may be executed simultaneously in two or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument. Facsimile transmission shall be deemed delivery to the other party.

6. Except as modified in this Authorizing Addendum Amendment, all other terms and conditions of the Authorizing Addendum and Agreement remain in full force and effect and are hereby ratified and reconfirmed.

7. In the event of any conflict between the terms and provisions of this Amendment and any terms and provisions of the Authorizing Addendum and/or Agreement, the terms and provisions of this Authorizing Addendum Amendment shall control.

8. Capitalized terms used in this Authorizing Addendum Amendment without definition, but which are defined in the Authorizing Addendum or in the Agreement, shall have the same meaning in this Amendment as in the Authorizing Addendum and the Agreement.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the parties have executed this Amendment effective on the day and year first above written.

TAYLOR MORRISON:

Taylor Morrison of Florida, Inc., a Florida corporation

DocuSigned by:
Jamie Kuca
FA781E192E9E419...

By: _____

Print Name: Jamie Kuca

Title: PM Land Development

Date: 3/14/2024

CONTRACTOR:

RYAN GOLF CORPORATION, a Florida corporation

DocuSigned by:
Liz Garrido
850BA688F9E6454...

By: _____

Print Name: Liz Garrido

Title: Treasurer

Date: 3/13/2024

Skye Ranch
Ryan Golf - 14Ryangolf
Bank 14000

RETAINAGE RG-11545 Proj 2142-22

	Net Pay	Retainage Held
RG-10465 2142-7 06/14/2022 PO 727	\$ 57,009.60	\$ 1,745.68
RG-10547 2142-8 07/15/2022 PO 727	\$ 310,576.27	\$ 34,508.48
RG-10611 08/11/2022 PO 727	\$ 124,752.15	\$ 13,861.35
RG-10687 2142-10 09/13/2022 PO 727	\$ 53,360.10	\$ 5,928.90
RG-10761 2142-11 10/13/2022 PO 727	\$ 177,393.45	\$ 19,710.40
RG-10852 2142-12 11/11/2022 PO 727	\$ 112,508.35	\$ 12,500.94
RG-11088 2142-13 12/07/2022 PO 727	\$ 42,867.00	\$ 4,763.00
RG-11174 2142-14 10/13/2022 PO 727	\$ 48,153.82	\$ 5,350.43
RG-10922 2142-14 02/14/2023 PO 727	\$ 25,286.76	\$ 2,809.64
RG-10992 2142-16 03/13/2023 PO 727	\$ 30,874.01	\$ 3,430.45
RG-11250-17-2142 04/15/2023 PO 727	\$ 6,975.00	\$ 775.00
RG-11322 2142-18 05/11/2023 PO 727	\$ 19,345.50	\$ 2,149.50
RG-11327 2142-19 05/16/2023 PO 727	\$ 7,177.50	\$ 797.50
RG-11375 2142-20 06/13/2023 PO 727	\$ 3,960.00	\$ 440.00
TOTAL:	\$ 1,020,239.51	\$ 108,771.27



Recv'd 8/29/2023

INVOICE NUMBER

RG - 11545

614 South Military Trail, Deerfield Beach, FL 33442
(954) 571-2088

NOT DPO'S

TAYLOR MORRISON
551 CATTLEMEN ROAD
SARASOTA, FLORIDA 34232

RETAINAGE
LandDEV PO 727

ALL PAYMENTS DUE UPON RECEIPT OF INVOICE. A FINANCIAL CHARGE OF % PER MONTH (% ANNUAL RATE) WILL BE ADDED TO ALL PAST DUE ACCOUNTS

PROJECT	CUSTOMER NUMBER	INVOICE NUMBER	DATE
2142		11545	08/29/23

DATE	QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	AMOUNT
			SKYE RANCH NEIGHBORHOOD 2 16'S & 20'S - PHASE 1 DRAW #22 PO 14280100-355		\$108,771.21

WHITE - ORIGINAL / GREEN - DIVISION COPY / YELLOW - ALPHA FILE / PINK - NUMERIC FILE / GOLD - JOB BOOK

APPLICATION AND CERTIFICATE FOR PAYMENT

AIA DOCUMENT

TO OWNER: TAYLOR MORRISON OF FLORIDA INC
691 N CATTLEMEN ROAD SUITE 100
SARASOTA, FL 34232

PROJECT: SKYE RANCH NEIGHBORHOOD 2
169 & 205 - PHASE 1

APPLICATION #: 22
PERIOD TO: 02/28/2023
PROJECT #: 2142
CONTRACT DATE:

CONTRACTOR: RYANGOLF CORPORATION
514 S MILITARY TRAIL
DEERFIELD BEACH, FL 33442

VIA ARCHITECT:

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. Continuation sheet, AIA Document G703, is attached.

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

1. ORIGINAL CONTRACT SUM	\$2,155,330.22
2. Net change by Change Orders	\$35,684.03
3. CONTRACT SUM TO DATE (Line 1 + 2)	\$2,171,024.25
4. TOTAL COMPLETED & STORED TO DATE (Column G on G703)	\$2,171,024.25
5. RETAINAGE: a. % of Completed Work (Columns D + E on G703)	0.00% \$0.00
b. _____ % of Stored Material (Column F on G703) Total Retainage (Line 5a + 5b or Total in Column 1 of G703)	\$0.00
6. TOTAL EARNED LESS RETAINAGE (Line 4 less Line 5 Total)	\$2,171,024.25
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 8 from prior Certificate)	\$2,062,253.04
8. CURRENT PAYMENT DUE	\$108,771.21
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less Line 8)	0.00

CONTRACTOR: RYANGOLF CORPORATION

By:

State of: FLORIDA

County of: BROWARD

Subscribed and sworn to before me this _____ day of _____, 2023.

Notary Public:

My Commission expires:



ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED: \$

(Which explanation if amount certified differs from the amount applied for, initial all figures on the Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ARCHITECT:

By:

Date:

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

11/02/2023

CHANGE ORDER SUMMARY	ADDITIONS	REDUCTIONS
Total changes approved in previous months by Owner		
Total approved this Month	0.00	
TOTALS		
NET CHANGES by Change Order	0.00	

SKYE RANCH NEIGHBORHOOD 2 16S & 20S - PHASE 1

ITEM #	DESCRIPTION	TN CODES	CONTRACT QTY	CHANGES	CURR PLAN	U/M	UNIT PRICE	TOTAL CONTRACT VALUE	QUANTITY			VALUE			% DONE	BALANCE TO FINISH	RETAINAGE	
									PRIOR	PERIOD	TO DATE	PRIOR	PERIOD	TO DATE				
SURVEY																		
S-1	Construction Stake-out	10	1.00		1.00	LS	\$71,350.00	\$71,350.00	1.00			1.00	71,350.00	0.00	71,350.00	100%	0.00	0.00
SURVEY SUBTOTAL								\$71,350.00					71,350.00	\$0.00	71,350.00	100%	\$0.00	\$0.00
GEOTECHNICAL																		
S-1	Geotech Testing	20	1.00		1.00	LS	\$23,000.00	\$23,000.00	1.00			1.00	23,000.00	0.00	23,000.00	100%	0.00	0.00
GEOTECHNICAL SUBTOTAL								\$23,000.00					23,000.00	\$0.00	23,000.00	100%	\$0.00	\$0.00
EARTHWORK																		
E-1	Double Row Silt Fence	30	734.00	-734	0.00	LF	\$3.70	\$0.00	0.00			0.00	0.00	0.00	0.00	0%	0.00	0.00
E-2	Single Row Silt Fence	40	4,206.00		4206.00	LF	\$1.85	\$7,781.10	4206.00			4,206.00	7,781.10	0.00	7,781.10	100%	0.00	0.00
CO #4	Inlet Protection Device	50	47.00	-24	23.00	EA	\$135.00	\$3,105.00	23.00			23.00	3,105.00	0.00	3,105.00	100%	0.00	0.00
E-4	Finish Grading	60	17.00		17.00	AC	\$1,850.00	\$31,450.00	17.00			17.00	31,450.00	0.00	31,450.00	100%	0.00	0.00
E-5	Seed and Mulch (Lots)	70	6.00		6.00	AC	\$1,100.00	\$6,600.00	6.00			6.00	6,600.00	0.00	6,600.00	100%	0.00	0.00
E-6	Bahia Sod (20' pond slope stabilization)	80	1,773.00		1773.00	SY	\$2.07	\$3,670.11	1773.00			1,773.00	3,670.11	0.00	3,670.11	100%	0.00	0.00
E-7	NPDES Compliance	90	1.00		1.00	LS	\$13,000.00	\$13,000.00	1.00			1.00	13,000.00	0.00	13,000.00	100%	0.00	0.00
CO #1	Lake Excavation (unclassified)	100	10,909.00	924	11833.00	CY	\$2.75	\$32,540.75	11833.00			11,833.00	32,540.75	0.00	32,540.75	100%	0.00	0.00
E-9	Bahia Sod (Perimeter Slopes, Berm & Swale)	110	14,721.00		14721.00	SY	\$2.07	\$30,472.47	14721.00			14,721.00	30,472.47	0.00	30,472.47	100%	0.00	0.00
E-10	Tousoil / Veg Stripping (allowance)	120	17.00		17.00	AC	\$950.00	\$16,150.00	17.00			17.00	16,150.00	0.00	16,150.00	100%	0.00	0.00
E-11	Construction Entrance	130	1.00		1.00	EA	\$5,750.00	\$5,750.00	1.00			1.00	5,750.00	0.00	5,750.00	100%	0.00	0.00
**	Mobilization & Supervision	140	1.00		1.00	LS	\$15,000.00	\$15,000.00	1.00			1.00	15,000.00	0.00	15,000.00	100%	0.00	0.00
**	Site Cut Excavation	150	6,576.00		6576.00	BCY	\$2.25	\$14,796.00	6576.00			6,576.00	14,796.00	0.00	14,796.00	100%	0.00	0.00
**	Swale Grading	160	2,950.00		2950.00	LF	\$2.25	\$6,637.50	2950.00			2,950.00	6,637.50	0.00	6,637.50	100%	0.00	0.00
**	Berm Grading	170	1,355.00		1355.00	LF	\$3.25	\$4,403.75	1355.00			1,355.00	4,403.75	0.00	4,403.75	100%	0.00	0.00
EARTHWORK SUBTOTAL								\$191,356.68					\$191,356.68	\$0.00	\$191,356.68	100%	\$0.00	\$0.00
POTABLE WATER																		
STREET A (ENTRANCE TH'S)																		
W-1	8" PVC Water Main	180	71.00		71.00	LF	\$42.60	\$3,017.50	71.00			71.00	3,017.50	0.00	3,017.50	100%	0.00	0.00
W-2	8" Gate Valve	190	1.00		1.00	EA	\$2,430.00	\$2,430.00	1.00			1.00	2,430.00	0.00	2,430.00	100%	0.00	0.00
W-3	Chlorination & Testing	200	71.00		71.00	LF	\$1.10	\$78.10	71.00			71.00	78.10	0.00	78.10	100%	0.00	0.00
**	Connect to Ex. WM	210	1.00		1.00	EA	\$4,400.00	\$4,400.00	1.00			1.00	4,400.00	0.00	4,400.00	100%	0.00	0.00
STREET E (16' TH'S) PHASE 1																		
W-5	6" PVC Water Main	220	2,011.00		2011.00	LF	\$29.00	\$58,319.00	2011.00			2,011.00	58,319.00	0.00	58,319.00	100%	0.00	0.00
W-6	4" PVC Water Main	230	60.00		60.00	LF	\$27.50	\$1,650.00	60.00			60.00	1,650.00	0.00	1,650.00	100%	0.00	0.00
W-7	6" Gate Valve	240	5.00		5.00	EA	\$1,250.00	\$9,250.00	5.00			5.00	9,250.00	0.00	9,250.00	100%	0.00	0.00
W-8	4" Gate Valve	250	1.00		1.00	EA	\$1,750.00	\$1,750.00	1.00			1.00	1,750.00	0.00	1,750.00	100%	0.00	0.00
W-9	Hydrant Assembly	260	3.00		3.00	EA	\$5,600.00	\$16,800.00	3.00			3.00	16,800.00	0.00	16,800.00	100%	0.00	0.00
W-10	1" Single Service (Short)	270	89.00		89.00	EA	\$1,000.00	\$89,000.00	89.00			89.00	89,000.00	0.00	89,000.00	100%	0.00	0.00
W-11	1" Single Service (Long)	280	62.00		62.00	EA	\$1,300.00	\$80,600.00	62.00			62.00	80,600.00	0.00	80,600.00	100%	0.00	0.00
W-12	Chlorination & Testing	290	2,161.00		2161.00	LF	\$1.10	\$2,377.10	2161.00			2,161.00	2,377.10	0.00	2,377.10	100%	0.00	0.00
**	8" PVC Water Main	300	90.00		90.00	LF	\$42.50	\$3,825.00	90.00			90.00	3,825.00	0.00	3,825.00	100%	0.00	0.00
POTABLE WATER SUBTOTAL								\$273,496.70					\$273,496.70	\$0.00	\$273,496.70	100%	\$0.00	\$0.00
WASTEWATER																		
STREET A (ENTRANCE TH'S)																		
WW-1	8" PVC Sanitary Sewer SDR-26 (10-12')	310	25.00		25.00	EA	\$69.00	\$1,725.00	25.00			25.00	1,725.00	0.00	1,725.00	100%	0.00	0.00
WW-2	8" PVC Sanitary Sewer SDR-26 (12-14')	320	65.00		65.00	EA	\$86.00	\$5,590.00	65.00			65.00	5,590.00	0.00	5,590.00	100%	0.00	0.00
WW-3	Manhole 4' Diameter (10-12')	330	1.00		1.00	EA	\$7,850.00	\$7,850.00	1.00			1.00	7,850.00	0.00	7,850.00	100%	0.00	0.00
WW-4	Testing and Inspection	340	90.00		90.00	EA	\$123.50	\$11,115.00	90.00			90.00	11,115.00	0.00	11,115.00	100%	0.00	0.00
**	Connect to Ex. Manhole	350	1.00		1.00	EA	\$8,500.00	\$8,500.00	1.00			1.00	8,500.00	0.00	8,500.00	100%	0.00	0.00
STREET E (16' TH'S) PHASE 1																		
WW-5	8" PVC Sanitary Sewer SDR-26 (6-8')	360	800.00		800.00	LF	\$48.00	\$38,400.00	800.00			800.00	38,400.00	0.00	38,400.00	100%	0.00	0.00
WW-6	8" PVC Sanitary Sewer SDR-26 (8-10')	370	710.00		710.00	LF	\$55.00	\$39,050.00	710.00			710.00	39,050.00	0.00	39,050.00	100%	0.00	0.00
WW-7	8" PVC Sanitary Sewer SDR-26 (10-12')	380	283.00		283.00	LF	\$63.00	\$17,927.00	283.00			283.00	17,927.00	0.00	17,927.00	100%	0.00	0.00
WW-8	Manhole 4' Diameter (6-8')	390	3.00		3.00	EA	\$6,000.00	\$18,000.00	3.00			3.00	18,000.00	0.00	18,000.00	100%	0.00	0.00
WW-9	Manhole 4' Diameter (8-10')	400	3.00		3.00	EA	\$7,350.00	\$22,050.00	3.00			3.00	22,050.00	0.00	22,050.00	100%	0.00	0.00

SKYE RANCH NEIGHBORHOOD 2 168 & 208 - PHASE 1

ITEM #	DESCRIPTION	TM CODES	CONTRACT QTY	CHANGES	CURR PLAN	U/M	UNIT PRICE	TOTAL CONTRACT VALUE	QUANTITY			VALUE			% DONE	BALANCE TO FINISH	RETAINAGE
									PRIOR	PERIOD	TO DATE	PRIOR	PERIOD	TO DATE			
WW-10	Manhole 4' Diameter (10-12')	410	1.00		1.00	EA	\$8,000.00	\$8,000.00	1.00		1.00	\$8,000.00	0.00	8,000.00	100%	0.00	0.00
WW-11	Double Lateral Service	420	80.00		80.00	EA	\$1,150.00	\$92,000.00	80.00		80.00	\$2,000.00	0.00	\$2,000.00	100%	0.00	0.00
WW-12	Testing and Inspection	430	1,793.00		1,793.00	LF	\$1.35	\$2,420.55	1,793.00		1,793.00	2,420.55	0.00	2,420.55	100%	0.00	0.00
WASTEWATER SUBTOTAL								\$263,234.05				\$263,234.05	\$0.00	\$263,234.05	100%	\$0.00	\$0.00
PAVING																	
STREET A & STREET C PHASE 1																	
P-1	1" Type SP-9.5 Asphalt 1st lift	440	10,905.00		10905.00	SY	\$7.40	\$80,697.00	10905.00		10,905.00	80,697.00	0.00	80,697.00	100%	0.00	0.00
P-2	6" Crushed Concrete Base [7" FDOT Shell base in lieu]	450	11,400.00		11400.00	SY	\$12.00	\$136,800.00	11400.00		11,400.00	136,800.00	0.00	136,800.00	100%	0.00	0.00
P-3	8" Stabilized Subgrade*	460	13,250.00		13250.00	SY	\$7.05	\$93,412.50	13250.00		13,250.00	93,412.50	0.00	93,412.50	100%	0.00	0.00
P-4	Type D curb	470	1,520.00		1520.00	LF	\$15.00	\$22,800.00	1520.00		1,520.00	22,800.00	0.00	22,800.00	100%	0.00	0.00
P-5	Type F curb	480	385.00		385.00	LF	\$17.65	\$6,795.25	385.00		385.00	6,795.25	0.00	6,795.25	100%	0.00	0.00
P-6	2' Valley Gutter	480	3,525.00		3525.00	LF	\$12.15	\$42,828.75	3525.00		3,525.00	42,828.75	0.00	42,828.75	100%	0.00	0.00
P-7	4" Concrete Sidewalk (5' wide)	500	460.00		460.00	SY	\$35.65	\$16,353.00	460.00		460.00	16,353.00	0.00	16,353.00	100%	0.00	0.00
P-8	"Temporary Paint" Striping	510	1.00		1.00	LS	\$23,250.00	\$23,250.00	1.00		1.00	23,250.00	0.00	23,250.00	100%	0.00	0.00
P-9	Sod Behind Curbs (8ft)	520	4,972.00		4972.00	SY	\$2.07	\$10,292.04	4972.00		4,972.00	10,292.04	0.00	10,292.04	100%	0.00	0.00
**	Type "A" Curb	530	170.00		170.00	LF	\$15.50	\$2,635.00	170.00		170.00	2,635.00	0.00	2,635.00	100%	0.00	0.00
**	Thickened Edge Concrete	540	395.00		395.00	LF	\$14.25	\$5,628.75	395.00		395.00	5,628.75	0.00	5,628.75	100%	0.00	0.00
PAVING SUBTOTAL								\$441,492.29				\$441,492.29	\$0.00	\$441,492.29	100%	\$0.00	\$0.00
DRAINAGE																	
CD #2	4" HDPE	550	490.00	-490	0.00	LF	\$19.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CD #2	4" HDPE	550		490	490.00	LF	\$25.00	\$12,250.00	490.00		490.00	12,250.00	0.00	12,250.00	100%	0.00	0.00
D-2	18" RCP	560	418.00		418.00	LF	\$62.00	\$25,916.00	418.00		418.00	25,916.00	0.00	25,916.00	100%	0.00	0.00
D-3	24" RCP	570	499.00		499.00	LF	\$78.50	\$38,173.50	499.00		499.00	38,173.50	0.00	38,173.50	100%	0.00	0.00
D-4	30" RCP	580	795.00		795.00	LF	\$98.00	\$78,008.00	795.00		795.00	78,008.00	0.00	78,008.00	100%	0.00	0.00
D-5	36" RCP	590	661.00		661.00	LF	\$127.00	\$83,947.00	661.00		661.00	83,947.00	0.00	83,947.00	100%	0.00	0.00
D-6	42" RCP	600	272.00		272.00	LF	\$174.00	\$47,328.00	272.00		272.00	47,328.00	0.00	47,328.00	100%	0.00	0.00
D-7	48" RCP	610	549.00		549.00	LF	\$215.00	\$118,035.00	549.00		549.00	118,035.00	0.00	118,035.00	100%	0.00	0.00
D-8	54" RCP	620	342.00		342.00	LF	\$265.00	\$90,830.00	342.00		342.00	90,830.00	0.00	90,830.00	100%	0.00	0.00
D-9	42" Flared End	630	1.00		1.00	EA	\$6,575.00	\$6,575.00	1.00		1.00	6,575.00	0.00	6,575.00	100%	0.00	0.00
D-10	48" Flared End	640	1.00		1.00	EA	\$7,665.00	\$7,665.00	1.00		1.00	7,665.00	0.00	7,665.00	100%	0.00	0.00
D-11	54" Flared End	650	2.00		2.00	EA	\$8,100.00	\$16,200.00	2.00		2.00	16,200.00	0.00	16,200.00	100%	0.00	0.00
D-12	Valley Gutter	660	26.00		26.00	EA	\$5,225.00	\$135,850.00	26.00		26.00	135,850.00	0.00	135,850.00	100%	0.00	0.00
D-13	Junction Box	670	3.00		3.00	EA	\$5,950.00	\$17,850.00	3.00		3.00	17,850.00	0.00	17,850.00	100%	0.00	0.00
CD #2	4" Yard Drain	680	13.00	-13	0.00	EA	\$1,335.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CD #2	6" Yard Drain	680		17	17.00	EA	\$1,500.00	\$25,500.00	17.00		17.00	25,500.00	0.00	25,500.00	100%	0.00	0.00
D-15	Grete Inlet	690	8.00		8.00	EA	\$4,660.00	\$37,200.00	8.00		8.00	37,200.00	0.00	37,200.00	100%	0.00	0.00
**	15" RCP	700	105.00		105.00	LF	\$53.00	\$5,565.00	105.00		105.00	5,565.00	0.00	5,565.00	100%	0.00	0.00
CD #2	Restocking fee for 4" pipe, inline drains & fittings			1	1.00	EA	\$2,258.83	\$2,258.83	1.00		1.00	2,258.83	0.00	2,258.83	100%	0.00	0.00
**	24" Flared End	710	2.00		2.00	EA	\$3,900.00	\$7,800.00	2.00		2.00	7,800.00	0.00	7,800.00	100%	0.00	0.00
DRAINAGE SUBTOTAL								\$756,751.33				\$756,751.33	\$0.00	\$756,751.33	100%	\$0.00	\$0.00
IRRIGATION																	
STREET A (ENTRANCE TH'S)																	
I-7	Connect to Existing	720	1.00		1.00	EA	\$4,500.00	\$4,500.00	1.00		1.00	4,500.00	0.00	4,500.00	100%	0.00	0.00
I-8	4" PVC Irrigation Main	730	137.00		137.00	LF	\$28.50	\$4,041.50	137.00		137.00	4,041.50	0.00	4,041.50	100%	0.00	0.00
I-9	4" Gate Valve	740	1.00		1.00	EA	\$1,850.00	\$1,850.00	1.00		1.00	1,850.00	0.00	1,850.00	100%	0.00	0.00
I-10	2" single service (COMMON) short	750	1.00		1.00	EA	\$2,375.00	\$2,375.00	1.00		1.00	2,375.00	0.00	2,375.00	100%	0.00	0.00
I-11	2" single service (COMMON) long	760	2.00		2.00	EA	\$2,845.00	\$5,690.00	2.00		2.00	5,690.00	0.00	5,690.00	100%	0.00	0.00
I-12	Testing	770	137.00		137.00	LF	\$0.55	\$75.35	137.00		137.00	75.35	0.00	75.35	100%	0.00	0.00
STREET C (36' TH'S) PHASE 1																	
I-19	4" PVC Irrigation Main	780	1,727.00		1727.00	LF	\$29.50	\$50,946.50	1727.00		1,727.00	50,946.50	0.00	50,946.50	100%	0.00	0.00
I-20	4" Gate Valve	790	3.00		3.00	LF	\$1,850.00	\$5,550.00	3.00		3.00	5,550.00	0.00	5,550.00	100%	0.00	0.00
I-21	2" single service (COMMON) short	800	10.00		10.00	EA	\$2,375.00	\$23,750.00	10.00		10.00	23,750.00	0.00	23,750.00	100%	0.00	0.00
I-22	2" single service (COMMON) long	810	10.00		10.00	EA	\$2,485.00	\$24,850.00	10.00		10.00	24,850.00	0.00	24,850.00	100%	0.00	0.00

SKYE RANCH NEIGHBORHOOD 2 16S & 20S - PHASE 1

ITEM #	DESCRIPTION	TM CODES	CONTRACT QTY	CHANGES	CURR PLAN	U/M	UNIT PRICE	TOTAL CONTRACT VALUE	QUANTITY			VALUE			% DONE	BALANCE	
									PRIOR	PERIOD	TO DATE	PRIOR	PERIOD	TO DATE		TO FINISH	RETAINAGE
I-23	Testing	820	1,727.00		1727.00	EA	\$0.55	\$948.85	1727.00		1,727.00	948.85	0.00	948.85	100%	0.00	0.00
								IRRIGATION SUBTOTAL	\$124,578.20			\$124,578.20	\$0.00	\$124,578.20	100%	\$0.00	\$0.00
CHANGES																	
CO #2	CORE IN EX MANHOLE #615			1	1.00	LB	\$2,795.00	\$2,795.00	1.00		1.00	2,795.00	0.00	2,795.00	100%	0.00	0.00
CO #3	LABOR & EQUIPMENT FOR YARD DRAINS/INSTALL PIPE			1	1.00	LB	\$11,600.00	\$11,600.00	1.00		1.00	11,600.00	0.00	11,600.00	100%	0.00	0.00
CO #3	MATERIALS FOR YARD DRAINS & PIPE		0.00	1	1.00	LS	\$9,895.00	\$9,895.00	1.00		1.00	9,895.00	0.00	9,895.00	100%	0.00	0.00
CO #3	REMOVE / REPLACE CONCRETE SIDEWALK			1	1.00	LS	\$1,475.00	\$1,475.00	1.00		1.00	1,475.00	0.00	1,475.00	100%	0.00	0.00
								CHANGES SUB TOTAL	\$25,765.00			\$25,765.00	\$0.00	\$25,765.00	100%	\$0.00	\$0.00

PROJECT TOTAL

\$2,171,024.25

\$2,171,024.25

\$0.00 \$2,171,024.25 100% \$0.00 \$0.00

TOTAL CONTRACT COMPLETED TO DATE: \$2,171,024.25
 LESS 10% RETAINAGE \$0.00
 SUBTOTAL VALUE \$2,171,024.25
 LESS PRIOR DRAWS \$2,062,253.04
 TOTAL AMOUNT DUE THIS INVOICE \$108,771.21

CONTRACT CHANGE ORDER #4

PROJECT: SKYE RANCH NEIGHBORHOOD 2 168 & 206 - PHASE 1
 CONTRACTOR: TAYLOR MORRISON
 CONTRACTOR: RYANGOLF CORPORATION
 ENGINEER:

Conditions: The changes described herein shall be governed by the terms and conditions of the Contract, and shall not in any way alter the terms of the Contract, but shall hereafter be a part of the Contract.

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	AMOUNT (+) (-)
ADDITIONS					
1					\$0.00
2					\$0.00
3					\$0.00
4					\$0.00
5					\$0.00
6					\$0.00
7					\$0.00
8					\$0.00
9					\$0.00
10					\$0.00
11					\$0.00
12					\$0.00
13					\$0.00
14					\$0.00
					0.00

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	AMOUNT (+) (-)
CREDITS					
1	Inlet Protection Device	-4.00	EA	\$135.00	-\$532.00
2					\$0.00
3					\$0.00
4					\$0.00
5					\$0.00
6					\$0.00
7					\$0.00
8					\$0.00
9					\$0.00
10					\$0.00
					(3,240.00)

Contract Total Prior to this Change Order	Net Increase/Decrease from this Change Order	-\$3,240.00
Contract Total Prior to this Change Order	Contract Total Prior to this Change Order	\$ 2,174,264.00
Current Contract Total including this Change Order	Current Contract Total including this Change Order	\$2,171,024.00

REASON FOR CHANGE:

ACCEPTABLE TO: *[Signature]* Date: 8/29/20
 Contractor's Representative

RECOMMENDED BY: _____ Date: _____
 Engineer's Representative

APPROVED BY: TAYLOR MORRISON Date: _____
 Representative

Original Contract Sum \$2,195,330.22

Net Change to Contract Sum Including this Change Order \$ 35,693.78

0.00

(3,240.00)

OK

Skye Ranch
Waltbillig
Bank 14000

	Net Pay	Retainage Held	
D1P2218RG-10334N2 04/14/2022 NS PO 482		\$ 25,436.23	NEWSTAR
			Land DEV
RG-10397 2218-2 05/13/2022 LD PO 736		\$ 2,035.00	
RG-10470 2218-3 06/14/2022 LD PO 736		\$ 1,140.00	
RG-10543 07/14/2022 LD PO 736		\$ 580.00	
RG-10696 2218-5 09/13/2022 LD PO 736		\$ 8,373.50	
RG-10916 2218-7 02/13/2023 LD PO 736		\$ 1,149.51	
RG-11321 2218-8 05/11/2023 LD PO 736		\$ 5,294.09	
RG-11432 2218-9 07/11/2023 LD PO 736		\$ 34,602.37	
RG-11484 2218-10 08/11/2023 LD PO 736		\$ 5,525.12	
RG-11556 2218-11 09/13/2023 LD PO 736		\$ 18,511.69	
RG-11608 2218-12 10/11/2023 LD PO 736		\$ 451.57	
RG-11652 2218-13 11/16/2023 LD PO 736		\$ 4,700.65	
RG-11693 2218-14 12/7/2023 LD PO 736		\$ 2,229.41	
RG-11797 2218-15 02/13/2024 LD PO 736		\$ 231.00	
	\$ -	\$	110,260.14



Recv'd 2/13/2024

RYANGOLF CORPORATION

614 South Military Trail, Deerfield Beach, FL 33442
(954) 571-2088

INVOICE NUMBER

RG - 11798

101 DFGW

**TAYLOR MORRISON
551 CATTLEMEN ROAD
SARASOTA, FLORIDA 34232**

ALL PAYMENTS DUE UPON RECEIPT OF INVOICE. A FINANCIAL CHARGE OF % PER MONTH (% ANNUAL RATE) WILL BE ADDED TO ALL PAST DUE ACCOUNTS

PROJECT	2218	CUSTOMER NUMBER	INVOICE NUMBER	DATE
			11798	02/13/24

DATE	QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	AMOUNT
			<p>SKYE RANCH N-2 PHASE 2</p> <p>DRAW #16</p> <p><i>Retainage</i></p> <p>PO 14280100-482</p> <p>Land DEV PO 736</p>		\$110,260.10

WHITE - ORIGINAL / GREEN - DIVISION COPY / YELLOW - ALPHA FILE / PINK - NUMERIC FILE / GOLD - JOB BOOK

APPLICATION AND CERTIFICATE FOR PAYMENT

AIA DOCUMENT

TO OWNER: TAYLOR MORRISON OF FLORIDA INC
501 N CATTLEMEN ROAD SUITE 100
SARASOTA, FL 34232

PROJECT: SKYE RANCH N2 PHASE 2

APPLICATION #: 16
PERIOD TO: 2/13/2024
PROJECT #: 2218
CONTRACT DATE:

CONTRACTOR: RYANGOLF CORPORATION
614 S MILITARY TRAIL
DEERFIELD BEACH, FL 33442

VIA ARCHITECT:

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. Continuation sheet, AIA Document G703, is attached.

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

1. ORIGINAL CONTRACT SUM	\$886,741.30
2. Net change by Change Orders.....	\$215,859.68
3. CONTRACT SUM TO DATE (Line 1 + 2).....	\$1,102,600.98
4. TOTAL COMPLETED & STORED TO DATE..... (Column G on G703)	\$1,102,600.98
5. RETAINAGE:	
a. % of Completed Work	10.00%
(Columns D + E on G703)	\$0.00
b. _____ % of Stored Material	
(Column F on G703)	
Total Retainage (Line 5a + 5b or	
Total in Column 1 of G703).....	\$0.00
6. TOTAL EARNED LESS RETAINAGE..... (Line 4 less Line 5 Total)	\$1,102,600.98
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate).....	\$992,340.88
8. CURRENT PAYMENT DUE.....	\$110,260.10
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less Line 8)	0.00

CONTRACTOR: RYANGOLF CORPORATION

By: *[Signature]* Date: 2/13/24

State of: FLORIDA

County of: BROWARD

Subscribed and sworn to before me this 13th day of February, 2024

Notary Public:

My Commission expires:



ENGINEER'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Engineer certifies to the Owner that to the best of the Engineer's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED..... \$ 110,260.10

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on the Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ENGINEER:

By: *[Signature]* Date: 3/12/2024

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

CHANGE ORDER SUMMARY	ADDITIONS	REDUCTIONS
Total changes approved in previous months by Owner		
Total approved this Month	0.00	
TOTALS		
NET CHANGES by Change Order	0.00	

SKYE RANCH N2 PHASE 2

ITEM #	DESCRIPTION	CONTRACT QTY	CHANGES	CURR PLAN	U/M	UNIT PRICE	TOTAL CONTRACT VALUE	QUANTITY			VALUE			%	BALANCE	RETAINAGE
								PRIOR	PERIOD	TO DATE	PRIOR	PERIOD	TO DATE			
EARTHWORK																
E-1	Inlet Protection Device	14.00		14.00	EA	\$165.00	\$2,310.00	14.00		14.00	2,310.00	0.00	2,310.00	100%	0.00	0.00
E-2	Finish Grading	8.40		8.40	AC	\$1,600.00	\$13,440.00	8.40		8.40	13,440.00	0.00	13,440.00	100%	0.00	0.00
E-3	Seed and Mulch (Lots)	6.00		6.00	AC	\$1,100.00	\$6,600.00	6.00		6.00	6,600.00	0.00	6,600.00	100%	0.00	0.00
E-4	NPDES Compliance	1.00		1.00	LS	\$7,500.00	\$7,500.00	1.00		1.00	7,500.00	0.00	7,500.00	100%	0.00	0.00
CO #3	Construction Entrance	1.00	-1	0.00	EA	\$6,517.50	\$0.00	0.00		0.00	0.00	0.00	0.00	#DIV/0!	0.00	0.00
E-6	Mobilization & Supervision	1.00		1.00	LS	\$9,500.00	\$9,500.00	1.00		1.00	9,500.00	0.00	9,500.00	100%	0.00	0.00
EARTHWORK SUBTOTAL							\$39,350.00				\$39,350.00	\$0.00	\$39,350.00	100%	\$0.00	\$0.00
SURVEY																
S-1	Construction Stake-out	1.00		1.00	LS	\$41,000.00	\$41,000.00	1.00		1.00	41,000.00	0.00	41,000.00	100%	0.00	0.00
S-2	Record As-built Survey			0.00	LS	\$0.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #4	Additional Surveying		1	1.00	LS	\$4,657.00	\$4,657.00	1.00		1.00	4,657.00	0.00	4,657.00	100%	0.00	0.00
SURVEY SUBTOTAL							\$45,657.00				\$45,657.00	\$0.00	\$45,657.00	100%	\$0.00	\$0.00
GEOTECHNICAL																
G-1	Geotech testing	1.00		1.00	LS	\$19,500.00	\$19,500.00	1.00		1.00	19,500.00	0.00	19,500.00	100%	0.00	0.00
GEOTECHNICAL SUBTOTAL							\$19,500.00				\$19,500.00	\$0.00	\$19,500.00	100%	\$0.00	\$0.00
PAVING																
CO #3	1" Type SP-9.5 Asphalt 1st Lift	5,100.00		5100.00	SY	\$9.70	\$49,470.00	5100.00		5,100.00	49,470.00	0.00	49,470.00	100%	0.00	0.00
CO #3	7" FDOT Shell base in lieu	5,250.00		5250.00	SY	\$14.25	\$74,812.50	5250.00		5,250.00	74,812.50	0.00	74,812.50	100%	0.00	0.00
CO #3	8" Stabilized Subgrade*	6,380.00		6380.00	SY	\$7.65	\$48,807.00	6380.00		6,380.00	48,807.00	0.00	48,807.00	100%	0.00	0.00
P-4	Type D curb	300.00		300.00	LF	\$16.75	\$5,025.00	300.00		300.00	5,025.00	0.00	5,025.00	100%	0.00	0.00
CO #3	Type F curb	430.00		430.00	LF	\$23.40	\$10,062.00	430.00		430.00	10,062.00	0.00	10,062.00	100%	0.00	0.00
CO #3	2' Valley Gutter	2,525.00		2525.00	LF	\$17.95	\$45,323.75	2525.00		2,525.00	45,323.75	0.00	45,323.75	100%	0.00	0.00
CO #3	4" Concrete Sidewalk (5' wide)	1,000.00	-818	182.00	SY	\$35.55	\$6,470.10	182.00		182.00	6,470.10	0.00	6,470.10	100%	0.00	0.00
CO #3	4" Concrete Sidewalk (5' wide) (new)		818	818.00	SY	\$51.75	\$42,331.50	818.00		818.00	42,331.50	0.00	42,331.50	100%	0.00	0.00
P-8	Thickened Edge Concrete	345.00		345.00	LF	\$14.50	\$5,002.50	345.00		345.00	5,002.50	0.00	5,002.50	100%	0.00	0.00
P-9	Handicap Ramps	4.00		4.00	EA	\$900.00	\$3,600.00	4.00		4.00	3,600.00	0.00	3,600.00	100%	0.00	0.00
CO #3	Handicap Ramp Matting	360.00		360.00	SF	\$35.00	\$12,600.00	360.00		360.00	12,600.00	0.00	12,600.00	100%	0.00	0.00
CO #3	"Temporary Paint" Striping	1.00		1.00	LS	\$3,500.00	\$3,500.00	1.00		1.00	3,500.00	0.00	3,500.00	100%	0.00	0.00
CO #3	Wheel Stops	88.00		88.00	EA	\$81.00	\$7,128.00	88.00		88.00	7,128.00	0.00	7,128.00	100%	0.00	0.00
CO #3	Sod Behind Curbs (8ft)	2,885.00		2885.00	SY	\$2.25	\$6,491.25	2885.00		2,885.00	6,491.25	0.00	6,491.25	100%	0.00	0.00
PAVING SUBTOTAL							\$320,623.60				\$320,623.60	\$0.00	\$320,623.60	100%	\$0.00	\$0.00
SANITARY SEWER																
CO #3	8" PVC Sanitary Sewer SDR-26 (0-6')	65.00	-65	0.00	LF	\$48.50	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	8" PVC Sanitary Sewer SDR-26 (0-6') - new	0.00	65	65.00	LF	\$56.50	\$3,672.50	65.00		65.00	3,672.50	0.00	3,672.50	100%	0.00	0.00
CO #3	8" PVC Sanitary Sewer SDR-26 (6-8')	400.00	-400	0.00	LF	\$53.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	8" PVC Sanitary Sewer SDR-26 (6-8') - new	0.00	400	400.00	LF	\$64.00	\$25,600.00	400.00		400.00	25,600.00	0.00	25,600.00	100%	0.00	0.00
SS-3	8" PVC Sanitary Sewer SDR-26 (8-10')	658.00		658.00	LF	\$60.00	\$39,480.00	658.00		658.00	39,480.00	0.00	39,480.00	100%	0.00	0.00
SS-4	8" PVC Sanitary Sewer SDR-26 (14-16')	119.00		119.00	LF	\$128.50	\$15,291.50	119.00		119.00	15,291.50	0.00	15,291.50	100%	0.00	0.00
CO #3	Manhole 4' Diameter (0-6")	2.00	-2	0.00	EA	\$6,000.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	Manhole 4' Diameter (0-6")	0.00	2	2.00	EA	\$6,600.00	\$13,200.00	2.00		2.00	13,200.00	0.00	13,200.00	100%	0.00	0.00
SS-6	Manhole 4' Diameter (6-8')	1.00		1.00	EA	\$6,600.00	\$6,600.00	1.00		1.00	6,600.00	0.00	6,600.00	100%	0.00	0.00
SS-7	Manhole 4' Diameter (8-10')	1.00		1.00	EA	\$7,600.00	\$7,600.00	1.00		1.00	7,600.00	0.00	7,600.00	100%	0.00	0.00
SS-8	Manhole 4' Diameter (10-12')	1.00		1.00	EA	\$8,500.00	\$8,500.00	1.00		1.00	8,500.00	0.00	8,500.00	100%	0.00	0.00
CO #3	Double Lateral Service	51.00	-51	0.00	EA	\$1,200.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	Double Lateral Service	0.00	51	51.00	EA	\$1,370.00	\$69,870.00	51.00		51.00	69,870.00	0.00	69,870.00	100%	0.00	0.00
SS-10	Connect to Existing Manhole 18.5' deep	1.00		1.00	EA	\$13,750.00	\$13,750.00	1.00		1.00	13,750.00	0.00	13,750.00	100%	0.00	0.00
SS-11	Testing and Inspection	1,242.00		1242.00	LF	\$1.35	\$1,676.70	1242.00		1,242.00	1,676.70	0.00	1,676.70	100%	0.00	0.00
CO #2	Core in Ex Manhole #612		1	1.00	LS	\$2,795.00	\$2,795.00	1.00		1.00	2,795.00	0.00	2,795.00	100%	0.00	0.00
CO #3	**Mobilization / Demob Sewer Crew		1	1.00	LS	\$17,902.50	\$17,902.50	1.00		1.00	17,902.50	0.00	17,902.50	100%	0.00	0.00
CO #3	**Connect to Existing Manhole		2	2.00	LS	\$10,850.00	\$21,700.00	2.00		2.00	21,700.00	0.00	21,700.00	100%	0.00	0.00
CO #3	** Additional Dewatering Pumping/Lower Pond D1 & D5		1	1.00	LS	\$8,415.00	\$8,415.00	1.00		1.00	8,415.00	0.00	8,415.00	100%	0.00	0.00
SANITARY SEWER SUBTOTAL							\$256,053.20				\$256,053.20	\$0.00	\$256,053.20	100%	\$0.00	\$0.00

SKYE RANCH N2 PHASE 2

ITEM #	DESCRIPTION	CONTRACT QTY	CHANGES	CURR PLAN	U/M	UNIT PRICE	TOTAL CONTRACT VALUE	QUANTITY			VALUE			%	BALANCE	RETAINAGE
								PRIOR	PERIOD	TO DATE	PRIOR	PERIOD	TO DATE	DONE	TO FINISH	
POTABLE WATER																
CO #3	6" PVC Water Main	1,000.00	-1000	0.00	LF	\$33.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	6" PVC Water Main - new	0.00	1000	1000.00	LF	\$36.30	\$36,300.00	1000.00		1,000.00	36,300.00	0.00	36,300.00	100%	0.00	0.00
CO #3	6" DI Water Main	20.00	-20	0.00	LF	\$134.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	6" DI Water Main - new	0.00	20	20.00	LF	\$142.00	\$2,840.00	20.00		20.00	2,840.00	0.00	2,840.00	100%	0.00	0.00
CO #3	4" PVC Water Main	457.00	-457	0.00	LF	\$28.50	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	4" PVC Water Main - new	0.00	657	657.00	LF	\$34.10	\$22,403.70	657.00		657.00	22,403.70	0.00	22,403.70	100%	0.00	0.00
CO #3	4" DI Water Main	20.00	-20	0.00	LF	\$142.50	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	4" DI Water Main - new	0.00	20	20.00	LF	\$146.50	\$2,930.00	20.00		20.00	2,930.00	0.00	2,930.00	100%	0.00	0.00
CO #3	6" Gate Valve	4.00	-4	0.00	EA	\$1,950.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	6" Gate Valve - new	0.00	4	4.00	EA	\$2,250.00	\$9,000.00	4.00		4.00	9,000.00	0.00	9,000.00	100%	0.00	0.00
CO #3	4" Gate Valve	1.00	-1	0.00	EA	\$1,800.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	4" Gate Valve - new	0.00	1	1.00	EA	\$2,100.00	\$2,100.00	1.00		1.00	2,100.00	0.00	2,100.00	100%	0.00	0.00
CO #3	Hydrant Assembly	3.00	-3	0.00	EA	\$5,650.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	Hydrant Assembly - new	0.00	3	3.00	EA	\$6,700.00	\$20,100.00	3.00		3.00	20,100.00	0.00	20,100.00	100%	0.00	0.00
CO #3	1" Single Service (Short)	60.00	-60	0.00	EA	\$1,030.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	1" Single Service (Short) - new	0.00	60	60.00	EA	\$1,170.00	\$70,200.00	60.00		60.00	70,200.00	0.00	70,200.00	100%	0.00	0.00
CO #3	1" Single Service (Long)	42.00	-42	0.00	EA	\$1,435.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	1" Single Service (Long) - new	0.00	42	42.00	EA	\$1,580.00	\$66,360.00	42.00		42.00	66,360.00	0.00	66,360.00	100%	0.00	0.00
CO #3	2" SDR9 HDPE Water Pipe	150.00	-150	0.00	LF	\$23.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	2" SDR9 HDPE Water Pipe - new	0.00	150	150.00	LF	\$26.95	\$4,042.50	150.00		150.00	4,042.50	0.00	4,042.50	100%	0.00	0.00
CO #3	2" Gate Valve	4.00	-4	0.00	EA	\$1,565.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	2" Gate Valve - new	0.00	4	4.00	EA	\$1,710.00	\$6,840.00	4.00		4.00	6,840.00	0.00	6,840.00	100%	0.00	0.00
CO #3	Chlorination & Testing	1,443.00		1443.00	LF	\$1.10	\$1,587.30	1443.00		1,443.00	1,587.30	0.00	1,587.30	0%	0.00	0.00
CO #3	Connect to Existing WM	1.00	1	2.00	EA	\$5,525.00	\$11,050.00	2.00		2.00	11,050.00	0.00	11,050.00	100%	0.00	0.00
CO #3	EOL Permanent Blow Off Assembly	2.00	-2	0.00	EA	\$2,050.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	EOL Permanent Blow Off Assembly - new	0.00	1	1.00	EA	\$2,950.00	\$2,950.00	1.00		1.00	2,950.00	0.00	2,950.00	100%	0.00	0.00
CO #3	**Mobilization / Demob Pressure Pipe Crew	0.00	1	1.00	LS	\$11,946.00	\$11,946.00	1.00		1.00	11,946.00	0.00	11,946.00	100%	0.00	0.00
PORTABLE WATER SUBTOTAL							\$270,649.50			\$270,649.50	\$0.00	\$270,649.50	100%	\$0.00	\$0.00	
IRRIGATION																
CO #3	4" PVC Irrigation Main	1,420.00	-1420	0.00	LF	\$33.50	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	4" PVC Irrigation Main - new	0.00	1420	1420.00	LF	\$38.50	\$54,670.00	1420.00		1,420.00	54,670.00	0.00	54,670.00	100%	0.00	0.00
CO #3	4" DI Irrigation Main	60.00	-60	0.00	LF	\$142.50	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	4" DI Irrigation Main - new	0.00	60	60.00	LF	\$146.50	\$8,790.00	60.00		60.00	8,790.00	0.00	8,790.00	100%	0.00	0.00
CO #3	4" Gate Valve	7.00	-7	0.00	EA	\$1,875.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	4" Gate Valve - new	0.00	7	7.00	EA	\$2,120.00	\$14,840.00	7.00		7.00	14,840.00	0.00	14,840.00	100%	0.00	0.00
CO #3	2" single service (COMMON) short	7.00	-7	0.00	EA	\$2,500.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	2" single service (COMMON) short - new	0.00	7	7.00	EA	\$2,675.00	\$18,725.00	7.00		7.00	18,725.00	0.00	18,725.00	100%	0.00	0.00
CO #3	2" single service (COMMON) long	6.00	-6	0.00	EA	\$2,700.00	\$0.00	0.00		0.00	0.00	0.00	0.00	0%	0.00	0.00
CO #3	2" single service (COMMON) long - new	0.00	6	6.00	EA	\$2,855.00	\$17,130.00	6.00		6.00	17,130.00	0.00	17,130.00	100%	0.00	0.00
CO #3	Testing	1,412.00		1412.00	LF	\$0.55	\$776.60	1412.00		1,412.00	776.60	0.00	776.60	0%	0.00	0.00
CO #3	Connect to Existing IR WM	1.00	1	1.00	EA	\$3,950.00	\$3,950.00	1.00		1.00	3,950.00	0.00	3,950.00	100%	0.00	0.00
CO #3	**EOL Permanent Blow Off Assembly	0.00	2	2.00	EA	\$2,950.00	\$5,900.00	2.00		2.00	5,900.00	0.00	5,900.00	100%	0.00	0.00
IRRIGATION SUBTOTAL							\$124,781.60			\$124,781.60	\$0.00	\$124,781.60	100%	\$0.00	\$0.00	
CHANGES																
CO #1	4" PVC Irrigation Main	1.00		1.00	LS	\$1,535.00	\$1,535.00	1.00		1.00	1,535.00	0.00	1,535.00	100%	0.00	0.00
CO #1	4" DI Irrigation Main	1.00		1.00	LS	\$7,100.00	\$7,100.00	1.00		1.00	7,100.00	0.00	7,100.00	100%	0.00	0.00
CO #1	4" Gate Valve	1.00		1.00	LS	\$5,500.00	\$5,500.00	1.00		1.00	5,500.00	0.00	5,500.00	100%	0.00	0.00
CO #1	2" single service (COMMON) short	1.00		1.00	LS	\$5,500.00	\$5,500.00	1.00		1.00	5,500.00	0.00	5,500.00	100%	0.00	0.00
CO #1	2" single service (COMMON) long	1.00		1.00	LS	\$5,500.00	\$5,500.00	1.00		1.00	5,500.00	0.00	5,500.00	100%	0.00	0.00
CO #4	Bahia Sodding		2885	2885.00	LS	\$0.30	\$851.08	2885.00		2,885.00	851.08	0.00	851.08	100%	0.00	0.00
CHANGES SUBTOTAL							\$25,986.08			\$25,986.08	\$0.00	\$25,986.08	100%	\$0.00	\$0.00	

SKYE RANCH N2 PHASE 2

ITEM #	DESCRIPTION	CONTRACT QTY	CHANGES	CURR PLAN	U/M	UNIT PRICE	TOTAL CONTRACT VALUE	QUANTITY			VALUE			%	BALANCE	RETAINAGE
								PRIOR	PERIOD	TO DATE	PRIOR	PERIOD	TO DATE	DONE	TO FINISH	

PROJECT TOTAL							\$1,102,600.98				\$1,102,600.98	\$0.00	\$1,102,600.98	100%	\$0.00	\$0.00
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TOTAL CONTRACT COMPLETED TO DATE:	\$1,102,600.98	10%
LESS 10% RETAINAGE	\$0.00	
SUBTOTAL VALUE	\$1,102,600.98	
LESS PRIOR DRAWS	\$992,340.88	
TOTAL AMOUNT DUE THIS INVOICE	\$110,260.10	



INVOICE NUMBER

RG - 11839

614 South Military Trail, Deerfield Beach, FL 33442
 TAYLOR MORRISON
 551 CATTLEMEN ROAD
 SARASOTA, FLORIDA 34232

PHOTOS

PO 735

ALL PAYMENTS DUE UPON RECEIPT OF INVOICE. A FINANCIAL CHARGE OF % PER MONTH (% ANNUAL RATE) WILL BE ADDED TO ALL PAST DUE ACCOUNTS

PROJECT	CUSTOMER NUMBER	INVOICE NUMBER	DATE
2210		11839	03/13/24

DATE	QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	AMOUNT
			SKYE RANCH N5		
			DRAW #22		\$44,966.98

WHITE - ORIGINAL / GREEN - DIVISION COPY / YELLOW - ALPHA FILE / PINK - NUMERIC FILE / GOLD - JOB BOOK

APPLICATION AND CERTIFICATE FOR PAYMENT

AIA DOCUMENT

TO OWNER: TAYLOR MORRISON OF FLORIDA INC
501 N CATTLEMEN ROAD SUITE 100
SARASOTA, FL 34232

PROJECT: SKYE RANCH
NEIGHBORHOOD 5

APPLICATION #: 22
PERIOD TO: 3/13/2024
PROJECT #: 2210
CONTRACT DATE:

CONTRACTOR: RYANGOLF CORPORATION
614 S MILITARY TRAIL
DEERFIELD BEACH, FL 33442

VIA ARCHITECT:

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. Continuation sheet, AIA Document G703, is attached.

1. ORIGINAL CONTRACT SUM		<u>\$6,816,408.24</u>
2. Net change by Change Orders.....		<u>\$459,179.79</u>
3. CONTRACT SUM TO DATE (Line 1 + 2).....		<u>\$7,275,588.03</u>
4. TOTAL COMPLETED & STORED TO DATE..... (Column G on G703)		<u>\$7,138,715.68</u>
5. RETAINAGE:	370,314.88	
a. % of Completed Work (Columns D + E on G703)	<u>10.00%</u>	<u>\$370,159.36</u>
b. _____ % of Stored Material (Column F on G703)		
Total Retainage (Line 5a + 5b or Total in Column 1 of G703).....	<u>370,314.88</u>	<u>\$370,159.36</u>
6. TOTAL EARNED LESS RETAINAGE..... (Line 4 less Line 5 Total)		<u>\$6,768,556.30</u>
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate).....		<u>\$6,723,589.32</u>
8. CURRENT PAYMENT DUE.....	<u>44,811.68</u>	<u>\$44,866.88</u>
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less Line 6)	<u>507,031.73</u>	

CHANGE ORDER SUMMARY	ADDITIONS	REDUCTIONS
Total changes approved in previous months by Owner		
Total approved this Month	0.00	
TOTALS		
NET CHANGES by Change Order	0.00	

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: RYANGOLF CORPORATION

By: [Signature]

Date: 3/13/24

State of: FLORIDA
County of: BROWARD
Subscribed and sworn to before me this 13th day of March, 2024

Notary Public:

My Commission expires: 2/9/26



ENGINEER'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Engineer certifies to the Owner that to the best of the Engineer's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$ 44,866.88

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on the Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ENGINEER: [Signature]

By: [Signature]

Date: 4/15/24

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

SKYE RANCH N6																	
ITEM #	DESCRIPTION	TM CODES	CONTRACT QTY	CHANGES	CURR PLAN	U/M	UNIT PRICE	TOTAL CONTRACT VALUE	QUANTITY			VALUE			% DONE	BALANCE TO FINISH	RETAINAGE
									PRIOR	PERIOD	TO DATE	PRIOR	PERIOD	TO DATE			
EARTHWORK																	
E-1	Mobilization	1030	1.00		1.00	LS	\$85,000.00	\$85,000.00	1.00		1.00	85,000.00	0.00	85,000.00	100%	0.00	4,250.00
E-2	Clearing and Grubbing	1040	75.30		75.30	AC	\$1,650.00	\$124,245.00	75.30		75.30	124,245.00	0.00	124,245.00	100%	0.00	6,212.25
E-3	Double Row Silt Fence	1050	10,683.03		10683.03	LF	\$3.70	\$39,527.23	10683.03		10,683.03	39,527.23	0.00	39,527.23	100%	0.00	1,976.36
E-4	Single Row Silt Fence	1060	2,351.82		2351.82	LF	\$1.85	\$4,350.87	2351.82		2,351.82	4,350.87	0.00	4,350.87	100%	0.00	217.54
E-5	Inlet Protection Device	1070	100.00		100.00	EA	\$125.00	\$12,500.00	40.00		40.00	5,000.00	0.00	5,000.00	40%	7,500.00	250.00
CO#1	Finish Grading (Lots & ROW)	1080	48.95	0.20	49.15	AC	\$1,200.00	\$58,982.61	39.00		39.00	46,800.00	0.00	46,800.00	79%	12,182.61	2,340.00
E-7	Seed and Mulch (Lots)	1090	34.42		34.42	AC	\$1,100.00	\$37,860.77	30.00		30.00	33,000.00	0.00	33,000.00	87%	4,860.77	1,650.00
E-8	Bahia Sod (pond slope stabilization TOB-NWL)	1100	33,158.15		33158.15	SY	\$2.16	\$71,621.60	33158.15		33,158.15	71,621.60	0.00	71,621.60	100%	0.00	3,581.08
E-9	Bahia Sod (6' wide rear yard swales)	1110	5,076.31		5076.31	SY	\$2.16	\$10,964.82	5076.00		5,076.00	10,964.16	0.00	10,964.16	100%	0.66	548.21
E-10	NPDES Compliance	1120	1.00		1.00	LS	\$28,500.00	\$28,500.00	1.00		1.00	28,500.00	0.00	28,500.00	100%	0.00	1,425.00
E-11	Pond M1 Excavation (20' depth)	1130	26,863.00		26863.00	CY	\$2.85	\$76,559.55	26863.00		26,863.00	76,559.55	0.00	76,559.55	100%	0.00	3,827.98
E-12	Pond N1 Excavation (12' depth)	1140	40,453.00		40453.00	CY	\$2.85	\$115,291.05	40453.00		40,453.00	115,291.05	0.00	115,291.05	100%	0.00	5,764.55
E-13	Pond U1 Excavation (20' depth)	1150	37,511.00		37511.00	CY	\$2.85	\$106,906.35	37511.00		37,511.00	106,906.35	0.00	106,906.35	100%	0.00	5,345.32
E-14	Pond V1 Excavation (20' depth)	1160	254,223.00		254223.00	CY	\$2.85	\$724,535.55	254223.00		254,223.00	724,535.55	0.00	724,535.55	100%	0.00	36,226.78
CO #2	Pond V1 Excavation (20' depth)	1160		26066	26066.00	CY	\$3.10	\$80,804.60	26066.00		26,066.00	80,804.60	0.00	80,804.60	100%	0.00	4,040.23
E-15	Pond W1 Excavation (14' depth)	1170	45,146.00		45146.00	CY	\$2.85	\$128,666.10	45146.00		45,146.00	128,666.10	0.00	128,666.10	100%	0.00	6,433.31
**	Tree Protection Fence (Orange Constr Fnc)	1180	2,100.00		2100.00	LF	\$3.50	\$7,350.00	2100.00		2,100.00	7,350.00	0.00	7,350.00	100%	0.00	367.50
**	Construction Entrance	1190	1.00		1.00	EA	\$5,850.00	\$5,850.00	1.00		1.00	5,850.00	0.00	5,850.00	100%	0.00	292.50
CO#1	Rough Grading	1200	49.00	0.20	49.20	AC	\$850.00	\$41,820.00	49.20		49.20	41,820.00	0.00	41,820.00	100%	0.00	2,091.00
**	Berm Grading (@ pond int)	1220	6,200.00		6200.00	LF	\$3.35	\$20,770.00	6200.00		6,200.00	20,770.00	0.00	20,770.00	100%	0.00	1,038.50
**	Swale Grading	1210	7,230.00		7230.00	LF	\$2.35	\$16,990.50	7230.00		7,230.00	16,990.50	0.00	16,990.50	100%	0.00	849.53
**	Bahia Sodding (Pad Back Slopes & berms)	1230	25,908.00		25908.00	SY	\$2.16	\$55,961.28	25908.00		25,908.00	55,961.28	0.00	55,961.28	100%	0.00	2,798.06
	EARTHWORK SUBTOTAL							\$1,855,057.88				\$1,830,513.84	\$0.00	\$1,830,513.84	99%	\$24,544.04	\$91,525.69
SURVEY																	
S-1	Construction Stake-out	1240	1.00		1.00	LS	\$104,000.00	\$104,000.00	1.00		1.00	104,000.00	0.00	104,000.00	100%	0.00	5,200.00
	SURVEY SUBTOTAL							\$104,000.00				\$104,000.00	\$0.00	\$104,000.00	100%	\$0.00	\$5,200.00
GEOTECHNICAL																	
G-1	Compaction Testing (Roads & Utilities)	1250	1.00		1.00	LS	\$54,000.00	\$54,000.00	1.00		1.00	54,000.00	0.00	54,000.00	100%	0.00	2,700.00
	GEOTECHNICAL SUBTOTAL							\$54,000.00				\$54,000.00	\$0.00	\$54,000.00	100%	\$0.00	\$2,700.00
PAVING																	
CO#1	1" Type SP-9.5 Asphalt 1st Lift	400	18,889.00	240	19129.00	SY	\$6.30	\$120,512.70	14400.00		14,400.00	90,720.00	0.00	90,720.00	75%	29,792.70	4,536.00
CO#1	7" Shell Base (98% Density LBR 100)	410	18,889.00	240	19129.00	SY	\$13.00	\$248,677.00	19129.00		19,129.00	248,677.00	0.00	248,677.00	100%	0.00	12,433.85
CO#1	8" Subgrade (Type B Stabilization LBR 40)	420	23,425.00	292	23717.00	SY	\$7.05	\$167,204.85	23717.00		23,717.00	167,204.85	0.00	167,204.85	100%	0.00	8,360.25
P-4	1st Lift Temp. Striping (Sinaga by others)	430	1.00		1.00	LS	\$4,400.00	\$4,400.00	1.00		1.00	4,400.00	0.00	4,400.00	100%	0.00	220.00
CO#1	1st Lift Temp. Striping (Sinaga by others)	430		1	1.00	LS	\$600.00	\$600.00	1.00		1.00	600.00	0.00	600.00	100%	0.00	30.00
P-5	2' Valley Gutter	440	10,425.00		10425.00	LF	\$11.35	\$118,323.75	10425.00		10,425.00	118,323.75	0.00	118,323.75	100%	0.00	5,916.19
CO#1	Type F Curb	450	2,995.00	155	3150.00	LF	\$12.90	\$40,635.00	3150.00		3,150.00	40,635.00	0.00	40,635.00	100%	0.00	2,031.75
P-7	Type A Curb	460	191.00		191.00	LF	\$20.35	\$3,886.85	191.00		191.00	3,886.85	0.00	3,886.85	100%	0.00	194.34
CO#1	4" Concrete Sidewalk (12' wide)	470	937.00	101.34	1038.34	SY	\$36.90	\$38,314.75	1038.34		1,038.34	38,314.75	0.00	38,314.75	100%	0.00	1,915.74
P-9	4" Concrete Sidewalk (8' wide)	480	718.00		718.00	SY	\$36.90	\$26,494.20	465.00	103.00	568.00	17,158.50	3,800.70	20,959.20	79%	5,535.00	1,047.96
CO#1	4" Concrete Sidewalk (5' wide)	490	1,924.91	44.45	1969.36	SY	\$36.90	\$72,669.48	1870.00		1,870.00	69,003.00	0.00	69,003.00	95%	3,666.48	3,450.15
P-11	Bahia Sod (8' BOC - Front of Lots Only)	500	7,581.00		7581.00	SY	\$2.16	\$16,374.96	7581.00		7,581.00	16,374.96	0.00	16,374.96	100%	0.00	818.75
CO#1	Bahia Sod (2' BOC - See exhibit)	510	128.00	34	162.00	SY	\$2.16	\$349.92	162.00		162.00	349.92	0.00	349.92	100%	0.00	17.50
P-13	ADA Handicapped Ramps w/ Detectable Warnings	520	10.00		10.00	EA	\$975.00	\$9,750.00	10.00		10.00	9,750.00	0.00	9,750.00	100%	0.00	487.50
**	Temp Turnaround	530	1.00		1.00	EA	\$9,300.00	\$9,300.00	0.00	1.00	1.00	0.00	9,300.00	9,300.00	100%	0.00	465.00
**	Lift Station Driveway, 6"	540	110.00		110.00	SY	\$67.50	\$7,425.00	110.00		110.00	7,425.00	0.00	7,425.00	100%	0.00	371.25
**	Bench Concrete Pad, 6"	550	21.00		21.00	SY	\$67.50	\$1,417.50	21.00		21.00	1,417.50	0.00	1,417.50	100%	0.00	70.88
	PAVING SUBTOTAL							\$886,335.95				\$834,241.08	\$13,100.70	\$847,341.78	96%	\$38,994.18	\$42,367.10
POTABLE WATER																	
W-1	12" PVC WM (C900 DR-18)	10	843.00		843.00	LF	\$97.00	\$81,771.00	843.00		843.00	81,771.00	0.00	81,771.00	100%	0.00	4,088.55
W-2	8" PVC WM (C900 DR-18)	20	4,504.00		4504.00	LF	\$49.50	\$222,948.00	4504.00		4,504.00	222,948.00	0.00	222,948.00	100%	0.00	13,934.25
W-3	6" PVC WM (C900 DR-18)	30	1,345.00		1345.00	LF	\$35.50	\$47,747.50	1345.00		1,345.00	47,747.50	0.00	47,747.50	100%	0.00	2,387.38

SKYE RANCH N5																	
ITEM #	DESCRIPTION	TM CODES	CONTRACT QTY	CHANGES	CURR PLAN	U/M	UNIT PRICE	TOTAL CONTRACT VALUE	QUANTITY			VALUE			%	BALANCE TO FINISH	RETAINAGE
									PRIOR	PERIOD	TO DATE	PRIOR	PERIOD	TO DATE			
W-4	4" PVC WM (C900 DR-18)	40	161.00		161.00	LF	\$35.00	\$5,635.00	161.00		161.00	5,635.00		5,635.00	100%	0.00	281.75
W-5	2" HDPE WM (C900 DR-18)	50	91.00		91.00	LF	\$18.00	\$1,638.00	91.00		91.00	1,638.00		1,638.00	100%	0.00	81.90
W-6	2" PE Discharge pipe	60	241.00		241.00	LF	\$18.00	\$4,338.00	241.00		241.00	4,338.00		4,338.00	100%	0.00	216.90
W-7	12" Gate Valve	70	1.00		1.00	EA	\$4,215.00	\$4,215.00	1.00		1.00	4,215.00		4,215.00	100%	0.00	210.75
W-8	8" Gate Valve	80	11.00		11.00	EA	\$2,475.00	\$27,225.00	11.00		11.00	27,225.00		27,225.00	100%	0.00	1,361.25
W-9	6" Gate Valve	90	4.00		4.00	EA	\$2,050.00	\$8,200.00	4.00		4.00	8,200.00		8,200.00	100%	0.00	410.00
W-10	1" Single Service (Short)	100	99.00		99.00	EA	\$1,150.00	\$113,850.00	99.00		99.00	113,850.00		113,850.00	100%	0.00	6,583.75
W-11	1" Single Service (Long)	110	71.00		71.00	EA	\$1,275.00	\$90,525.00	71.00		71.00	90,525.00		90,525.00	100%	0.00	5,259.37
W-12	Hydrant Assembly	120	9.00		9.00	EA	\$5,265.00	\$47,385.00	9.00		9.00	47,385.00		47,385.00	100%	0.00	2,764.12
W-13	2" HG-2 Autoflusher	130	1.00		1.00	EA	\$12,000.00	\$12,000.00	1.00		1.00	12,000.00		12,000.00	100%	0.00	600.00
W-14	Chlorination & Testing	140	6,944.00		6,944.00	LF	\$1.10	\$7,638.40	5801.00	1,143.00	6,944.00	6,381.10	1,257.30	7,638.40	100%	0.00	381.92
**	Remove Temp Auto Flshr & CTE 12" WM	150	1.00		1.00	EA	\$5,150.00	\$5,150.00	1.00		1.00	5,150.00		5,150.00	100%	0.00	257.50
CO#3	Labor & Equipment for Installation of Autoflusher			1	1.00	LS	\$6,655.00	\$6,655.00	1.00		1.00	6,655.00		6,655.00	100%	0.00	332.75
CO#3	Materials for Connecting Autoflusher and Pipe			1	1.00	LS	\$2,100.00	\$2,100.00	1.00		1.00	2,100.00		2,100.00	100%	0.00	105.00
								POTABLE WATER SUBTOTAL				\$689,020.90		\$689,020.90	100%	\$0.00	\$39,257.14
WASTEWATER																	
WW-1	8" PVC Sanitary Sewer SDR-26 (0-6')	160	1,314.00		1,314.00	LF	\$48.00	\$63,072.00	1,314.00		1,314.00	63,072.00		63,072.00	100%	0.00	3,153.60
WW-2	8" PVC Sanitary Sewer SDR-26 (6-8')	170	1,917.00		1,917.00	LF	\$53.00	\$101,601.00	1,917.00		1,917.00	101,601.00		101,601.00	100%	0.00	5,080.05
WW-3	8" PVC Sanitary Sewer SDR-26 (8-10')	180	678.00		678.00	LF	\$60.00	\$40,680.00	678.00		678.00	40,680.00		40,680.00	100%	0.00	2,034.00
WW-4	8" PVC Sanitary Sewer SDR-26 (10-12')	190	780.00		780.00	LF	\$73.50	\$57,330.00	780.00		780.00	57,330.00		57,330.00	100%	0.00	2,866.50
WW-5	8" PVC Sanitary Sewer SDR-26 (12-14')	200	659.00		659.00	LF	\$91.00	\$59,969.00	659.00		659.00	59,969.00		59,969.00	100%	0.00	2,998.45
WW-6	8" PVC Sanitary Sewer SDR-26 (14-16')	210	562.00		562.00	LF	\$110.00	\$61,820.00	562.00		562.00	61,820.00		61,820.00	100%	0.00	3,091.00
WW-7	8" PVC Sanitary Sewer SDR-26 (16-18')	220	400.00		400.00	LF	\$141.00	\$56,400.00	400.00		400.00	56,400.00		56,400.00	100%	0.00	2,820.00
WW-8	8" PVC Sanitary Sewer DR-14 (16-18')	230	44.00		44.00	LF	\$179.00	\$7,876.00	44.00		44.00	7,876.00		7,876.00	100%	0.00	393.80
WW-9	Manhole 4' Diameter (0-6')	240	8.00		8.00	EA	\$6,000.00	\$48,000.00	8.00		8.00	48,000.00		48,000.00	100%	0.00	2,400.00
WW-10	Manhole 4' Diameter (6-8')	250	5.00		5.00	EA	\$7,000.00	\$35,000.00	5.00		5.00	35,000.00		35,000.00	100%	0.00	1,750.00
WW-11	Manhole 4' Diameter (8-10')	260	4.00		4.00	EA	\$8,500.00	\$34,000.00	4.00		4.00	34,000.00		34,000.00	100%	0.00	1,700.00
WW-12	Manhole 4' Diameter (10-12')	270	2.00		2.00	EA	\$9,500.00	\$19,000.00	2.00		2.00	19,000.00		19,000.00	100%	0.00	950.00
WW-13	Manhole 4' Diameter (12-14')	280	2.00		2.00	EA	\$10,500.00	\$21,000.00	2.00		2.00	21,000.00		21,000.00	100%	0.00	1,050.00
WW-14	Manhole 4' Diameter (14-16')	290	1.00		1.00	EA	\$11,750.00	\$11,750.00	1.00		1.00	11,750.00		11,750.00	100%	0.00	587.50
WW-15	Manhole 4' Diameter (16-18')	300	1.00		1.00	EA	\$13,000.00	\$13,000.00	1.00		1.00	13,000.00		13,000.00	100%	0.00	650.00
WW-16	Manhole 4' Diameter LINED (16-18')	310	1.00		1.00	EA	\$18,500.00	\$18,500.00	1.00		1.00	18,500.00		18,500.00	100%	0.00	925.00
WW-17	Single Lateral Service	320	23.00		23.00	EA	\$1,575.00	\$36,225.00	23.00		23.00	36,225.00		36,225.00	100%	0.00	1,811.25
WW-18	Double Lateral Service	330	73.00		73.00	EA	\$1,700.00	\$124,100.00	73.00		73.00	124,100.00		124,100.00	100%	0.00	6,205.00
WW-19	Testing and Inspection (TV, Mandrel & Air)	340	6,354.00		6,354.00	LF	\$1.35	\$8,577.90	5223.00	1,131.00	6,354.00	7,051.05	1,526.85	8,577.90	100%	0.00	428.90
WW-20	Lift Station	350	1.00		1.00	EA	\$355,000.00	\$355,000.00	1.00		1.00	355,000.00		355,000.00	100%	0.00	17,750.00
WW-21	4" PVC FM (C900 DR-18)	360	2,093.00		2,093.00	LF	\$30.25	\$63,313.25	2,093.00		2,093.00	63,313.25		63,313.25	100%	0.00	3,165.66
WW-22	4" Gate Valve	370	1.00		1.00	EA	\$2,850.00	\$2,850.00	1.00		1.00	2,850.00		2,850.00	100%	0.00	142.50
WW-23	Testing and Inspection (FM)	380	2,093.00		2,093.00	LF	\$0.55	\$1,151.15	2,093.00		2,093.00	1,151.15		1,151.15	100%	0.00	57.56
**	Remove Ex. B/O and Connect to Ex.	390	1.00		1.00	EA	\$4,500.00	\$4,500.00	1.00		1.00	4,500.00		4,500.00	100%	0.00	450.00
								WASTEWATER SUBTOTAL				\$1,243,188.45	\$1,526.85	\$1,244,715.30	100%	\$0.00	\$62,460.77
DRAINAGE																	
D-1	10" HDPE	560	1,987.00		1,987.00	LF	\$30.00	\$59,610.00	1,987.00		1,987.00	59,610.00		59,610.00	100%	0.00	2,980.50
D-2	12" HDPE	570	1,835.00		1,835.00	LF	\$37.00	\$67,895.00	1,835.00		1,835.00	67,895.00		67,895.00	100%	0.00	3,394.75
D-3	15" HDPE	580	1,256.00		1,256.00	LF	\$47.00	\$59,032.00	1,256.00		1,256.00	59,032.00		59,032.00	100%	0.00	2,951.60
D-4	18" HDPE	590	174.00		174.00	LF	\$57.00	\$9,918.00	174.00		174.00	9,918.00		9,918.00	100%	0.00	495.90
D-5	30" HDPE	600	692.00		692.00	LF	\$125.00	\$86,500.00	692.00		692.00	86,500.00		86,500.00	100%	0.00	4,325.00
D-6	15" RCP	610	853.00		853.00	LF	\$57.00	\$48,621.00	853.00		853.00	48,621.00		48,621.00	100%	0.00	2,431.05
D-7	18" RCP	620	1,182.00		1,182.00	LF	\$79.00	\$93,378.00	1,182.00		1,182.00	93,378.00		93,378.00	100%	0.00	4,668.90
D-8	24" RCP	630	1,613.00		1,613.00	LF	\$83.00	\$133,879.00	1,613.00		1,613.00	133,879.00		133,879.00	100%	0.00	6,693.95
D-9	30" RCP	640	2,241.00		2,241.00	LF	\$112.50	\$252,112.50	2,241.00		2,241.00	252,112.50		252,112.50	100%	0.00	12,605.63
D-10	36" RCP	650	720.00		720.00	LF	\$146.00	\$105,120.00	720.00		720.00	105,120.00		105,120.00	100%	0.00	5,256.00
D-11	42" RCP	660	177.00		177.00	LF	\$195.00	\$34,515.00	177.00		177.00	34,515.00		34,515.00	100%	0.00	1,725.75
D-12	Yard Drain	670	54.00		54.00	EA	\$1,350.00	\$72,900.00	54.00		54.00	72,900.00		72,900.00	100%	0.00	3,645.00

SKYE RANCH N5

ITEM #	DESCRIPTION	TM CODES	CONTRACT QTY	CHANGES	CURR PLAN	U/M	UNIT PRICE	TOTAL CONTRACT VALUE	QUANTITY			VALUE			%	BALANCE	
									PRIOR	PERIOD	TO DATE	PRIOR	PERIOD	TO DATE		DONE	TO FINISH
D-13	Grate Inlet	680	17.00		17.00	EA	\$4,950.00	\$84,150.00	17.00		17.00	84,150.00	0.00	84,150.00	100%	0.00	4,207.50
D-14	Valley Gutter Inlet	690	22.00		22.00	EA	\$5,800.00	\$127,600.00	22.00		22.00	127,600.00	0.00	127,600.00	100%	0.00	6,380.00
D-15	Type "9" Curb Inlet	700	6.00		6.00	EA	\$5,250.00	\$31,500.00	6.00		6.00	31,500.00	0.00	31,500.00	100%	0.00	1,575.00
D-16	Junction Box	710	9.00		9.00	EA	\$5,950.00	\$53,550.00	9.00		9.00	53,550.00	0.00	53,550.00	100%	0.00	2,677.50
D-17	Type "C" Inlet	720	2.00		2.00	EA	\$4,000.00	\$8,000.00	2.00		2.00	8,000.00	0.00	8,000.00	100%	0.00	400.00
D-18	Type "D" Inlet	730	2.00		2.00	EA	\$5,800.00	\$11,600.00	2.00		2.00	11,600.00	0.00	11,600.00	100%	0.00	580.00
D-19	Type "F" Inlet	740	2.00		2.00	EA	\$5,500.00	\$11,000.00	2.00		2.00	11,000.00	0.00	11,000.00	100%	0.00	550.00
D-20	Type "H" Inlet	750	2.00		2.00	EA	\$13,700.00	\$27,400.00	2.00		2.00	27,400.00	0.00	27,400.00	100%	0.00	1,370.00
D-21	Control Structures	760	3.00		3.00	EA	\$8,250.00	\$24,750.00	3.00		3.00	24,750.00	0.00	24,750.00	100%	0.00	1,237.50
D-22	Rip Rap Outfall Structures	770	6.00		6.00	EA	\$1,500.00	\$9,000.00	6.00		6.00	9,000.00	0.00	9,000.00	100%	0.00	450.00
D-23	10" Flared End	780	5.00		5.00	EA	\$3,000.00	\$15,000.00	5.00		5.00	15,000.00	0.00	15,000.00	100%	0.00	750.00
D-24	15" Flared End	790	1.00		1.00	EA	\$3,750.00	\$3,750.00	1.00		1.00	3,750.00	0.00	3,750.00	100%	0.00	187.50
D-25	24" Flared End	800	5.00		5.00	EA	\$4,250.00	\$21,250.00	5.00		5.00	21,250.00	0.00	21,250.00	100%	0.00	1,062.50
D-26	30" Flared End	810	7.00		7.00	EA	\$4,850.00	\$33,950.00	7.00		7.00	33,950.00	0.00	33,950.00	100%	0.00	1,697.50
D-27	36" Flared End	820	4.00		4.00	EA	\$5,600.00	\$22,400.00	4.00		4.00	22,400.00	0.00	22,400.00	100%	0.00	1,120.00
D-28	42" Flared End	830	1.00		1.00	EA	\$6,700.00	\$6,700.00	1.00		1.00	6,700.00	0.00	6,700.00	100%	0.00	335.00
**	Connect to Ex. 30" RCP (added 5 tons gr)	840	1.00		1.00	EA	\$3,950.00	\$3,950.00	1.00		1.00	3,950.00	0.00	3,950.00	100%	0.00	197.50
**	Connect to Ex. 36" RCP (added 5 tons gr)	850	2.00		2.00	EA	\$4,650.00	\$9,300.00	2.00		2.00	9,300.00	0.00	9,300.00	100%	0.00	465.00
								DRAINAGESUBTOTAL	\$1,528,330.50			\$1,528,330.50	\$0.00	\$1,528,330.50	100%	\$0.00	\$76,416.53
IRRIGATION																	
I-1	8" PVC Irrigation Main (C900 DR-18)	860	4,329.00		4,329.00	LF	\$51.50	\$222,943.50	4,329.00		4,329.00	222,943.50	0.00	222,943.50	100%	0.00	13,934.61
I-2	6" PVC Irrigation Main (C900 DR-18)	870	741.00		741.00	LF	\$34.50	\$25,564.50	741.00		741.00	25,564.50	0.00	25,564.50	100%	0.00	1,278.23
I-3	4" PVC Irrigation Main (C900 DR-18)	880	1,680.00		1,680.00	LF	\$27.00	\$45,360.00	1,680.00		1,680.00	45,360.00	0.00	45,360.00	100%	0.00	2,268.00
I-4	8" Gate Valve	890	6.00		6.00	EA	\$2,700.00	\$16,200.00	6.00		6.00	16,200.00	0.00	16,200.00	100%	0.00	810.00
I-5	6" Gate Valve	900	1.00		1.00	EA	\$2,250.00	\$2,250.00	1.00		1.00	2,250.00	0.00	2,250.00	100%	0.00	112.50
I-6	4" Gate Valve	910	5.00		5.00	EA	\$1,825.00	\$9,125.00	5.00		5.00	9,125.00	0.00	9,125.00	100%	0.00	456.25
I-7	1" Single service (short)	920	27.00		27.00	EA	\$1,125.00	\$30,375.00	27.00		27.00	30,375.00	0.00	30,375.00	100%	0.00	1,715.62
I-8	1" Double service (short)	930	22.00		22.00	LF	\$1,925.00	\$42,350.00	22.00		22.00	42,350.00	0.00	42,350.00	100%	0.00	2,406.25
I-9	1" Single service (long)	940	14.00		14.00	LF	\$1,375.00	\$19,250.00	14.00		14.00	19,250.00	0.00	19,250.00	100%	0.00	1,100.00
I-10	1" Double service (long)	950	42.00		42.00	LF	\$2,200.00	\$92,400.00	42.00		42.00	92,400.00	0.00	92,400.00	100%	0.00	5,280.00
I-11	2" Single service (COMMON)	960	8.00		8.00	EA	\$2,650.00	\$21,200.00	8.00		8.00	21,200.00	0.00	21,200.00	100%	0.00	1,060.00
I-12	6" Permanent Blowoff	970	2.00		2.00	EA	\$2,915.00	\$5,830.00	2.00		2.00	5,830.00	0.00	5,830.00	100%	0.00	291.50
I-13	4" Permanent Blowoff	980	1.00		1.00	EA	\$2,800.00	\$2,800.00	1.00		1.00	2,800.00	0.00	2,800.00	100%	0.00	140.00
I-14	2" Permanent Blowoff	990	2.00		2.00	EA	\$2,100.00	\$4,200.00	2.00		2.00	4,200.00	0.00	4,200.00	100%	0.00	210.00
I-15	Testing and Inspection	1000	6,750.00		6,750.00	EA	\$0.55	\$3,712.50	5,511.00	1,239.00	6,750.00	3,031.05	681.45	3,712.50	100%	0.00	185.63
**	Remove B/O & CTE, 8"	1010	1.00		1.00	EA	\$4,500.00	\$4,500.00	1.00		1.00	4,500.00	0.00	4,500.00	100%	0.00	225.00
**	2" single service (COMMON) long	1020	4.00		4.00	EA	\$2,900.00	\$11,600.00	4.00		4.00	11,600.00	0.00	11,600.00	100%	0.00	580.00
								IRRIGATION SUBTOTAL	\$559,660.50			\$559,660.50	\$681.45	\$559,660.50	100%	\$0.00	\$32,053.58
PRIORITY 3																	
CO#4	Mobilization & Supervision			1	1.00	LS	\$15,000.00	\$15,000.00	1.00		1.00	15,000.00	0.00	15,000.00	100%	0.00	750.00
CO#4	Silt Fence - Single Row			3060	3060.00	LF	\$2.35	\$7,191.00	0.00		0.00	0.00	0.00	0.00	0%	7,191.00	0.00
CO#4	Inlet Protection			17	17.00	EA	\$135.00	\$2,295.00	0.00		0.00	0.00	0.00	0.00	0%	2,295.00	0.00
CO#4	NPDES Compliance			1	1.00	LS	\$8,000.00	\$8,000.00	0.70	0.10	0.80	5,600.00	800.00	6,400.00	80%	1,600.00	520.00
CO#4	Rough Grading			11	11.00	AC	\$1,100.00	\$12,100.00	6.00	3.00	9.00	6,600.00	3,300.00	9,900.00	82%	2,200.00	660.00
CO#4	Bahia Sod			3045	3045.00	SY	\$2.52	\$7,673.40	0.00		0.00	0.00	0.00	0.00	0%	7,673.40	0.00
CO#4	Surveying, Construction Stake-out & As-builts			1	1.00	LS	\$15,750.00	\$15,750.00	0.70	0.20	0.90	11,025.00	3,150.00	14,175.00	90%	1,575.00	1,102.50
CO#4	1" Type SP-9.5 Asphalt 1st Lift (prem)			4729	4729.00	SY	\$2.25	\$10,640.25	0.00		0.00	0.00	0.00	0.00	0%	10,640.25	0.00
CO#4	7" Shell Base (LBR 100) (prem)			4169	4169.00	SY	\$3.25	\$13,549.25	0.00	4,169.00	4,169.00	0.00	13,549.25	13,549.25	100%	0.00	677.46
CO#4	Hammerhead Turnaround - 7" Shell Base (LBR 100)			505	505.00	SY	\$3.25	\$1,641.25	0.00	505.00	505.00	0.00	1,641.25	1,641.25	100%	0.00	82.06
CO#4	8" Stabilized Subgrade (LBR 40) (prem)			4451	4451.00	SY	\$1.45	\$6,453.95	4,451.00		4,451.00	6,453.95	0.00	6,453.95	100%	0.00	322.70
CO#4	Hammerhead Turnaround - 8" Stabilized Subgrade (LB			550	550.00	SY	\$1.45	\$797.50	0.00	550.00	550.00	0.00	797.50	797.50	100%	0.00	39.88
CO#4	1st Lift Striping			1	1.00	LS	\$1,500.00	\$1,500.00	0.00		0.00	0.00	0.00	0.00	0%	1,500.00	0.00
CO#4	2" Valley Gutter (prem)			2229	2229.00	LF	\$2.00	\$4,458.00	2,229.00		2,229.00	4,458.00	0.00	4,458.00	100%	0.00	222.90
CO#4	Type "F" Curb (prem)			128	128.00	LF	\$13.75	\$1,760.00	0.00	128.00	128.00	0.00	1,760.00	1,760.00	100%	0.00	88.00

SKYE RANCH N5

ITEM #	DESCRIPTION	TM CODES	CONTRACT QTY	CHANGES	CURR PLAN	U/M	UNIT PRICE	TOTAL CONTRACT VALUE	QUANTITY			VALUE			% DONE	BALANCE	
									PRIOR	PERIOD	TO DATE	PRIOR	PERIOD	TO DATE		TO FINISH	RETAINAGE
CO#4	4" Concrete Sidewalk (8' wide) (prem)			253	253.00	SY	\$27.45	\$6,944.85	0.00		0.00	0.00	0.00	0%	6,944.85	0.00	
CO#4	4" Concrete Sidewalk (5' wide) (prem)			99.36	99.36	SY	\$27.45	\$2,727.43	0.00		0.00	0.00	0.00	0%	2,727.43	0.00	
CO#4	Bahia Sod, 8' BOC			2236.00	2236.00	SY	\$2.52	\$5,634.72	0.00		0.00	0.00	0.00	0%	5,634.72	0.00	
CO#4	8" PVC Water Main			1173	1173.00	LF	\$6.00	\$7,038.00	1173.00		1,173.00	7,038.00	7,038.00	100%	0.00	703.80	
CO#4	8" Gate Valve			3	3.00	EA	\$1,620.00	\$4,860.00	3.00		3.00	4,860.00	4,860.00	100%	0.00	486.00	
CO#4	1" Single Service (Short)			19	19.00	EA	\$510.00	\$9,690.00	19.00		19.00	9,690.00	9,690.00	100%	0.00	969.00	
CO#4	1" Single Service (Long)			23	23.00	EA	\$635.00	\$14,605.00	23.00		23.00	14,605.00	14,605.00	100%	0.00	1,460.50	
CO#4	Hydrant Assembly			2	2.00	EA	\$1,330.00	\$2,660.00	2.00		2.00	2,660.00	2,660.00	100%	0.00	266.00	
CO#4	2" PE Discharge Pipe for autoflushing device			232	232.00	EA	\$7.50	\$1,740.00	232.00		232.00	1,740.00	1,740.00	100%	0.00	174.00	
CO#4	Connect to Existing Water Main			1	1.00	LS	\$1,825.00	\$1,825.00	1.00		1.00	1,825.00	1,825.00	100%	0.00	182.50	
CO#4	Remove and Relocate Autoflushing Device			1	1.00	LS	\$975.00	\$975.00	0.50		0.50	487.50	487.50	50%	487.50	48.75	
CO#4	Temporary Blow-off Assembly			1	1.00	LS	\$2,865.00	\$2,865.00	0.00		0.00	0.00	0.00	0%	2,865.00	0.00	
CO#4	Chlorination & Testing			1173	1173.00	LF	\$1.75	\$2,052.75	0.00	1,173.00	1,173.00	0.00	2,052.75	100%	0.00	0.00	
CO#4	8" PVC Sanitary Sewer SDR-26 (0-6')			396	396.00	LF	\$9.00	\$3,564.00	396.00		396.00	3,564.00	3,564.00	100%	0.00	178.20	
CO#4	8" PVC Sanitary Sewer SDR-26 (6-8')			529	529.00	LF	\$10.00	\$5,290.00	529.00		529.00	5,290.00	5,290.00	100%	0.00	264.50	
CO#4	8" PVC Sanitary Sewer SDR-26 (8-10')			206	206.00	LF	\$13.00	\$2,678.00	206.00		206.00	2,678.00	2,678.00	100%	0.00	133.90	
CO#4	Manhole 4' Diameter (0-6')			1	1.00	EA	\$1,700.00	\$1,700.00	1.00		1.00	1,700.00	1,700.00	100%	0.00	85.00	
CO#4	Manhole 4' Diameter (6-8')			2	2.00	EA	\$1,800.00	\$3,600.00	2.00		2.00	3,600.00	3,600.00	100%	0.00	180.00	
CO#4	Manhole 4' Diameter (8-10')			1	1.00	EA	\$1,900.00	\$1,900.00	1.00		1.00	1,900.00	1,900.00	100%	0.00	95.00	
CO#4	Single Lateral Service			6	6.00	EA	\$205.00	\$1,230.00	6.00		6.00	1,230.00	1,230.00	100%	0.00	61.50	
CO#4	Double Lateral Service			17	17.00	EA	\$225.00	\$3,825.00	17.00		17.00	3,825.00	3,825.00	100%	0.00	191.25	
CO#4	Testing and Inspection			1131	1131.00	LF	\$12.00	\$13,572.00	1131.00		1,131.00	13,572.00	13,572.00	100%	0.00	678.60	
CO#4	Repurchase Sewer Pipe & Fittings			1	1.00	EA	\$47,945.00	\$47,945.00	1.00		1.00	47,945.00	47,945.00	100%	0.00	2,397.25	
CO#4	Credit for Previously Un-delivered Sewer Materials			1	1.00	EA	-\$9,688.50	-\$9,688.50	1.00		1.00	-9,688.50	-9,688.50	100%	0.00	-484.43	
CO#4	Connect to Existing Manhole			1	1.00	EA	\$3,145.00	\$3,145.00	1.00		1.00	3,145.00	3,145.00	100%	0.00	157.25	
CO#4	10" HDPE			669	669.00	LF	\$9.00	\$6,021.00	669.00		669.00	6,021.00	6,021.00	100%	0.00	301.05	
CO#4	15" HDPE			366	366.00	LF	\$10.00	\$3,660.00	366.00		366.00	3,660.00	3,660.00	100%	0.00	183.00	
CO#4	15" RCP			158	158.00	LF	\$18.00	\$2,844.00	158.00		158.00	2,844.00	2,844.00	100%	0.00	142.20	
CO#4	18" RCP			216	216.00	LF	\$14.00	\$3,024.00	216.00		216.00	3,024.00	3,024.00	100%	0.00	151.20	
CO#4	24" RCP			199	199.00	LF	\$17.00	\$3,383.00	199.00		199.00	3,383.00	3,383.00	100%	0.00	169.15	
CO#4	30" RCP			202	202.00	LF	\$85.00	\$17,170.00	202.00		202.00	17,170.00	17,170.00	100%	0.00	858.50	
CO#4	Yard Drain			11	11.00	EA	\$640.00	\$7,040.00	11.00		11.00	7,040.00	7,040.00	100%	0.00	352.00	
CO#4	Grate Inlet			2	2.00	EA	\$735.00	\$1,470.00	2.00		2.00	1,470.00	1,470.00	100%	0.00	73.50	
CO#4	Valley Gutter Inlet			4	4.00	EA	\$1,240.00	\$4,960.00	4.00		4.00	4,960.00	4,960.00	100%	0.00	248.00	
CO#4	10" Flared End			1	1.00	EA	\$735.00	\$735.00	1.00		1.00	735.00	735.00	100%	0.00	36.75	
CO#4	24" Flared End			1	1.00	EA	\$855.00	\$855.00	1.00		1.00	855.00	855.00	100%	0.00	42.75	
CO#4	30" Flared End			1	1.00	EA	\$1,100.00	\$1,100.00	1.00		1.00	1,100.00	1,100.00	100%	0.00	55.00	
CO#4	Remove and Replace existing 30" RCP to install sew			1	1.00	EA	\$2,500.00	\$2,500.00	0.00	1.00	1.00	0.00	2,500.00	100%	0.00	125.00	
CO#4	Dewatering			1	1.00	EA	\$20,000.00	\$20,000.00	0.00		0.00	0.00	0.00	0%	20,000.00	0.00	
CO#4	8" PVC Irrigation Main			1239	1239.00	LF	\$6.00	\$7,434.00	1239.00		1,239.00	7,434.00	7,434.00	100%	0.00	743.40	
CO#4	8" Gate Valve			1	1.00	EA	\$1,620.00	\$1,620.00	1.00		1.00	1,620.00	1,620.00	100%	0.00	162.00	
CO#4	1" Single service (short)			5	5.00	EA	\$470.00	\$2,350.00	5.00		5.00	2,350.00	2,350.00	100%	0.00	235.00	
CO#4	1" Double service (short)			9	9.00	EA	\$510.00	\$4,590.00	9.00		9.00	4,590.00	4,590.00	100%	0.00	459.00	
CO#4	1" Single service (long)			3	3.00	LF	\$630.00	\$1,890.00	3.00		3.00	1,890.00	1,890.00	100%	0.00	189.00	
CO#4	1" Double service (long)			8	8.00	LF	\$630.00	\$5,040.00	8.00		8.00	5,040.00	5,040.00	100%	0.00	504.00	
CO#4	2" Single service (COMMON) short			1	1.00	EA	\$900.00	\$900.00	1.00		1.00	900.00	900.00	100%	0.00	90.00	
CO#4	2" single service (COMMON) long			1	1.00	EA	\$1,025.00	\$1,025.00	1.00		1.00	1,025.00	1,025.00	100%	0.00	102.50	
CO#4	6" Blow-off Assembly			1	1.00	EA	\$960.00	\$960.00	1.00		1.00	960.00	960.00	100%	0.00	96.00	
CO#4	Pressure Testing			1239	1239.00	LF	\$0.85	\$1,053.15	0.00	1,239.00	1,239.00	0.00	1,053.15	100%	0.00	0.00	
CO#4	Connect to Existing Irrigation Main			1	1.00	EA	\$1,655.00	\$1,655.00	1.00		1.00	1,655.00	1,655.00	100%	0.00	165.50	
IRRIGATION SUBTOTAL								\$354,467.00				\$250,528.95	\$30,603.90	\$281,132.85	79%	\$73,334.15	\$18,178.57
PROJECT TOTAL								\$7,275,588.03				\$7,091,545.46	\$47,170.20	\$7,138,715.66	98%	\$136,872.37	\$370,159.36

ITEM #	DESCRIPTION	TM CODES	CONTRACT QTY	CHANGES	CURR PLAN	U/M	UNIT PRICE	TOTAL CONTRACT VALUE	QUANTITY			VALUE			%	BALANCE	RETAINAGE
									PRIOR	PERIOD	TO DATE	PRIOR	PERIOD	TO DATE	DONE	TO FINISH	

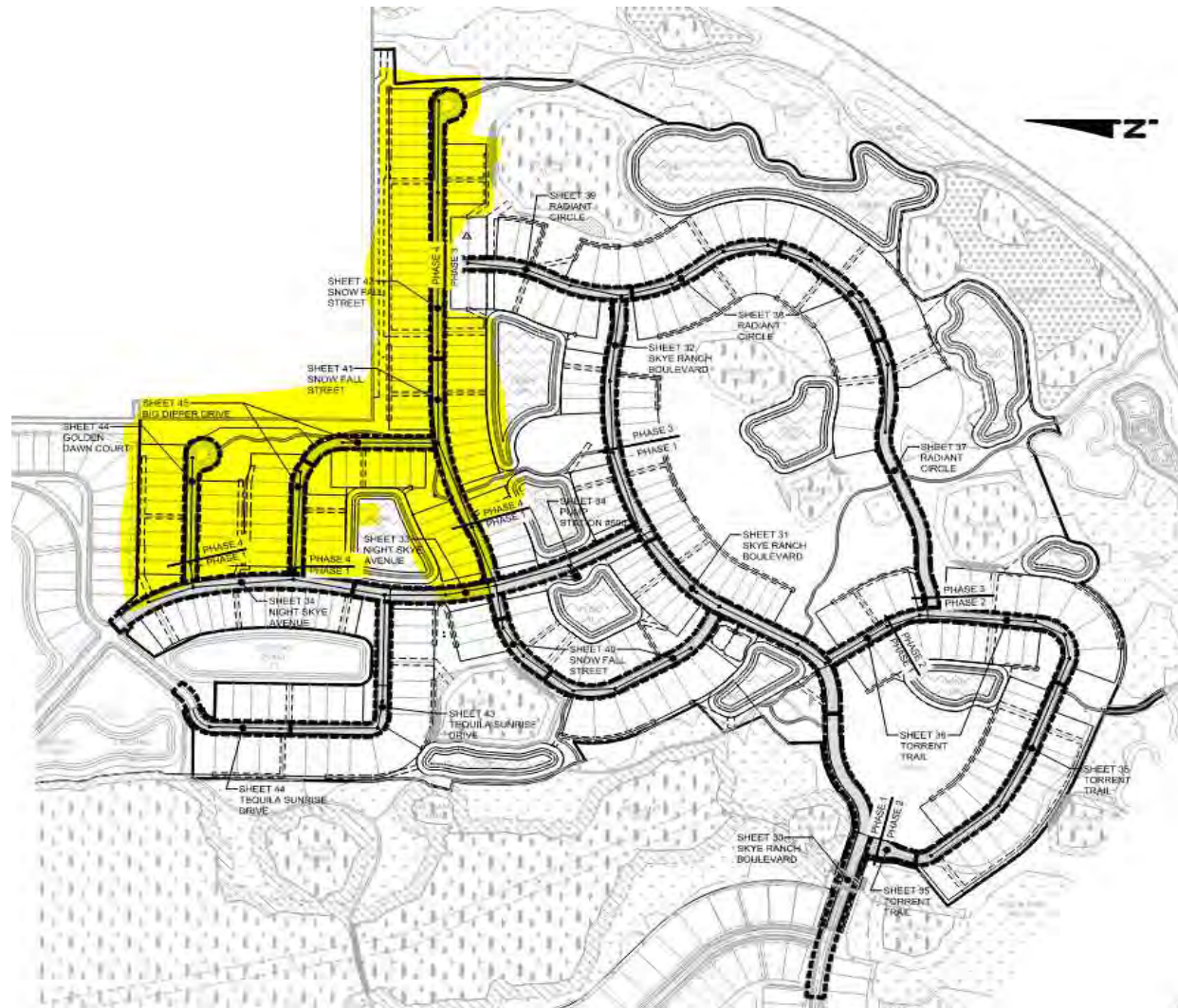
TOTAL CONTRACT COMPLETED TO DATE:	\$7,138,715.66	10%
LESS 10% RETAINAGE	\$370,159.36	
SUBTOTAL VALUE	\$6,768,556.30	
LESS PRIOR DRAWS	\$6,723,589.32	
TOTAL AMOUNT DUE THIS INVOICE	\$44,966.98	

N3 Utilities Phase 4 (Soft costs)

	Total contract	CDD Eligible Utilities	Utilities Paid to Date	Balance owed	Notes
Waldrop Civil	\$ 1,150,545.00	\$ 95,878.75	\$ 94,312.35	\$ 1,566.40	Assume N3 Cost 1/3 of total cost due to budget of 3 neighborhoods. Assume N3 Phase 4 Utilities is 25% of total N3 cost.
Other Consultants	\$ 8,450.00	\$ 1,056.25	\$ 946.96	\$ 109.29	Assume 1/2 of cost for code minimum landscape plans since it includes N3 and N5. Assume 25% of total eligible cost for Utilities due to utility phasing in N3
Material testing	\$ 34,870.00	\$ 34,870.00	\$ 16,441.26	\$ 18,428.74	
Surveying	\$ 56,400.00	\$ 56,400.00	\$ 14,100.00	\$ 42,300.00	
Work Product Subtotal	\$ 1,250,265.00	\$ 188,205.00	\$ 125,800.57	\$ 62,404.43	

	CDD Eligible Utilities	Utilities Paid to Date	Notes
Potable Water	\$ 102,755.80	\$ -	\$ 102,755.80
Sanitary	\$ 201,859.80	\$ 86,795.50	\$ 115,064.30
Irrigation	\$ 203,020.21	\$ 29,975.50	\$ 173,044.71
Utilities Subtotal=	\$ 507,635.81	\$ 116,771.00	\$ 390,864.81
TOTAL	\$ 695,840.81	\$ 242,571.57	\$ 453,269.24

Description	CDD Eligible Amount	Paid to Date	Balance Owed
Utilities	\$507,635.81	\$116,771.00	\$390,864.81
Work Product	\$188,205.00	\$125,800.57	\$62,404.43
TOTAL:	\$695,840.81	\$242,571.57	\$453,269.24

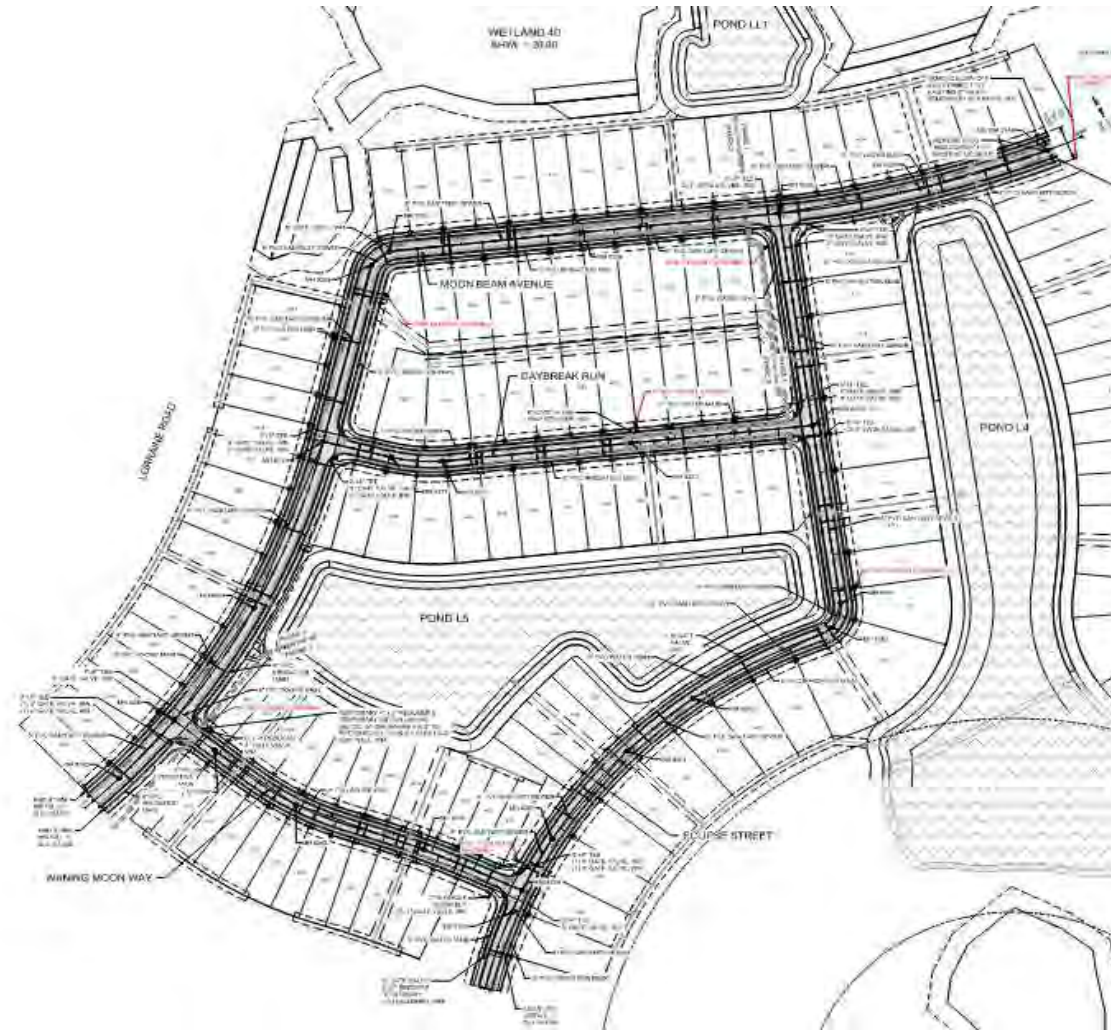


Neighborhood 4 South Phase 1 and 2

	Total contract	CDD Eligible Utilities	Utilities Paid to Date	Balance owed	Notes
Waldrop Civil	\$ 268,810.00	\$ 268,810.00	\$ 168,053.25	\$ 100,756.75	Assume 50% for Utilities / 50% for Drainage
Other Consultants	\$ 28,750.00	\$ 28,750.00	\$ 28,750.00	\$ -	Assume 50% for Utilities / 50% for Drainage
Material testing	\$ 30,000.00	\$ 30,000.00	\$ 14,250.00	\$ 15,750.00	Assume 50% for Utilities / 50% for Drainage
Surveying	\$ 119,817.50	\$ 119,817.50	\$ 64,231.63	\$ 55,585.88	Assume 50% for Utilities / 50% for Drainage
Work Product Total=	\$ 447,377.50	\$ 447,377.50	\$ 275,284.88	\$ 172,092.63	

	CDD Eligible Utilities	Utilities Paid to Date			Notes
Potable Water	\$ 425,251.92	\$ 294,828.57	\$ 130,423.35		
Sanitary	\$ 629,611.01	\$ 604,369.98	\$ 25,241.03		
Irrigation	\$ 366,877.96	\$ 255,195.71	\$ 111,682.25		
Utilities Subtotal=	\$ 1,421,740.89	\$ 1,154,394.26	\$ 267,346.63		
TOTAL	\$ 1,869,118.39	\$ 1,429,679.14	\$ 439,439.26		

Description	CDD Eligible Amount	Paid to Date	Balance Owed
Utilities	\$1,421,740.89	\$1,154,394.26	\$267,346.63
Work Product	\$447,377.50	\$275,284.88	\$172,092.63
TOTAL:	\$1,869,118.39	\$1,429,679.14	\$439,439.26



N5 Utilities Phase 2 (Soft costs)

	Total contract	CDD Eligible Utilities	Utilities Paid to Date	Balance owed	Notes
Waldrop Civil	\$ 1,150,545.00	\$ 95,878.75	\$ 94,312.35	\$ 1,566.40	Assume N5 Cost 1/3 of total cost due to budget of 3 neighborhoods. Assume N5 Phase 2 Utilities is 25% of total N5 cost.
Other Consultants	\$ 140,500.00	\$ 22,552.50	\$ 22,225.94	\$ 326.56	Assume 1/2 of cost for code minimum landscape plans since it includes N3 and N5. Assume 25% of total eligible cost for Utilities due to utility phasing in N5
Material testing	\$ 54,000.00	\$ 6,750.00	\$ 6,750.00	\$ -	Assume 25% due to Phasing / split in half between Drainage and Utilities (12.5%)
Surveying	\$ 203,745.25	\$ 25,468.16	\$ 23,464.72	\$ 2,003.44	Assume 25% due to Phasing / split in half between Drainage and Utilities (12.5%)
Work Product Subtotal	\$ 1,548,790.25	\$ 150,649.41	\$ 146,753.01	\$ 3,896.40	

	CDD Eligible Utilities	Utilities Paid to Date	Notes
Potable Water	\$ 221,358.60	\$ 148,247.90	\$ 73,110.70
Sanitary	\$ 389,939.33	\$ 294,611.61	\$ 95,327.71
Irrigation	\$ 168,432.28	\$ 147,909.10	\$ 20,523.18
Utilities Subtotal=	\$ 779,730.20	\$ 590,768.61	\$ 188,961.59
TOTAL	\$ 930,379.61	\$ 737,521.62	\$ 192,857.99

Description	CDD Eligible Amount	Paid to Date	Balance Owed
Utilities	\$779,730.20	\$590,768.61	\$188,961.59
Work Product	\$150,649.41	\$146,753.01	\$3,896.40
TOTAL:	\$930,379.61	\$737,521.62	\$192,857.99



LT RANCH COMMUNITY DEVELOPMENT DISTRICT

JP Ward & Associates, LLC, 2301 Northeast 37th Street, Fort Lauderdale, Florida 33308

TO: Jim Ward

FROM: Jere Earlywine and Katie Ibarra

RE: Summary of Acquisition of Neighborhood Three, Phase Four, Neighborhood Four South, Phases One & Two, and Neighborhood Five, Phase Two Utilities Improvements

DATE: June 26, 2024

At this time, the LT Ranch Community Development District (“**District**”) is acquiring certain Utilities improvements (“**Acquired Improvements**”) located in Neighborhood Three, Phase Four, Neighborhood Four South, Phases One & Two, and Neighborhood Five, Phase Two from the Developer pursuant to the *Acquisition Agreement* between the District and the Developer, dated October 1, 2019, the *First Amendment to Acquisition Agreement*, dated December 20, 2019, and the *Third Amendment to Acquisition Agreement*, dated May 10, 2024. Here are the improvements being funded:

Description	CDD Eligible Amount	Paid to Date	Balance Owed
Neighborhood Three, Phase Four Utilities	\$507,635.81	\$116,771.00	\$390,864.81
Neighborhood Three, Phase Four Utilities Work Product	\$188,205.00	\$125,800.57	\$62,404.43
Neighborhood Four South Utilities, Phases One & Two	\$1,421,740.89	\$1,154,394.26	\$267,346.63
Neighborhood Four South Utilities, Phases One & Two Work Product	\$447,377.50	\$275,284.88	\$172,092.63
Neighborhood Five, Phase Two Utilities	\$779,730.20	\$590,768.61	\$188,961.59
Neighborhood Five, Phase Two Utilities Work Product	\$150,649.41	\$146,753.01	\$3,896.40
TOTAL:	\$3,495,338.81	\$2,409,772.33	\$1,085,566.49

NOTES:

- Real estate rights for the conveyance exist by virtue of platted, public utility easements.
- The District Engineer has identified and certified that the District is paying the correct amount for the work.

LT Ranch Community Development District
c/o James P. Ward, District Manager
JP Ward & Associates, LLC
2301 Northeast 37th Street
Fort Lauderdale, Florida 33308

Re: Letter Agreement for Acquisition of Public Infrastructure Improvements
Neighborhood Three, Phase Four, Neighborhood Four South, Phases One & Two,
and Neighborhood Five, Phase Two Utilities Improvements

Dear Jim,

Pursuant to the *Acquisition Agreement* dated October 1, 2019 and the *Third Amendment to the Acquisition Agreement* dated May 10, 2024 (together, "**Acquisition Agreement**"), you are hereby notified that Taylor Morrison of Florida, Inc. ("**Developer**"), has completed and wishes to sell ("**Sale**") to the LT Ranch Community Development District ("**District**") certain "**Improvements**" and "**Work Product**" as described in **Exhibit A** attached hereto. Subject to the terms of the Acquisition Agreement, the following terms govern the proposed Sale:

- As consideration for the Sale, and subject to the terms of the Acquisition Agreement, the District agrees to pay from bond proceeds, to the extent available, the amount of **\$3,495,338.81** which represents the actual cost of constructing and/or creating the Improvements and Work Product¹.
- The Developer agrees, at the direction of the District, to assist with the transfer of any permits or similar approvals necessary for the operation of the Improvements, and to provide any maintenance bonds or other forms of security required by the County for turnover of the roadways (which comprise a portion of the Improvements) to the County.
- Notwithstanding anything to the contrary herein, certain amounts may still be owed to contractors (balance to finish & retainage) and Developer agrees to timely make payment for all remaining amounts owed, and to ensure that no liens are placed on the Improvements and Work Product and/or in connection with the Improvements and Work Product.


[CONTINUED ON FOLLOWING PAGE]

¹ As of August 1, 2023, the Developer has paid **\$2,409,772.33** to the Contractor for the Improvements and Work Product. This amount will be processed by requisition from available bond proceeds by the District and paid to Developer. The District will process the remaining **\$1,085,566.49** by requisition and pay the Developer once proof of payment for the remaining amount has been submitted to the District, subject to the terms of the Acquisition Agreement and the availability of funds.

If the District is in agreement with the terms stated herein, please execute this letter agreement in the space below and proceed with the necessary steps to effect the Sale.


Sincerely,

Agreed to by:
**LT RANCH COMMUNITY DEVELOPMENT
DISTRICT**



Board of
Supervisors

TAYLOR MORRISON OF FLORIDA, INC.,
a Florida corporation



Name: _____
Title: Vice President

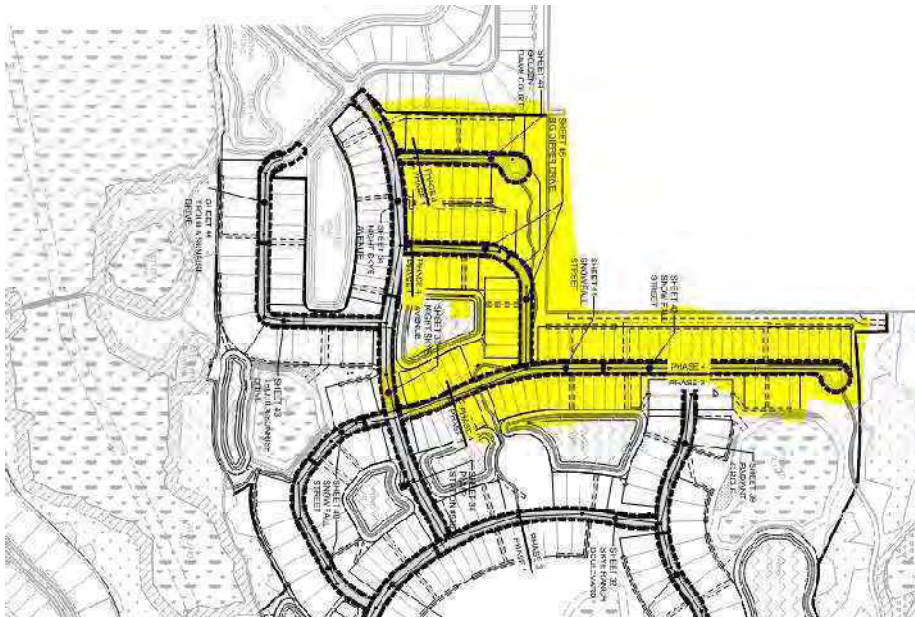
Exhibit A

Description of Improvements and Work Product (Neighborhood Three, Phase Four, Neighborhood Four South, Phases One & Two, and Neighborhood Five, Phase Two Utilities Improvements)

Neighborhood Three, Phase Four Potable Water Improvements- All potable water lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement) located in Phase 4 as depicted in the map below, and those certain Public Utility Easements located in Phase 4 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Three, recorded at Plat Book 56, Pages 53 – 74, of the Official Records of Sarasota County, Florida.

Neighborhood Three, Phase Four Wastewater Improvements- All wastewater lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, force mains, lift stations, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement) located in Phase 4 as depicted in the map below, and those certain Public Utility Easements located in Phase 4 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Three, recorded at Plat Book 56, Pages 53 – 74, of the Official Records of Sarasota County, Florida.

Neighborhood Three, Phase Four Reuse Improvements- All reuse lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement) located in Phase 4 as depicted in the map below, and those certain Public Utility Easements located in Phase 4 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Three, recorded at Plat Book 56, Pages 53 – 74, of the Official Records of Sarasota County, Florida.



Neighborhood Four South, Phases One & Two Potable Water Improvements- All potable water lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon the Tract 110 (Private Access, Private Drainage and Public Utility Easement), and those certain Public Utility Easements, as identified in the plat known as Skye Ranch Neighborhood Four South, Plat Book 57, Pages 508 – 525, of the Official Records of Sarasota County, Florida.

Neighborhood Four South, Phases One & Two Wastewater Improvements- All wastewater lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, force mains, lift stations, services, tees, equipment and appurtenances hereto, in each case located within or upon the Tract 110 (Private Access, Private Drainage and Public Utility Easement), and those certain Public Utility Easements, as identified in the plat known as Skye Ranch Neighborhood Four South, Plat Book 57, Pages 508 – 525, of the Official Records of Sarasota County, Florida.

Neighborhood Four South, Phases One & Two Reuse Improvements- All reuse lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon the Tract 110 (Private Access, Private Drainage and Public Utility Easement), and those certain Public Utility Easements, as identified in the plat known as Skye Ranch Neighborhood Four South, Plat Book 57, Pages 508 – 525, of the Official Records of Sarasota County, Florida.

Neighborhood Five, Phase Two Utilities Potable Water Improvements- All potable water lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 109 (Private Access, Private Drainage and Public Utility Easement) located in Phase 2 as depicted in the map below, and those certain Public Utility Easements located in Phase 2 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Five, Plat Book 56, Pages 371 – 393, of the Official Records of Sarasota County, Florida.

Neighborhood Five, Phase Two Utilities Wastewater Improvements- All wastewater lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, force mains, lift stations, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 109 (Private Access, Private Drainage and Public Utility Easement) located in Phase 2 as depicted in the map below, and those certain Public Utility Easements located in Phase 2 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Five, Plat Book 56, Pages 371 – 393, of the Official Records of Sarasota County, Florida.

Neighborhood Five, Phase Two Utilities Reuse Improvements- All reuse lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 109 (Private Access, Private Drainage and Public Utility Easement) located in Phase 2 as depicted in the map below, and those certain Public Utility Easements located in Phase 2 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Five, Plat Book 56, Pages 371 – 393, of the Official Records of Sarasota County, Florida.



Work Product – Any and all site plans, construction and development drawings, plans and specifications, documents, surveys, engineering and soil reports and studies, licenses, permits, zoning approvals, entitlements, building permits, demolition and excavation permits, curb cut and right-of-way permits, utility permits, drainage rights, bonds, and similar or equivalent private and governmental documents of every kind and character whatsoever pertaining or applicable to or in any way connected with the development, construction, and ownership of the above-referenced improvements.

Description	CDD Eligible Amount	Paid to Date	Balance Owed
Neighborhood Three, Phase Four Utilities	\$507,635.81	\$116,771.00	\$390,864.81
Neighborhood Three, Phase Four Utilities Work Product	\$188,205.00	\$125,800.57	\$62,404.43
Neighborhood Four South Utilities, Phases One & Two	\$1,421,740.89	\$1,154,394.26	\$267,346.63
Neighborhood Four South Utilities, Phases One & Two Work Product	\$447,377.50	\$275,284.88	\$172,092.63
Neighborhood Five, Phase Two Utilities	\$779,730.20	\$590,768.61	\$188,961.59
Neighborhood Five, Phase Two Utilities Work Product	\$150,649.41	\$146,753.01	\$3,896.40
TOTAL:	\$3,495,338.81	\$2,409,772.33	\$1,085,566.49

**CORPORATE DECLARATION REGARDING COSTS PAID
NEIGHBORHOOD THREE, PHASE FOUR, NEIGHBORHOOD FOUR SOUTH, PHASES ONE & TWO,
AND NEIGHBORHOOD FIVE, PHASE TWO UTILITIES IMPROVEMENTS**

Taylor Morrison of Florida, Inc., a Florida corporation (“**Developer**”), the developer of certain lands within the LT Ranch Community Development District (“**District**”), a special purpose unit of local government established pursuant to Chapter 190, *Florida Statutes*, does hereby certify:

1. Developer is the developer of certain lands within the District.
2. The District’s *Master Engineer’s Report*, dated April 2019, as revised November 6, 2019, as supplemented by the *2019 Project Supplement to the Master Engineer’s Report*, dated April 2019, as revised November 6, 2019, as supplemented by the *2022 Project Supplement to the Master Engineer’s Report dated April 2019 (as revised November 6, 2019)*, dated May 2022, and as supplemented by the *2024 Project Supplement to the Master Engineer’s Report dated April 2019 (as revised November 6, 2019)* dated February 2024 (together, “**Engineer’s Report**”) describes certain public infrastructure improvements and work product that the District intends to finance, fund, plan, establish, acquire, construct or reconstruct, enlarge or extend, equip, operate, or maintain pursuant to Chapter 190, *Florida Statutes*.
3. Developer has expended funds to develop and/or acquire certain of the public infrastructure improvements and work product described in the Engineer’s Report and more specifically described in **Exhibit A**. The attached **Exhibit A** accurately identifies certain of those improvements and work product that have been completed to date and states the amounts that Developer has spent on those improvements and work product.
4. Except for the balance to finish and/or retainage set forth in **Exhibit A**, no money is owed to any contractors or subcontractors for any work performed on the completed improvements.
5. The Developer acknowledges that the District intends to rely on this Declaration for purposes of acquiring the infrastructure improvements and work product identified in **Exhibit A**.

[CONTINUED ON FOLLOWING PAGE]

Executed this 8th day of May, 2024.

WITNESS

TAYLOR MORRISON OF FLORIDA, INC.

By: [Signature]
Name: Samir Kucic

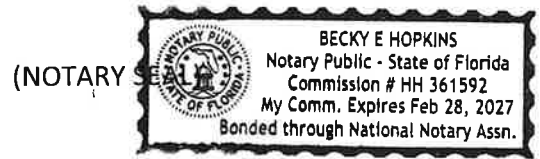
By: [Signature]
Name: [Signature]
Title: Vice President

By: [Signature]
Name: WALTER RANSON

STATE OF FLORIDA
COUNTY OF SARASOTA

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 8th day of May, 2024, by [Signature], as [Signature] of Taylor Morrison of Florida, Inc., who appeared before me this day in person, and who is either personally known to me, or produced [Signature] as identification.

[Signature]
NOTARY PUBLIC, STATE OF FLORIDA



Name: Becky E Hopkins
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

Exhibit A – Description of Improvements and Work Product

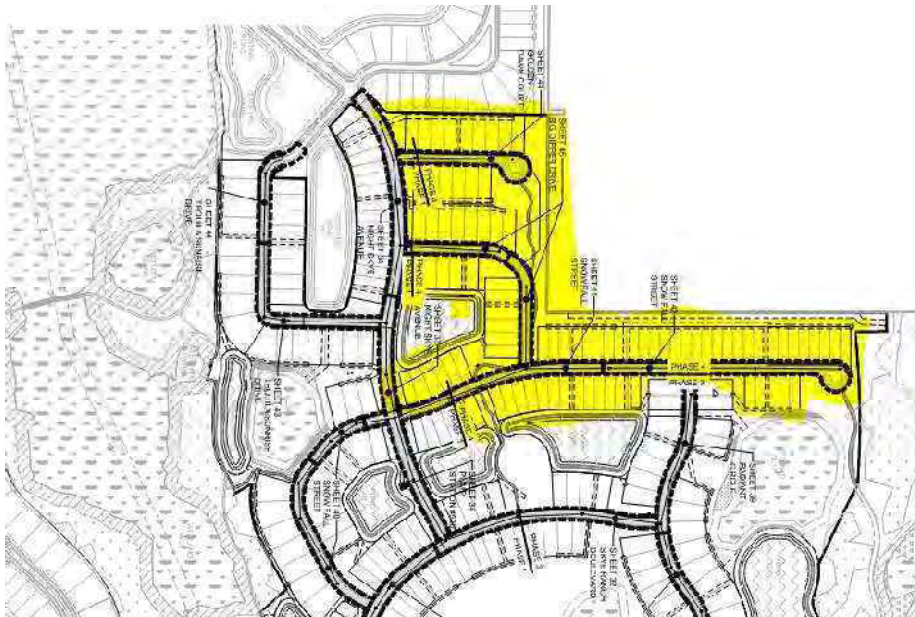
Exhibit A

Description of Improvements and Work Product (Neighborhood Three, Phase Four, Neighborhood Four South, Phases One & Two, and Neighborhood Five, Phase Two Utilities Improvements)

Neighborhood Three, Phase Four Potable Water Improvements- All potable water lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement) located in Phase 4 as depicted in the map below, and those certain Public Utility Easements located in Phase 4 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Three, recorded at Plat Book 56, Pages 53 – 74, of the Official Records of Sarasota County, Florida.

Neighborhood Three, Phase Four Wastewater Improvements- All wastewater lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, force mains, lift stations, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement) located in Phase 4 as depicted in the map below, and those certain Public Utility Easements located in Phase 4 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Three, recorded at Plat Book 56, Pages 53 – 74, of the Official Records of Sarasota County, Florida.

Neighborhood Three, Phase Four Reuse Improvements- All reuse lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement) located in Phase 4 as depicted in the map below, and those certain Public Utility Easements located in Phase 4 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Three, recorded at Plat Book 56, Pages 53 – 74, of the Official Records of Sarasota County, Florida.



Neighborhood Four South, Phases One & Two Potable Water Improvements- All potable water lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon the Tract 110 (Private Access, Private Drainage and Public Utility Easement), and those certain Public Utility Easements, as identified in the plat known as Skye Ranch Neighborhood Four South, Plat Book 57, Pages 508 – 525, of the Official Records of Sarasota County, Florida.

Neighborhood Four South, Phases One & Two Wastewater Improvements- All wastewater lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, force mains, lift stations, services, tees, equipment and appurtenances hereto, in each case located within or upon the Tract 110 (Private Access, Private Drainage and Public Utility Easement), and those certain Public Utility Easements, as identified in the plat known as Skye Ranch Neighborhood Four South, Plat Book 57, Pages 508 – 525, of the Official Records of Sarasota County, Florida.

Neighborhood Four South, Phases One & Two Reuse Improvements- All reuse lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon the Tract 110 (Private Access, Private Drainage and Public Utility Easement), and those certain Public Utility Easements, as identified in the plat known as Skye Ranch Neighborhood Four South, Plat Book 57, Pages 508 – 525, of the Official Records of Sarasota County, Florida.

Neighborhood Five, Phase Two Utilities Potable Water Improvements- All potable water lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 109 (Private Access, Private Drainage and Public Utility Easement) located in Phase 2 as depicted in the map below, and those certain Public Utility Easements located in Phase 2 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Five, Plat Book 56, Pages 371 – 393, of the Official Records of Sarasota County, Florida.

Neighborhood Five, Phase Two Utilities Wastewater Improvements- All wastewater lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, force mains, lift stations, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 109 (Private Access, Private Drainage and Public Utility Easement) located in Phase 2 as depicted in the map below, and those certain Public Utility Easements located in Phase 2 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Five, Plat Book 56, Pages 371 – 393, of the Official Records of Sarasota County, Florida.

Neighborhood Five, Phase Two Utilities Reuse Improvements- All reuse lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 109 (Private Access, Private Drainage and Public Utility Easement) located in Phase 2 as depicted in the map below, and those certain Public Utility Easements located in Phase 2 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Five, Plat Book 56, Pages 371 – 393, of the Official Records of Sarasota County, Florida.



Work Product – Any and all site plans, construction and development drawings, plans and specifications, documents, surveys, engineering and soil reports and studies, licenses, permits, zoning approvals, entitlements, building permits, demolition and excavation permits, curb cut and right-of-way permits, utility permits, drainage rights, bonds, and similar or equivalent private and governmental documents of every kind and character whatsoever pertaining or applicable to or in any way connected with the development, construction, and ownership of the above-referenced improvements.

Description	CDD Eligible Amount	Paid to Date	Balance Owed
Neighborhood Three, Phase Four Utilities	\$507,635.81	\$116,771.00	\$390,864.81
Neighborhood Three, Phase Four Utilities Work Product	\$188,205.00	\$125,800.57	\$62,404.43
Neighborhood Four South Utilities, Phases One & Two	\$1,421,740.89	\$1,154,394.26	\$267,346.63
Neighborhood Four South Utilities, Phases One & Two Work Product	\$447,377.50	\$275,284.88	\$172,092.63
Neighborhood Five, Phase Two Utilities	\$779,730.20	\$590,768.61	\$188,961.59
Neighborhood Five, Phase Two Utilities Work Product	\$150,649.41	\$146,753.01	\$3,896.40
TOTAL:	\$3,495,338.81	\$2,409,772.33	\$1,085,566.49

PROFESSIONAL ACKNOWLEDGMENT AND RELEASE

**[NEIGHBORHOOD THREE, PHASE FOUR, NEIGHBORHOOD FOUR SOUTH, PHASES ONE & TWO,
AND NEIGHBORHOOD FIVE, PHASE TWO UTILITIES WORK PRODUCT]**

THIS ACKNOWLEDGMENT & RELEASE (“Release”) is made the 9 day of May, 2023, by **Atwell, LLC**, having a mailing address of 8725 Pendery Place, Suite 101, Bradenton, Florida 34201 (“**Professional**”), in favor of the **LT Ranch Community Development District** (“**District**”), which is a local unit of special-purpose government situated in Sarasota County, Florida, and having offices at c/o James P. Ward, District Manager, JP Ward & Associates, LLC, 2900 Northeast 12th Terrace, Suite 1, Oakland Park, Florida 33334.

RECITALS

WHEREAS, pursuant to those certain professional services agreements related Neighborhood Three, Phase Four, Neighborhood Four South, Phases One and Two, and Neighborhood Five, Phase Two Utilities Improvements (“**Contract**”) and between Professional and Taylor Morrison of Florida, Inc., a Florida corporation (“**Developer**”), Professional has created for Developer certain work product, as described in **Exhibit A** (“**Work Product**”); and

WHEREAS, Developer may in the future convey the Work Product to the District and for that purpose has requested Professional to confirm the release of all restrictions on the District’s right to use and rely upon the Work Product; and

WHEREAS, Professional has agreed to the release of any such restrictions.

NOW, THEREFORE, for and in consideration of mutual promises and obligations, the receipt and sufficiency of which are hereby acknowledged, Professional provides the following acknowledgment and release:

1. **GENERAL.** The recitals so stated above are true and correct and by this reference are incorporated as a material part of this Release.

2. **ACQUISITION OF WORK PRODUCT.** Professional acknowledges that the District is or has acquired the Work Product constructed by Professional in connection with the Contract, from Developer, and accordingly, the District has the unrestricted right to rely upon the terms of the Contract to the same extent as Developer, including but not limited to any warranties and other forms of indemnification, if any.

3. **WARRANTY.** Professional hereby expressly acknowledges the District’s right to enforce the terms of the Contract, including but not limited to any warranties and other forms of indemnification provided therein and to rely upon and enforce any other warranties provided under Florida law.

4. **CERTIFICATION.** Professional hereby acknowledges that it has been fully compensated for its services and work related to completion of the Work Product. Professional further certifies that, except as set forth herein, no outstanding requests for payment exist related to the Work Product, and that there is no disagreement as to the appropriateness of payment made for the Work Product. Except as set forth herein, this document shall constitute a final waiver and release of lien for any payments due to Professional by Developer or District for the Work Product.

5. **EFFECTIVE DATE.** This Release shall take effect upon execution.

ATWELL, LLC



By: Philip Brannon, P.E.

Its: Consulting Engineer

STATE OF Florida
COUNTY OF Sarasota

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 9th day of May, 2024, by Philip Brannon as Consulting Engineer of Atwell, LLC, and with authority to execute the foregoing on behalf of the entit(ies) identified above, and who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.



NOTARY PUBLIC, STATE OF Florida

(NOTARY SEAL)

Name: Jessica Fritz

(Name of Notary Public, Printed,
Stamped or Typed as Commissioned)



Exhibit A
Description of Work Product
(Neighborhood Three, Phase Four, Neighborhood Four South, Phases One & Two,
and Neighborhood Five, Phase Two Utilities Improvements)

Work Product – Any and all site plans, construction and development drawings, plans and specifications, documents, surveys, engineering and soil reports and studies, licenses, permits, zoning approvals, entitlements, building permits, demolition and excavation permits, curb cut and right-of-way permits, utility permits, drainage rights, bonds, and similar or equivalent private and governmental documents of every kind and character whatsoever pertaining or applicable to or in any way connected with the development, construction, and ownership of the Neighborhood Three, Phase Four, Neighborhood Four South, Phases One & Two, and Neighborhood Five, Phase Two Utilities Improvements.

Description	CDD Eligible Amount	Paid to Date	Balance Owed
Neighborhood Three, Phase Four Utilities Work Product	\$188,205.00	\$125,800.57	\$62,404.43
Neighborhood Four South Utilities, Phases One & Two Work Product	\$447,377.50	\$275,284.88	\$172,092.63
Neighborhood Five, Phase Two Utilities Work Product	\$150,649.41	\$146,753.01	\$3,896.40

ACKNOWLEDGMENT AND RELEASE
NEIGHBORHOOD FIVE, PHASE TWO UTILITIES IMPROVEMENTS

THIS ACKNOWLEDGMENT AND RELEASE ("Release") is made the 7th day of JUNE, 2024, by RyanGolf Corporation, having offices located at 614 South Military Trail, Deerfield Beach, Florida 33442 ("Contractor"), in favor of the LT Ranch Community Development District ("District"), which is a local unit of special-purpose government situated in Sarasota County, Florida, and having offices at c/o James P. Ward, District Manager, JP Ward & Associates, LLC, 2900 Northeast 12th Terrace, Suite 1, Oakland Park, Florida 33334.

RECITALS

WHEREAS, pursuant to that certain agreement ("**Contract**") dated January 12, 2012, and between Contractor and Taylor Morrison of Florida, Inc., a Florida corporation ("**Developer**"), Contractor has constructed for Developer certain infrastructure improvements, as described in Exhibit A ("**Improvements**"); and

WHEREAS, Developer may in the future convey certain Improvements to the District and for that purpose has requested Contractor to confirm the release of all restrictions on the District's right to use and rely upon the Improvements; and

WHEREAS, Contractor has agreed to the release of any such restrictions.

NOW, THEREFORE, for and in consideration of mutual promises and obligations, the receipt and sufficiency of which are hereby acknowledged, Contractor provides the following acknowledgment and release:

SECTION 1. GENERAL. The recitals so stated above are true and correct and by this reference are incorporated as a material part of this Release.

SECTION 2. ACQUISITION OF IMPROVEMENTS. Contractor acknowledges that the District is in the process of acquiring or has acquired certain Improvements constructed by Contractor in connection with the Contract, from Developer, and accordingly, the District has the unrestricted right to rely upon the terms of the Contract for same.

SECTION 3. WARRANTY. Contractor hereby expressly acknowledges the District's right to enforce the terms of the Contract, including any warranties provided therein and to rely upon and enforce any other warranties provided under Florida law.

SECTION 4. CERTIFICATE OF PAYMENT. Except as set forth herein, Contractor hereby acknowledges that it has been fully compensated for its services and work related to completion of the Improvements. Contractor further certifies that, except as set forth herein, no outstanding requests for payment exist related to the Improvements, including any payments to subcontractors, materialmen, suppliers or otherwise, and that there is no disagreement as to the

appropriateness of payment made for the Improvements. Except as set forth herein, this document shall constitute a final waiver and release of lien for any payments due to Contractor by Developer or District for the Improvements.

Notwithstanding anything to the contrary herein, certain amounts are still owed to Contractor (specifically, **\$188,961.59** in balance owed and retainage for the Contract identified in **Exhibit A**, which includes a larger scope of improvements than the Improvements being acquired by the District through this acquisition) and Developer agrees to timely make payment for all remaining amounts owed, and to ensure that no liens are placed on the Improvements. The effectiveness of this Acknowledgment and Release is contingent upon such payment being timely made.

SECTION 5. EFFECTIVE DATE. This Release shall take effect upon execution.

RYANGO LP CORPORATION


By: FIDEL GARCIA
Its: PRESIDENT

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 7 day of June, 2024, by FIDEL GARCIA, as PRESIDENT of Ryango LP Corporation who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.


NOTARY PUBLIC, STATE OF FLORIDA

Name: Liz Garrido
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

(NOTARY SEAL)

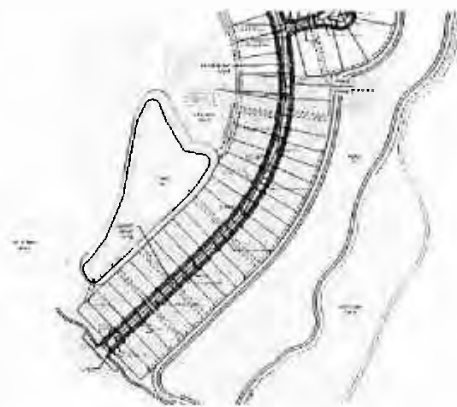


Exhibit A
Description of Improvements and Work Product
(Neighborhood Five, Phase Two Utilities Improvements)

Neighborhood Five, Phase Two Utilities Potable Water Improvements- All potable water lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 109 (Private Access, Private Drainage and Public Utility Easement) located in Phase 2 as depicted in the map below, and those certain Public Utility Easements located in Phase 2 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Five, Plat Book 56, Pages 371 – 393, of the Official Records of Sarasota County, Florida.

Neighborhood Five, Phase Two Utilities Wastewater Improvements- All wastewater lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, force mains, lift stations, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 109 (Private Access, Private Drainage and Public Utility Easement) located in Phase 2 as depicted in the map below, and those certain Public Utility Easements located in Phase 2 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Five, Plat Book 56, Pages 371 – 393, of the Official Records of Sarasota County, Florida.

Neighborhood Five, Phase Two Utilities Reuse Improvements- All reuse lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 109 (Private Access, Private Drainage and Public Utility Easement) located in Phase 2 as depicted in the map below, and those certain Public Utility Easements located in Phase 2 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Five, Plat Book 56, Pages 371 – 393, of the Official Records of Sarasota County, Florida.



Description	CDD Eligible Amount	Paid to Date	Balance Owed
Neighborhood Five, Phase Two Utilities	\$779,730.20	\$590,768.61	\$188,961.59

ACKNOWLEDGMENT AND RELEASE
NEIGHBORHOOD THREE, PHASE FOUR UTILITIES IMPROVEMENTS

2024 THIS ACKNOWLEDGMENT AND RELEASE ("Release") is made the 29th day of MAY, ~~2023~~, by **DNA Partners LLC DBA C&M Road Builders**, having offices located at 6728 33rd Street East, Sarasota, Florida 34243 ("**Contractor**"), in favor of the **LT Ranch Community Development District** ("**District**"), which is a local unit of special-purpose government situated in Sarasota County, Florida, and having offices at c/o James P. Ward, District Manager, JP Ward & Associates, LLC, 2900 Northeast 12th Terrace, Suite 1, Oakland Park, Florida 33334.

RECITALS

WHEREAS, pursuant to that certain agreement ("**Contract**") dated July 31, 2023, and between Contractor and Taylor Morrison of Florida, Inc., a Florida corporation ("**Developer**"), Contractor has constructed for Developer certain infrastructure improvements, as described in **Exhibit A** ("**Improvements**"); and

WHEREAS, Developer may in the future convey certain Improvements to the District and for that purpose has requested Contractor to confirm the release of all restrictions on the District's right to use and rely upon the Improvements; and

WHEREAS, Contractor has agreed to the release of any such restrictions.

NOW, THEREFORE, for and in consideration of mutual promises and obligations, the receipt and sufficiency of which are hereby acknowledged, Contractor provides the following acknowledgment and release:

SECTION 1. GENERAL. The recitals so stated above are true and correct and by this reference are incorporated as a material part of this Release.

SECTION 2. ACQUISITION OF IMPROVEMENTS. Contractor acknowledges that the District is in the process of acquiring or has acquired certain Improvements constructed by Contractor in connection with the Contract, from Developer, and accordingly, the District has the unrestricted right to rely upon the terms of the Contract for same.

SECTION 3. WARRANTY. Contractor hereby expressly acknowledges the District's right to enforce the terms of the Contract, including any warranties provided therein and to rely upon and enforce any other warranties provided under Florida law.


SECTION 4. CERTIFICATE OF PAYMENT. Except as set forth herein, Contractor hereby acknowledges that it has been fully compensated for its services and work related to completion of the Improvements. Contractor further certifies that, except as set forth herein, no outstanding requests for payment exist related to the Improvements, including any payments to subcontractors, materialmen, suppliers or otherwise, and that there is no disagreement as to the

appropriateness of payment made for the Improvements. Except as set forth herein, this document shall constitute a final waiver and release of lien for any payments due to Contractor by Developer or District for the Improvements.

Notwithstanding anything to the contrary herein, certain amounts are still owed to Contractor (specifically, \$390,864.81 in balance owed and retainage for the Contract identified in **Exhibit A**, which includes a larger scope of improvements than the Improvements being acquired by the District through this acquisition) and Developer agrees to timely make payment for all remaining amounts owed, and to ensure that no liens are placed on the Improvements. The effectiveness of this Acknowledgment and Release is contingent upon such payment being timely made.

SECTION 5. EFFECTIVE DATE. This Release shall take effect upon execution.

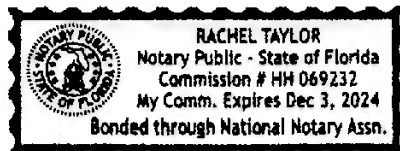
DNA PARTNERS LLC DBA C&M ROAD BUILDERS


By: ADAM W ROBSON
Its: Owner / CEO

STATE OF FLORIDA
COUNTY OF MANATEE

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 29TH day of MAY, 2024, by ADAM ROBSON, as OWNER / CEO of C&M ROAD BUILDERS who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.

(NOTARY SEAL)





NOTARY PUBLIC, STATE OF FLORIDA
Name: RACHEL TAYLOR
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

Exhibit A
Description of Improvements and Work Product
(Neighborhood Three, Phase Four Utilities Improvements)

Neighborhood Three, Phase Four Potable Water Improvements- All potable water lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement) located in Phase 4 as depicted in the map below, and those certain Public Utility Easements located in Phase 4 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Three, recorded at Plat Book 56, Pages 53 – 74, of the Official Records of Sarasota County, Florida.

Neighborhood Three, Phase Four Wastewater Improvements- All wastewater lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, force mains, lift stations, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement) located in Phase 4 as depicted in the map below, and those certain Public Utility Easements located in Phase 4 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Three, recorded at Plat Book 56, Pages 53 – 74, of the Official Records of Sarasota County, Florida.

Neighborhood Three, Phase Four Reuse Improvements- All reuse lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement) located in Phase 4 as depicted in the map below, and those certain Public Utility Easements located in Phase 4 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Three, recorded at Plat Book 56, Pages 53 – 74, of the Official Records of Sarasota County, Florida.



Description	CDD Eligible Amount	Paid to Date	Balance Owed
Neighborhood Three, Phase Four Utilities	\$507,635.81	\$116,771.00	\$390,864.81

ACKNOWLEDGMENT AND RELEASE
NEIGHBORHOOD FOUR SOUTH UTILITIES IMPROVEMENTS

THIS ACKNOWLEDGMENT AND RELEASE ("Release") is made the 26th day of June, 2024, by **Deme Construction, LLC**, having offices located at 3301 Whitfield Avenue, Sarasota, Florida 34243 ("Contractor"), in favor of the **LT Ranch Community Development District** ("District"), which is a local unit of special-purpose government situated in Sarasota County, Florida, and having offices at c/o James P. Ward, District Manager, JP Ward & Associates, LLC, 2900 Northeast 12th Terrace, Suite 1, Oakland Park, Florida 33334.

RECITALS

WHEREAS, pursuant to that certain agreement ("**Contract**") dated June 7, 2023, and between Contractor and Taylor Morrison of Florida, Inc., a Florida corporation ("**Developer**"), Contractor has constructed for Developer certain infrastructure improvements, as described in **Exhibit A** ("**Improvements**"); and

WHEREAS, Developer may in the future convey certain Improvements to the District and for that purpose has requested Contractor to confirm the release of all restrictions on the District's right to use and rely upon the Improvements; and

WHEREAS, Contractor has agreed to the release of any such restrictions.

NOW, THEREFORE, for and in consideration of mutual promises and obligations, the receipt and sufficiency of which are hereby acknowledged, Contractor provides the following acknowledgment and release:

SECTION 1. GENERAL. The recitals so stated above are true and correct and by this reference are incorporated as a material part of this Release.

SECTION 2. ACQUISITION OF IMPROVEMENTS. Contractor acknowledges that the District is in the process of acquiring or has acquired certain Improvements constructed by Contractor in connection with the Contract, from Developer, and accordingly, the District has the unrestricted right to rely upon the terms of the Contract for same.

SECTION 3. WARRANTY. Contractor hereby expressly acknowledges the District's right to enforce the terms of the Contract, including any warranties provided therein and to rely upon and enforce any other warranties provided under Florida law.

SECTION 4. CERTIFICATE OF PAYMENT. Except as set forth herein, Contractor hereby acknowledges that it has been fully compensated for its services and work related to completion of the Improvements. Contractor further certifies that, except as set forth herein, no outstanding requests for payment exist related to the Improvements, including any payments to subcontractors, materialmen, suppliers or otherwise, and that there is no disagreement as to the

appropriateness of payment made for the Improvements. Except as set forth herein, this document shall constitute a final waiver and release of lien for any payments due to Contractor by Developer or District for the Improvements.

Notwithstanding anything to the contrary herein, certain amounts are still owed to Contractor (specifically, **\$267,346.63** in balance owed and retainage for the Contract identified in **Exhibit A**, which includes a larger scope of improvements than the Improvements being acquired by the District through this acquisition) and Developer agrees to timely make payment for all remaining amounts owed, and to ensure that no liens are placed on the Improvements. The effectiveness of this Acknowledgment and Release is contingent upon such payment being timely made.

SECTION 5. EFFECTIVE DATE. This Release shall take effect upon execution.

DEME CONSTRUCTION, LLC

Kevin Fulcher
By: Kevin Fulcher
Its: President

STATE OF FLORIDA
COUNTY OF Manatee

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 26th day of June, 2024, by Kevin Fulcher, as President of Deme Construction LLC who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.

Lisa Antos
NOTARY PUBLIC, STATE OF FLORIDA

(NOTARY SEAL)



Name: Lisa Antos
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

Exhibit A
Description of Improvements and Work Product
(Neighborhood Four South, Phases One & Two Utilities Improvements)

Neighborhood Four South, Phases One & Two Potable Water Improvements- All potable water lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon the Tract 110 (Private Access, Private Drainage and Public Utility Easement), and those certain Public Utility Easements, as identified in the plat known as Skye Ranch Neighborhood Four South, Plat Book 57, Pages 508 – 525, of the Official Records of Sarasota County, Florida.

Neighborhood Four South, Phases One & Two Wastewater Improvements- All wastewater lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, force mains, lift stations, services, tees, equipment and appurtenances hereto, in each case located within or upon the Tract 110 (Private Access, Private Drainage and Public Utility Easement), and those certain Public Utility Easements, as identified in the plat known as Skye Ranch Neighborhood Four South, Plat Book 57, Pages 508 – 525, of the Official Records of Sarasota County, Florida.

Neighborhood Four South, Phases One & Two Reuse Improvements- All reuse lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon the Tract 110 (Private Access, Private Drainage and Public Utility Easement), and those certain Public Utility Easements, as identified in the plat known as Skye Ranch Neighborhood Four South, Plat Book 57, Pages 508 – 525, of the Official Records of Sarasota County, Florida.

Description	CDD Eligible Amount	Paid to Date	Balance Owed
Neighborhood Four South Utilities, Phases One & Two	\$1,421,740.89	\$1,154,394.26	\$267,346.63

CONSULTING ENGINEER'S CERTIFICATE
**NEIGHBORHOOD THREE, PHASE FOUR, NEIGHBORHOOD FOUR SOUTH, PHASES ONE & TWO,
AND NEIGHBORHOOD FIVE, PHASE TWO UTILITIES IMPROVEMENTS**

05/09/2024

Board of Supervisors
LT Ranch Community Development District

Re: LT Ranch Community Development District (Sarasota County, Florida)
Acquisition of Neighborhood Three, Phase Four, Neighborhood Four South, Phases One
& Two, and Neighborhood Five, Phase Two Utilities Improvements

Ladies and Gentlemen:

The undersigned, a representative of Atwell, LLC ("**Consulting Engineer**"), as engineer for the LT Ranch Community Development District ("**District**"), hereby makes the following certifications in connection with the District's acquisition from the Developer of the "**Improvements**" and "**Work Product**," as further described in **Exhibit A** attached hereto, and in that certain bill of sale ("**Bill of Sale**") dated as of or about the same date as this certificate. For good and valuable consideration, the sufficiency and receipt of which are hereby acknowledged, the undersigned, an authorized representative of the Consulting Engineer, hereby certifies that:

1. I have reviewed and inspected the Improvements and Work Product. I have further reviewed certain documentation relating to the same, including but not limited to, the Bill of Sale, agreements, invoices, plans, as-builts, and other documents.
2. The Improvements and Work Product are within the scope of the District's capital improvement program as set forth in the District's *Master Engineer's Report*, dated April 2019, as revised November 6, 2019, as supplemented by the *2019 Project Supplement to the Master Engineer's Report*, dated April 2019, as revised November 6, 2019, as supplemented by the *2022 Project Supplement to the Master Engineer's Report dated April 2019 (as revised November 6, 2019)*, dated May 2022, and as supplemented by the *2024 Project Supplement to the Master Engineer's Report dated April 2019 (as revised November 6, 2019)* dated February 2024 (together, "**Engineer's Report**"), and specially benefit property within the District as further described in the Engineer's Report.
3. The Improvements were installed in accordance with their specifications, and are capable of performing the functions for which they were intended.
4. The total costs associated with the Improvements and Work Product are as set forth in the Bill of Sale. Such costs are equal to or less than each of the following: (i) what

was actually paid by the Developer to create and/or construct the Improvements and Work Product, and (ii) the reasonable fair market value of the Improvements and Work Product.

5. All known plans, permits and specifications necessary for the operation and maintenance of the Improvements are complete and on file with the District, and have been transferred, or are capable of being transferred, to the District for operations and maintenance responsibilities.
6. With this document, I hereby certify that it is appropriate at this time to acquire the Improvements and Work Product.

I declare that I have read the foregoing and the facts alleged are true and correct to the best of my knowledge and belief.


Executed this 9 day of May, 2024.



Philip Brannon, P.E.
Atwell, LLC
Florida Registration No. 87463
Consulting Engineer

STATE OF FLORIDA
COUNTY OF Sarasota

The foregoing instrument was sworn and subscribed before me by means of physical presence or online notarization, this 9th day of May, 2024, by Philip Brannon, as Consulting Engineer of Atwell, LLC who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.



NOTARY PUBLIC, STATE OF FLORIDA

(NOTARY SEAL)



Name: Jessica Fritz
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

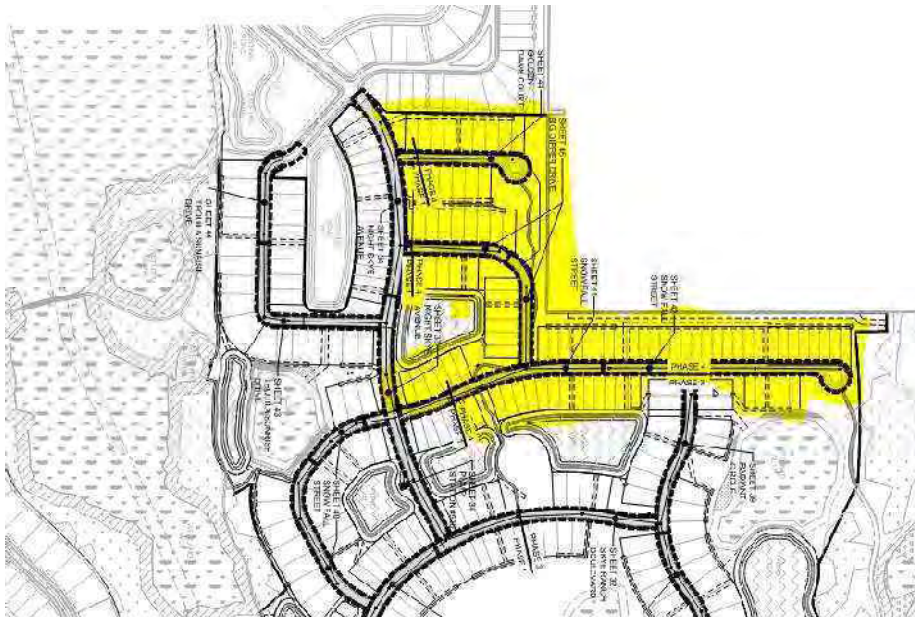
Exhibit A

Description of Improvements and Work Product (Neighborhood Three, Phase Four, Neighborhood Four South, Phases One & Two, and Neighborhood Five, Phase Two Utilities Improvements)

Neighborhood Three, Phase Four Potable Water Improvements- All potable water lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement) located in Phase 4 as depicted in the map below, and those certain Public Utility Easements located in Phase 4 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Three, recorded at Plat Book 56, Pages 53 – 74, of the Official Records of Sarasota County, Florida.

Neighborhood Three, Phase Four Wastewater Improvements- All wastewater lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, force mains, lift stations, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement) located in Phase 4 as depicted in the map below, and those certain Public Utility Easements located in Phase 4 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Three, recorded at Plat Book 56, Pages 53 – 74, of the Official Records of Sarasota County, Florida.

Neighborhood Three, Phase Four Reuse Improvements- All reuse lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 108 (Private Access, Private Drainage and Public Utility Easement) located in Phase 4 as depicted in the map below, and those certain Public Utility Easements located in Phase 4 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Three, recorded at Plat Book 56, Pages 53 – 74, of the Official Records of Sarasota County, Florida.



Neighborhood Four South, Phases One & Two Potable Water Improvements- All potable water lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon the Tract 110 (Private Access, Private Drainage and Public Utility Easement), and those certain Public Utility Easements, as identified in the plat known as Skye Ranch Neighborhood Four South, Plat Book 57, Pages 508 – 525, of the Official Records of Sarasota County, Florida.

Neighborhood Four South, Phases One & Two Wastewater Improvements- All wastewater lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, force mains, lift stations, services, tees, equipment and appurtenances hereto, in each case located within or upon the Tract 110 (Private Access, Private Drainage and Public Utility Easement), and those certain Public Utility Easements, as identified in the plat known as Skye Ranch Neighborhood Four South, Plat Book 57, Pages 508 – 525, of the Official Records of Sarasota County, Florida.

Neighborhood Four South, Phases One & Two Reuse Improvements- All reuse lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon the Tract 110 (Private Access, Private Drainage and Public Utility Easement), and those certain Public Utility Easements, as identified in the plat known as Skye Ranch Neighborhood Four South, Plat Book 57, Pages 508 – 525, of the Official Records of Sarasota County, Florida.

Neighborhood Five, Phase Two Utilities Potable Water Improvements- All potable water lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 109 (Private Access, Private Drainage and Public Utility Easement) located in Phase 2 as depicted in the map below, and those certain Public Utility Easements located in Phase 2 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Five, Plat Book 56, Pages 371 – 393, of the Official Records of Sarasota County, Florida.

Neighborhood Five, Phase Two Utilities Wastewater Improvements- All wastewater lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, force mains, lift stations, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 109 (Private Access, Private Drainage and Public Utility Easement) located in Phase 2 as depicted in the map below, and those certain Public Utility Easements located in Phase 2 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Five, Plat Book 56, Pages 371 – 393, of the Official Records of Sarasota County, Florida.

Neighborhood Five, Phase Two Utilities Reuse Improvements- All reuse lines, including but not limited to all pipes, structures, fittings, valves, pumps, laterals, services, tees, equipment and appurtenances hereto, in each case located within or upon those certain portions of Tract 109 (Private Access, Private Drainage and Public Utility Easement) located in Phase 2 as depicted in the map below, and those certain Public Utility Easements located in Phase 2 as depicted in the map below, as identified in the plat known as Skye Ranch Neighborhood Five, Plat Book 56, Pages 371 – 393, of the Official Records of Sarasota County, Florida.



Work Product – Any and all site plans, construction and development drawings, plans and specifications, documents, surveys, engineering and soil reports and studies, licenses, permits, zoning approvals, entitlements, building permits, demolition and excavation permits, curb cut and right-of-way permits, utility permits, drainage rights, bonds, and similar or equivalent private and governmental documents of every kind and character whatsoever pertaining or applicable to or in any way connected with the development, construction, and ownership of the above-referenced improvements.

Description	CDD Eligible Amount	Paid to Date	Balance Owed
Neighborhood Three, Phase Four Utilities	\$507,635.81	\$116,771.00	\$390,864.81
Neighborhood Three, Phase Four Utilities Work Product	\$188,205.00	\$125,800.57	\$62,404.43
Neighborhood Four South Utilities, Phases One & Two	\$1,421,740.89	\$1,154,394.26	\$267,346.63
Neighborhood Four South Utilities, Phases One & Two Work Product	\$447,377.50	\$275,284.88	\$172,092.63
Neighborhood Five, Phase Two Utilities	\$779,730.20	\$590,768.61	\$188,961.59
Neighborhood Five, Phase Two Utilities Work Product	\$150,649.41	\$146,753.01	\$3,896.40
TOTAL:	\$3,495,338.81	\$2,409,772.33	\$1,085,566.49

BILL OF SALE AND LIMITED ASSIGNMENT

**NEIGHBORHOOD THREE, PHASE FOUR, NEIGHBORHOOD FOUR SOUTH, PHASES ONE & TWO,
AND NEIGHBORHOOD FIVE, PHASE TWO UTILITIES IMPROVEMENTS**

THIS BILL OF SALE AND LIMITED ASSIGNMENT is made to be effective the ____ day of _____, 2024, by and between **Taylor Morrison of Florida, Inc.**, whose address for purposes hereof is 551 North Cattlemen Road, Suite 200, Sarasota, Florida 34232 ("**Grantor**"), and for good and valuable consideration, to it paid by the **LT Ranch Community Development District**, a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes* ("**District**" or "**Grantee**") whose address is c/o JP Ward & Associates, LLC, 2900 Northeast 12th Terrace, Suite 1, Oakland Park, Florida 33334.

(Wherever used herein, the terms "Grantor" and "Grantee" include all of the parties to this instrument, the heirs, legal representatives and assigns of individuals, and the successors and assigns of trustees, partnerships, limited liability companies, governmental entities, and corporations.)

BACKGROUND STATEMENT

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor and Grantee, intending to be legally bound, do hereby agree as follows:

1. Grantor hereby transfers, grants, conveys, and assigns to Grantee all right, title and interest of Grantor, if any, in and to the property (together, "**Property**") described in **Exhibit A** and below to have and to hold for Grantee's own use and benefit forever:

a) All of the improvements and work product identified in **Exhibit A**; and

b) All of the right, title, interest, and benefit of Grantor, if any, in, to and under any and all contracts, guaranties, affidavits, warranties, bonds, claims, lien waivers, and other forms of indemnification, given heretofore and with respect to the construction, installation, or composition of the improvements described in **Exhibit A**.

2. Grantor hereby covenants that: (i) Grantor is the lawful owner of the Property; (ii) the Property is free from any liens or encumbrances and the Grantor covenants to timely address any such liens or encumbrances if and when filed; (iii) Grantor has good right to sell the Property; and (iv) the Grantor will warrant and defend the sale of the Property hereby made unto the Grantee against the lawful claims and demands of all persons whosoever.

3. Without waiving any of the rights against third parties granted under Section 1(b), this conveyance is made on an "as is" basis. The Grantor represents that it has no knowledge of any latent or patent defects in the Property, and hereby assigns, transfers and conveys to the

Grantee any and all rights against any and all firms or entities which may have caused any latent or patent defects, including, but not limited to, any and all warranties and other forms of indemnification.

4. By execution of this document, the Grantor affirmatively represents that it has the contractual right, consent and lawful authority of any and all forms to take this action in this document and in this form. Nothing herein shall be construed as a waiver of Grantee's limitations on liability as provided in Section 768.28, *Florida Statutes*, and other statutes and law.

WHEREFORE, the foregoing Bill of Sale and Limited Assignment is hereby executed and delivered on the date first set forth above.

Signed, sealed and delivered by:

WITNESS

TAYLOR MORRISON OF FLORIDA, INC.

By: [Signature]
Name: WAYNE RANSON

By: [Signature]
Name: [Signature]
Title: VICE PRESIDENT

By: [Signature]
Name: Jamie Kucia

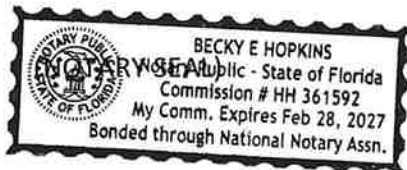
STATE OF FLORIDA
COUNTY OF SARASOTA

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 8th day of May, 2024, by BRAD COATES, as VP of Taylor Morrison of Florida, Inc., who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.

[Signature]

NOTARY PUBLIC, STATE OF FLORIDA

Name: Becky E Hopkins
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)



BILL OF SALE/AFFIDAVIT OF NO LIENS
NEIGHBORHOOD THREE, PHASE FOUR, NEIGHBORHOOD FOUR SOUTH, PHASES ONE & TWO,
AND NEIGHBORHOOD FIVE, PHASE TWO UTILITIES IMPROVEMENTS

KNOW ALL MEN BY THESE PRESENTS, that the LT RANCH COMMUNITY DEVELOPMENT DISTRICT, for and in consideration of the sum of Ten Dollars (\$10.00) and other valuable considerations, to it paid by the COUNTY OF SARASOTA, the receipt of which is hereby acknowledged, by these presents does grant, bargain, sell, transfer and deliver unto the COUNTY OF SARASOTA, its successors and assigns, all those certain goods and chattels located in the COUNTY OF SARASOTA, and the State of Florida, more particularly described in **EXHIBIT A** attached hereto.

It is the purpose and intent of the LT RANCH COMMUNITY DEVELOPMENT DISTRICT to convey to the COUNTY OF SARASOTA by this Bill of Sale all property comprising said water supply distribution system and/or wastewater collection system to and within the above described property, together with all of the rights of the LT RANCH COMMUNITY DEVELOPMENT DISTRICT arising out of any and all guarantees, performance bonds, contracts and agreements of the LT RANCH COMMUNITY DEVELOPMENT DISTRICT in connection with said water supply distribution system and/or wastewater collection system.

TOGETHER with every right, privilege, permit and easement of every kind and nature of the LT RANCH COMMUNITY DEVELOPMENT DISTRICT, in and to and in connection with the aforesaid water supply distribution system and/or wastewater collection system reserving however, similar non-exclusive easement rights in LT RANCH COMMUNITY DEVELOPMENT DISTRICT for other utility purposes.

TO HAVE AND TO HOLD the same unto the COUNTY OF SARASOTA, its successors and assigns, forever

AND THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT does for itself and its successors covenant to and with the COUNTY OF SARASOTA, its successors and assigns, that it is the lawful owner of the above described goods and chattels and that the said property is free and clear of all liens, encumbrances, and charges whatsoever; that it has good right and lawful authority to sell the same as aforesaid, and that it does warrant to defend the title and the sale of the said properties hereby made, unto the COUNTY OF SARASOTA, its successors and assigns, against lawful claims and demands of all persons whomsoever.

[CONTINUED ON FOLLOWING PAGE]

IN WITNESS WHEREOF, the LT RANCH COMMUNITY DEVELOPMENT DISTRICT has caused these presents to be signed and its name be its proper officers and its corporate seal to be affixed, this 5th day of May, 2024.

WITNESS

LT RANCH COMMUNITY DEVELOPMENT DISTRICT

By: [Signature]
Name: WAYNE RANSON

By: [Signature]
Name: John Holland
Title: VICE PRESIDENT CHAIRPERSON

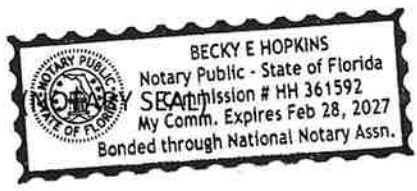
By: [Signature]
Name: Jamil Kwan

STATE OF FLORIDA
COUNTY OF SARASOTA

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 5th day of May, 2024, by John Holland as VICE PRESIDENT of LT Ranch Community Development District, who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.

[Signature]
NOTARY PUBLIC, STATE OF FLORIDA

Name: Becky E Hopkins
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)



CERTIFICATION OF NO CONTRIBUTIONS
NEIGHBORHOOD THREE, PHASE FOUR, NEIGHBORHOOD FOUR SOUTH, PHASES ONE & TWO,
AND NEIGHBORHOOD FIVE, PHASE TWO UTILITIES IMPROVEMENTS

This certifies that the LT RANCH COMMUNITY DEVELOPMENT DISTRICT has received no advances or contributions in aid of construction, refundable or non-refundable, from customers or potential customers of the SARASOTA COUNTY UTILITY SYSTEM, or from the owner or owners, past or present, of any lots or tracts being served by the water supply distribution system and/or wastewater collection system facilities to and within that subdivision and lands known and described on or in exhibit "A" attached hereto and made a part hereof or by others for the construction of such facilities; that there are no past, existing or pending agreements or understandings, oral or written, known to Affiant, with the customers or owners of the properties being served or to be served by such facilities which might adversely affect the operation of the water supply distribution system and/or wastewater collection system which might result in claims that all or some part of the cost of the water supply distribution system and/or wastewater collection system has been contributed by any such person and might be regarded as direct or indirect contributions in aid of construction.

Dated this 30th day of May, 2024.

WITNESS

LT RANCH COMMUNITY DEVELOPMENT DISTRICT

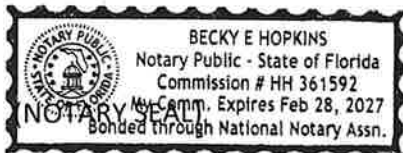
By: [Signature]
Name: Jamie Kea

By: [Signature]
Name: John Holland
Title: Vice President/Chairperson

By: [Signature]
Name: WAYNE RANSON

STATE OF FLORIDA
COUNTY OF SARASOTA

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 30th day of May, 2024, by John Holland as Chairperson of LT-Ranch Community Development District, who appeared before me this day in person, and who is either personally known to me, or produced _____ as identification.



[Signature]
NOTARY PUBLIC, STATE OF FLORIDA
Name: Becky E Hopkins
(Name of Notary Public, Printed, Stamped or Typed as Commissioned)

RESOLUTION 2024-21

A RESOLUTION OF THE BOARD OF SUPERVISORS OF LT RANCH COMMUNITY DEVELOPMENT DISTRICT AUTHORIZING, CONFIRMING, AND APPROVING THE ACCEPTANCE OF IMPROVEMENTS; AND ADDRESSING SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the LT Ranch Community Development District ("**District**") is a local unit of special-purpose government created and existing pursuant to Chapter 190, *Florida Statutes* ("**Act**"); and

WHEREAS, the Act authorizes the District to construct, acquire, operate and maintain public infrastructure improvements; and

WHEREAS, the District has adopted an improvement plan for the planning, design, acquisition, construction, and installation of certain infrastructure improvements, facilities and services within and without the boundaries of the District ("**Capital Improvement Plan**"); and

WHEREAS, the District entered into various agreements with Taylor Morrison of Florida, Inc. ("**Developer**") in connection with each of its bond issuances which sets forth the process by which the District may acquire the improvements comprising the Capital Improvement Plan ("**Improvements**"); and

WHEREAS, the District presently owns certain common areas within its boundaries ("**Property**"), and the Developer desires to transfer and/or confirm the transfer of the Improvements located within the Property to the District; and

WHEREAS, because the District either acquired Improvements on the Property or already owns and operates improvements similar to the those on the Property in accordance with the Capital Improvement Plan, the District agrees to accept the transfer of the Property and assume operation and maintenance responsibilities for the same.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE LT RANCH COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. AUTHORIZING, CONFIRMING, AND APPROVING THE ACCEPTANCE OF IMPROVEMENTS. The Board of Supervisors ("**Board**") hereby finds that the acceptance of the Improvements is in the best interests of the District, and hereby approves the transfer of the Improvements pursuant to a quitclaim bill of sale, substantially in the form attached hereto as **Exhibit A**.

SECTION 2. SEVERABILITY. If any provision of this Resolution is held to be illegal or invalid, the other provisions shall remain in full force and effect.

SECTION 3. EFFECTIVE DATE. This Resolution shall become effective upon its adoption.

PASSED AND ADOPTED this 9th day of July, 2024.

ATTEST:

**LT RANCH COMMUNITY
DEVELOPMENT DISTRICT**

James P. Ward, Secretary

John Wollard, Chairperson

Exhibit A: Form of Quit Claim Bill of Sale

Exhibit A:
Form of Quit Claim Deed

QUITCLAIM BILL OF SALE¹
LT RANCH COMMUNITY DEVELOPMENT DISTRICT

THIS QUITCLAIM BILL OF SALE is made to be effective as of the 9th day of July 2024, by and among **TAYLOR MORRISON OF FLORIDA, INC.**, a Florida corporation, with a mailing address of 551 North Cattlemen Road, Suite 200, Sarasota, Florida 34232, and **SKYE RANCH MASTER ASSOCIATION, INC.**, a Florida not for profit corporation, with a mailing address of 551 North Cattlemen Road, Suite 200, Sarasota, Florida 34232 (together, “**Grantors**”), and the **LT RANCH COMMUNITY DEVELOPMENT DISTRICT**, a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes*, being situated in Sarasota County, Florida, and whose mailing address is c/o JPWard & Associates, LLC, 2301 Northeast 37th Street, Fort Lauderdale, Florida 33308 (“**Grantee**”).

(Wherever used herein, the terms “Grantors” and “Grantee” include all of the parties to this instrument, the heirs, legal representatives and assigns of individuals, and the successors and assigns of trustees, partnerships, limited liability companies, governmental entities, and corporations.)

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantors and Grantee, intending to be legally bound, do hereby agree as follows:

1. Grantors, to the extent of their respective interests, if any, hereby remise, release and quit-claim to Grantee forever, all the right, title, interest, claim and demand which the Grantors individually or jointly have in and to the capital improvements and work product as described below, to have and to hold for Grantee’s own use and benefit forever (all of the following together, “**Property**”):

- a. **Improvements** - All of the right, title, interest, and benefit, if any, of the Grantors in, to, and under the capital improvements located on the real property and easement areas described in **Exhibit A**; and
- b. **Lorraine Road Improvements** - All of the right, title, interest, and benefit, if any, of the Grantors in, to, and under the capital improvements located on the real property and easement areas described in **Exhibit B**; and
- c. **Amenity Area Improvements** - All of the right, title, interest, and benefit, if any, of the Grantors in, to, and under the capital improvements located on the real property and easement areas described in **Exhibit C**; and
- d. **Work Product** – All of the right, title, interest, and benefit of Grantors, if any, in, to, and under any and all site plans, construction and development drawings, plans and specifications, documents, surveys, engineering and soil reports and studies, licenses, permits, zoning approvals, entitlements, building permits, demolition and excavation permits, curb cut and right-of-way permits, utility permits, drainage rights, bonds, and similar or equivalent private and governmental documents of every kind and character whatsoever pertaining or applicable to or in any way

¹ NOTE: Nothing herein shall be construed to waive Grantors’ consideration in the improvements located on the Property, or any rights that the Grantor may have under any acquisition agreement(s) between the Grantors and Grantee and for payment by the Grantee for such improvements. Instead, Grantors reserve all such rights, and payment for any improvements shall be governed by separate conveyance documents between the parties and evidenced by a final bill of sale.

connected with the development, construction, and ownership of the above-referenced improvements.

- e. **Additional Rights** - All of the right, title, interest, and benefit of Grantors, if any, in, to and under any and all contracts, guaranties, affidavits, warranties, bonds, claims, lien waivers, and other forms of indemnification, given heretofore and with respect to the construction, installation, or composition of the foregoing work product and improvements.

2. By execution of this document, the Grantors affirmatively represent that they have the contractual right, consent and lawful authority of any and all forms to take this action in this document and in this form. Nothing herein shall be construed as a waiver of Grantee's limitations on liability as provided in Section 768.28, *Florida Statutes*, and other statutes and law.

[CONTINUED ON FOLLOWING PAGE]

WHEREFORE, the foregoing Bill of Sale is hereby executed and delivered on the date first set forth above.

Signed, sealed and delivered
in the presence of:

TAYLOR MORRISON OF FLORIDA, INC.

Print Name: _____

By: _____
Name: _____
Title: _____

Print Name: _____

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this ___ day of _____, 2024, by _____, as _____ of **TAYLOR MORRISON OF FLORIDA, INC.**, on its behalf. He [] is personally known to me or [] produced _____ as identification.

Notary Public, State of _____

[CONTINUED ON FOLLOWING PAGE]

[SIGNATURE PAGE FOR QUITCLAIM BILL OF SALE]

Signed, sealed and delivered
in the presence of:

SKYE RANCH MASTER ASSOCIATION, INC.

Print Name: _____

By: _____
Name: _____
Title: _____

Print Name: _____

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this ___ day of _____, 2024, by _____, as _____ of **SKYE RANCH MASTER ASSOCIATION, INC.**, on its behalf. He [_____] is personally known to me or [_____] produced _____ as identification.

Notary Public, State of _____

Note to Examiner: This instrument evidences a conveyance of an interest in unencumbered real estate as a gift and is exempt from Florida documentary stamp tax pursuant to Rule 12B-4.014(2)(a), Florida Administrative Code.

EXHIBIT A: Description of Property

EXHIBIT A
DESCRIPTION & LOCATION OF IMPROVEMENTS ON DISTRICT-OWNED PROPERTY & EASEMENT
ACCESS PROPERTY

District-Owned Real Property:

Tract 102 (Public Portion), Tracts 301, 302, and 303 (Preservation Area), Tracts 304 and 305 (Preservation Area and Drainage Easement), and Tracts 701, 702, 703, 704, 705, 706, 707, 708, and 709 (Lake), as identified in LT Ranch Neighborhood One, recorded in the Official Records of Sarasota County, Florida at Plat Book 53, Pages 175 – 224.

Tracts 502 (Future Development Area, Park CP-1) and Tract 503 (Future Development Area, Park CP-1, Pond BB1, Pond CC1, Pond DD1, Pond EE1), LT Ranch Neighborhood One, recorded in the Official Records of Sarasota County, Florida at Plat Book 53, Pages 175- 225.

Tracts 106, 736, 737, 738, 739, 740, 741 and 758 (Lake), Skye Ranch Neighborhood Two, recorded in the Official Records of Sarasota County, Florida at Plat Book 56 , Pages 1 – 12.

Tracts 104, 312, 723, 724, 725, 726, 727, 728, 729, 730, and 731, Skye Ranch Neighborhood Two Townhomes, recorded in the Official Records of Sarasota County, Florida at Plat Book 55, Pages 134 - 144.

Tract 758 (Lake), Skye Ranch Neighborhood Two Townhomes North, recorded in the Official Records of Sarasota County, Florida at Plat Book 56, Pages 500 - 507.

Tracts 313, 314, 315, 316, 317, 318, 319, 320, and 321 (Preservation Area) and Tracts 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, and 757 (Lake), Skye Ranch Neighborhood Three, recorded in the Official Records of Sarasota County, Florida at Plat Book 56, Pages 53 - 74.

Tracts 306, 307, 308, 309, 310 and 311 (Preservation Area), Tracts 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, and 722 (Lake), Skye Ranch Neighborhood Four North, recorded in the Official Records of Sarasota County, Florida, at Plat Book 54, Page 218 - 246.

Tract 307 (Preservation Area), and Tracts 732, 733, 734, and 735 (Lakes), Skye Ranch Neighborhood Four North Phase I, recorded in the Official Records of Sarasota County, Florida at Plat Book 55, Pages 277 - 287.

Tracts 326, 327, 328, 329, 330, 331, and 332 (Preservation Area), and Tracts 770, 771, 772 and 773 (Lake), Skye Ranch Neighborhood Four South, recorded in the Official Records of Sarasota County, Florida at Plat Book 57, Pages 508 – 525.

Tracts 286 (Drainage, Landscape and Irrigation Area), Tracts 311A, 322, 323, and 324 (Preservation Area), Tract 325 (Greenway Area) and Tracts 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768 and 769 (Lake), Skye Ranch Neighborhood Five, recorded in the Official Records of Sarasota County, Florida at Plat Book 56, Pages 371 - 393.

Tangible Property:

Landscape Improvements – All landscape, including but not limited to plants, trees, timber, shrubbery, and other landscaping and plantings; and

Irrigation Improvements - All irrigation systems, including but not limited to wells, pumps, pipes, structures, fittings, valves, spray heads and related system components; and

Hardscape Improvements – All walls and fence improvements, monument signs, guard gate; and

Roadway Improvements - All public roads, pavement, curbing and other physical improvements; and

Stormwater & Drainage Improvements - All drainage and surface water management systems, including but not limited to sod, surface water control structures, curb and gutter, and pipes; and

District-Easement Access Property [ONLY STORMWATER & DRAINAGE IMPROVEMENTS]:

The District was granted a perpetual, non-exclusive easement for purposes of ingress and egress, construction, installation, use, maintenance, repair, reconstruction and replacement by the District of drainage facilities – including related lake bank landscaping and irrigation facilities, landscaping and irrigation facilities located within Tracts 101 and 102 (Private Access, Private Drainage and Public Utility Easement), 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, and 212, “Landscape Buffer Easement,” “Private Access, Private Drainage and Public Utility Easement,” Private Drainage Easement” and “Drainage Easement,” as identified in LT Ranch Neighborhood One, recorded in the Official Records of Sarasota County, Florida at Plat Book 53, Pages 175 – 224.

The District was granted a perpetual, non-exclusive easement for purposed of ingress and egress, construction, installation, use, maintenance, repair, reconstruction, and replacement by the District of irrigation facilities – including related lake bank landscaping – located within Tracts 101 and 102 (Private Access, Private Drainage and Public Utility Easement) and Tracts 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, and 211 (Drainage, Landscape and Irrigation Area), identified in the plat know LT Ranch Neighborhood One subdivision plat, recorded in the Official Records of Sarasota County, Florida at Plat Book 53, Pages 175 – 224.

The District was granted a perpetual, non-exclusive easement for purposed of ingress and egress, construction, installation, use, maintenance, repair, reconstruction, and replacement by the District of drainage and irrigation facilities – including but not limited to related lake bank landscaping – located within Tract 502, LT Ranch Neighborhood One, recorded in the Official Records of Sarasota County, Florida at Plat Book 53, Pages 175 – 224.

The District was granted a perpetual, non-exclusive easement for purposed of ingress and egress, construction, installation, use, maintenance, repair, reconstruction, and replacement by the District of drainage and irrigation facilities – including but not limited to related lake bank

landscaping – located within Tracts 106 and 107 (Private Access, Private Drainage and Public Utility Easement), Tracts 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, and 251 (Drainage, Landscape and Irrigation Area), and Tract 413 (Park and Drainage Area), and within all drainage easement areas including those labeled “Public Drainage Easement” and “Private Drainage Easement,” in each case as identified on the plat entitled “Skye Ranch Neighborhood Two,” recorded in the Official Records of Sarasota County, Florida at Plat Book 56, Pages 1 – 12.

The District was granted a perpetual, non-exclusive easement for purposes of ingress and egress, as well as the construction, installation, use, maintenance, repair, reconstruction and replacement by the District of drainage, lake bank landscaping, irrigation, street lights and other District facilities located within Tract 104 (Private Access, Private Drainage and Public Utility Easement), and Tracts 230, 231, 232, 234 (Drainage, Landscape and Irrigation Area), “Drainage Easements” and “Private Drainage Easements” and “Utility Easements,” as identified on the Skye Ranch Neighborhood Two Townhomes, recorded in the Public Records of Sarasota County, Florida at Plat Book 55, Pages 134 – 144.

The District was granted a perpetual, non-exclusive easement for purposes of ingress and egress, construction, installation, use, maintenance, repair, reconstruction, and replacement by the District of drainage and irrigation facilities – including but not limited to related lake bank landscaping – located within Tract 109 (Private Access, District Drainage Easement and Public Utility Easement), Tract 110 (Public Emergency Access Area), Tracts 278 (Landscape and Wall Area), Tracts 279, 280, 281, 282, 283, 284, 285, and 286 (Drainage, Landscape and Irrigation Area) Tracts 416 and 427 (Park, Drainage, Landscape and Irrigation Area), and within all drainage easement areas including those labeled “Private Drainage Easement” and “District Drainage Easement,” in each case as identified on the plat entitled “Skye Ranch Neighborhood Two Townhomes North”, as recorded in the Official Records of Sarasota County, Florida at Plat Book 56, Pages 500 - 507.

The District was granted a perpetual, non- exclusive easement for purposed of ingress and egress, construction, installation, use, maintenance, repair, reconstruction, and replacement by the District of drainage and irrigation facilities – including but not limited to related lake bank landscaping – locating within Tract 108 (Private Access, Private Drainage and Public Utility Easement), Tracts 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277 (Drainage, Landscape, and Irrigation Area) Tracts 421, 422, 423 (Park and Drainage Area), and within all drainage easement areas including those labeled “Private Drainage Easement,” in each case as identified on the plat entitled “Skye Ranch Neighborhood Three”, as recorded in the Official Records of Sarasota County, Florida at Plat Book 56, Pages 53 - 74.

The District was granted a perpetual, non-exclusive easement for purposed of ingress and egress, construction, installation, use, maintenance, repair, reconstruction, and replacement by the District of drainage and irrigation facilities – including related lake bank landscaping – located within Tract 105 (Private Access, Private Drainage and Public Utility Easement), Tracts 221, 235, 236, 237, 238, and 239 (Drainage, Landscape, and Irrigation Area), and within all drainage easement areas including those labeled “Private Drainage Easement,” in each case as identified on the Skye Ranch Neighborhood Four North Phase 1, recorded in the Official Records of Sarasota County, Florida at Plat Book 55, Pages 277 - 287.

The District was granted a perpetual, non-exclusive easement for purposed of ingress and egress, construction, installation, use, maintenance, repair, reconstruction, and replacement by the District of drainage and irrigation facilities – including related lake bank landscaping – located within Tract 103 (Private Access, Private Drainage and Public Utility Easement), Tracts 306, 307, 308, 309, 310, and 311 (Preservation Area), Tracts (213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, and 229 (Drainage, Landscape and Irrigation Area), Tract 406 (Park Area Park NP4), Tract 714 (Lake) and within all drainage easement areas including those labeled “Private Drainage Easement,” In each case as identified on the Skye Ranch Neighborhood Four North, recorded in the Official Records of Sarasota County, Florida at Plat Book 54, Page 218 - 246.

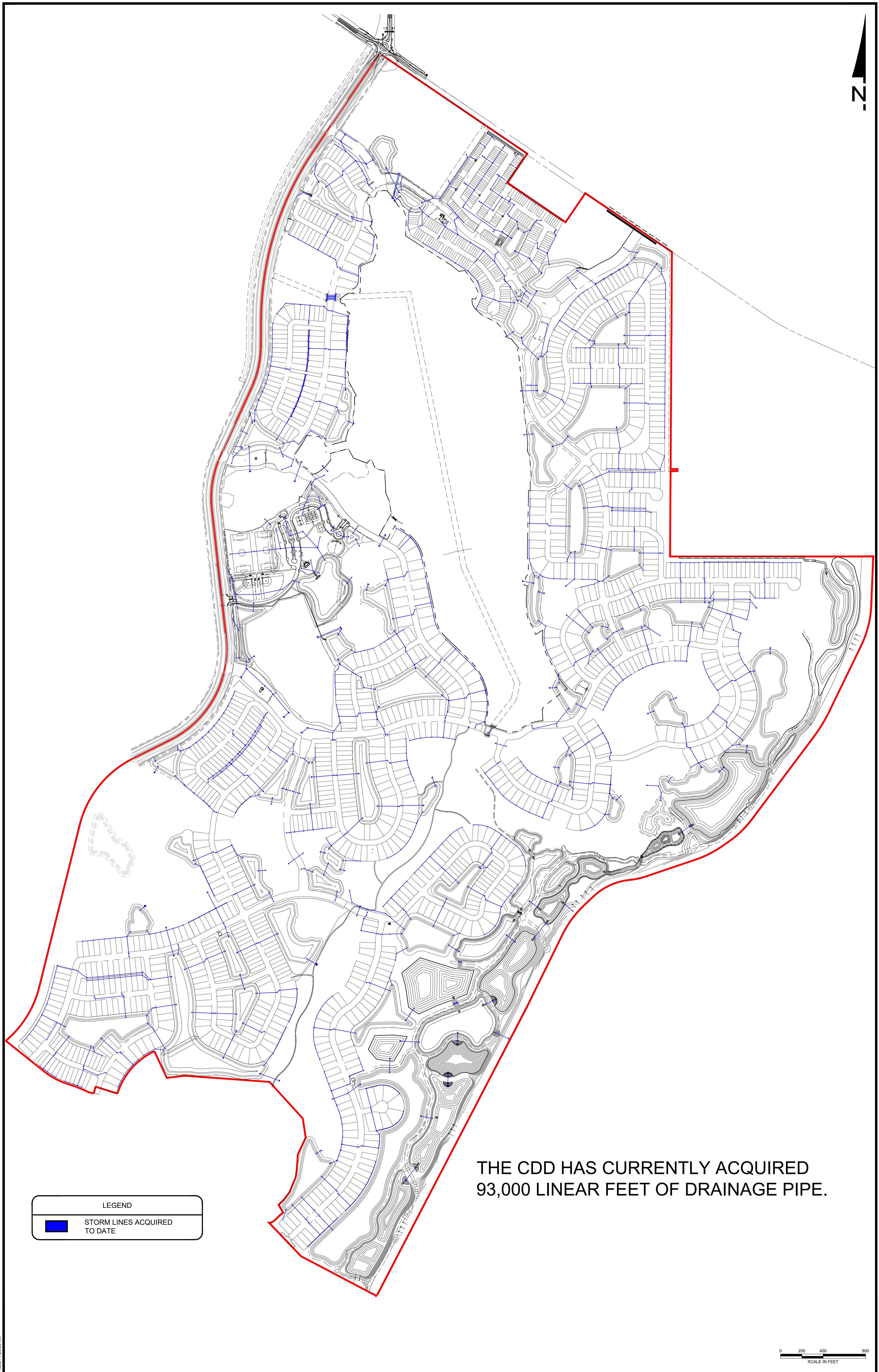
The District is hereby granted a perpetual, non-exclusive easement over, under and within Tracts 110, 282, 288, 289, 292, 294, 295, 296, 297, 298, and 299 and “Private Drainage Easements,” “Public Drainage Easements,” “Public Drainage Maintenance Easements,” as identified in *Skye Ranch Neighborhood Four South*, which is recorded in Plat Book 57, Pages 508-525, for the purposed of ingress and egress, stormwater drainage, and for installation, construction, operation, maintenance, repair and replacement of stormwater, landscape, hardscape and other District improvements.


The District was granted a perpetual, non-exclusive easement for purposed of ingress and egress, construction, installation, use, maintenance, repair, reconstruction, and replacement by the District of drainage and irrigation facilities – including but not limited to related lake bank landscaping – located within Tract 109 (Private Access, Private Drainage and Public Utility Easement), Tracts 278, 279, 280, 281, 283, 284, 285, 287, 290, 291, and 293 (Drainage, Landscape and Irrigation Area), and within all drainage easement areas including those labeled “Private Drainage Easement” and “Public Flowage Easement,” in each case as identified on the plat entitled “Skye Ranch Neighborhood Five”, as recorded in the Official Records of Sarasota County, Florida at Plat Book 56, Pages 371 – 393.

Tangible Property:

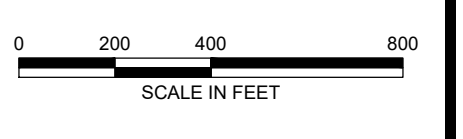
Stormwater & Drainage Improvements - All drainage and surface water management systems, including but not limited to sod, surface water control structures, curb and gutter, and pipes; and

[CONTINUED ON FOLLOWING PAGE]

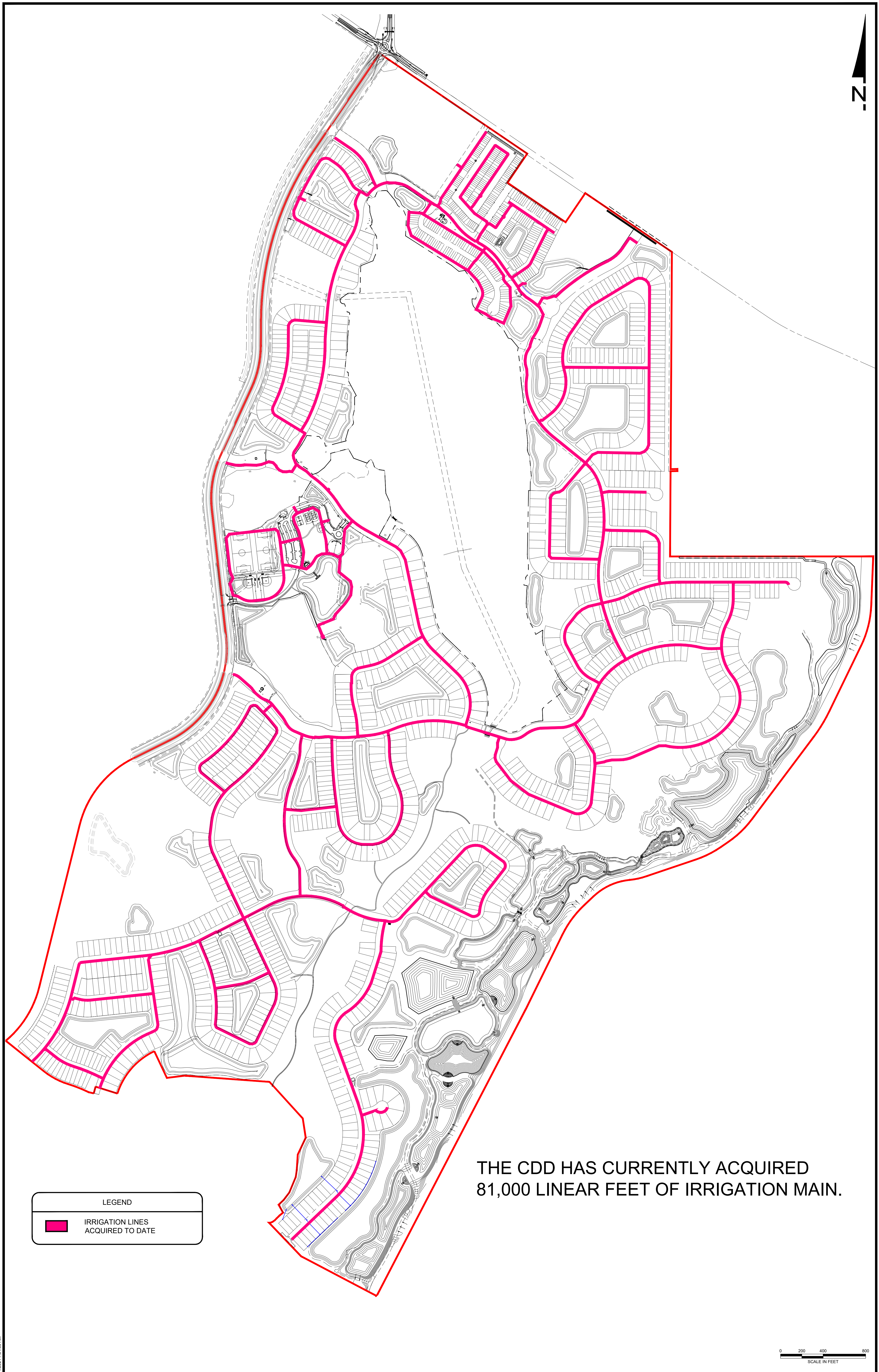



LEGEND	
	STORM LINES ACQUIRED TO DATE

THE CDD HAS CURRENTLY ACQUIRED 93,000 LINEAR FEET OF DRAINAGE PIPE.

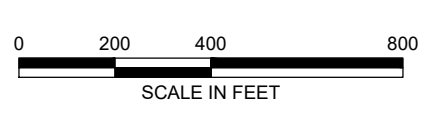


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3/8/2024 7:25:28 AM



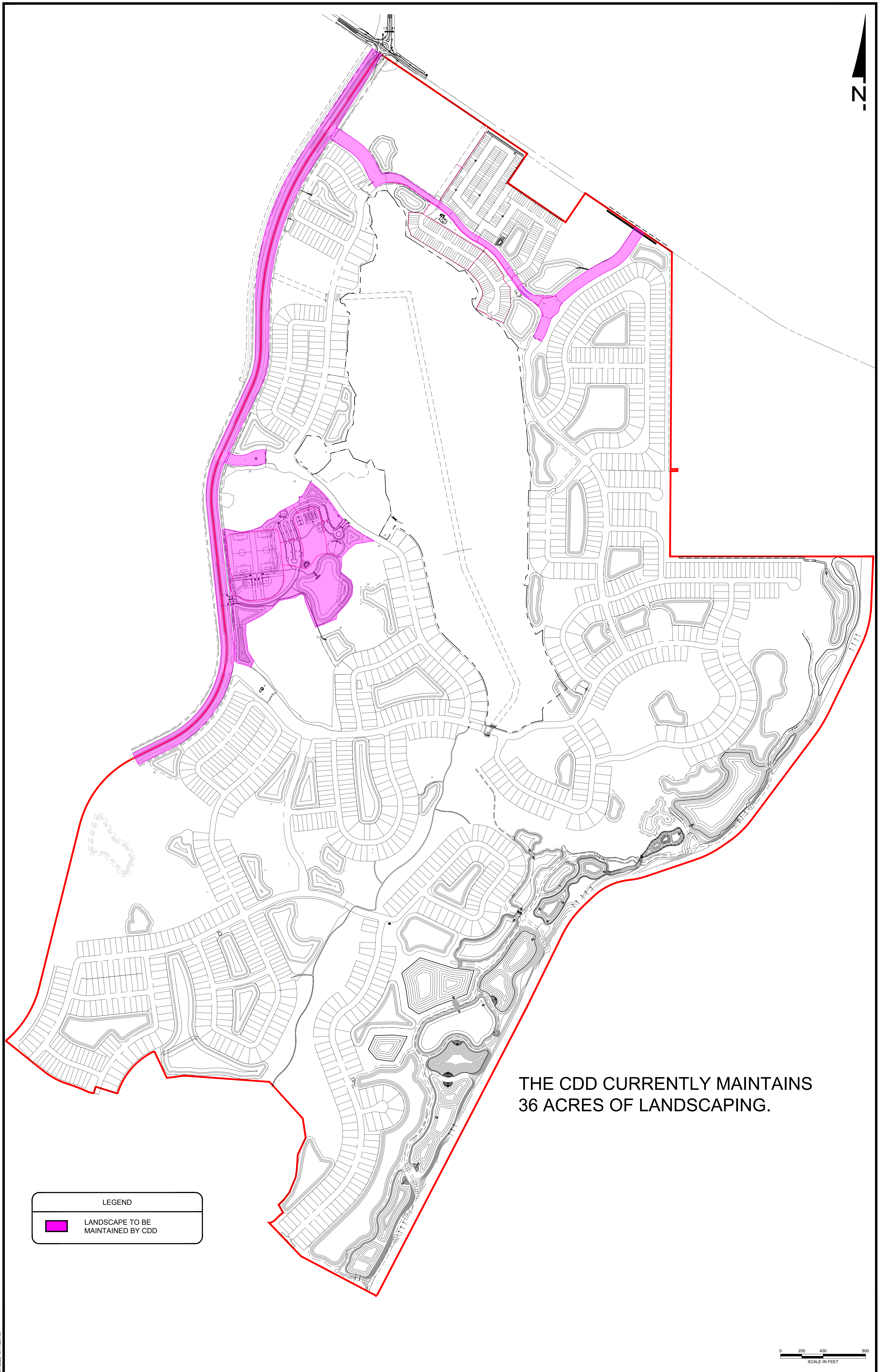
LEGEND	
	IRRIGATION LINES ACQUIRED TO DATE

THE CDD HAS CURRENTLY ACQUIRED 81,000 LINEAR FEET OF IRRIGATION MAIN.




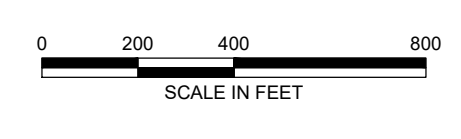
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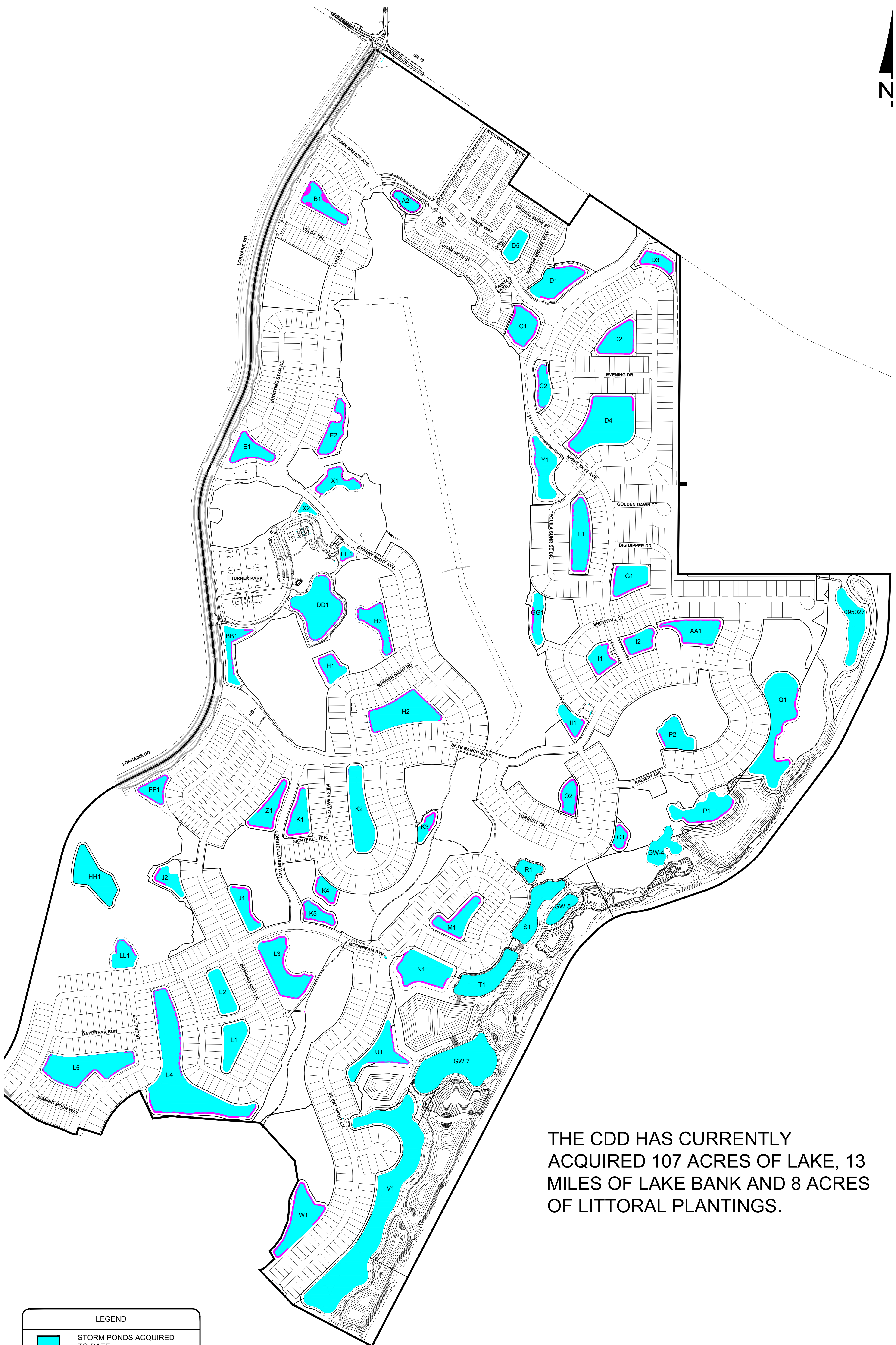


THE CDD CURRENTLY MAINTAINS
36 ACRES OF LANDSCAPING.



LEGEND	
	LANDSCAPE TO BE MAINTAINED BY CDD

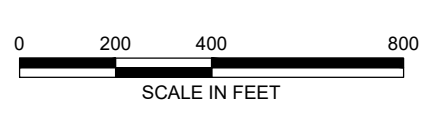


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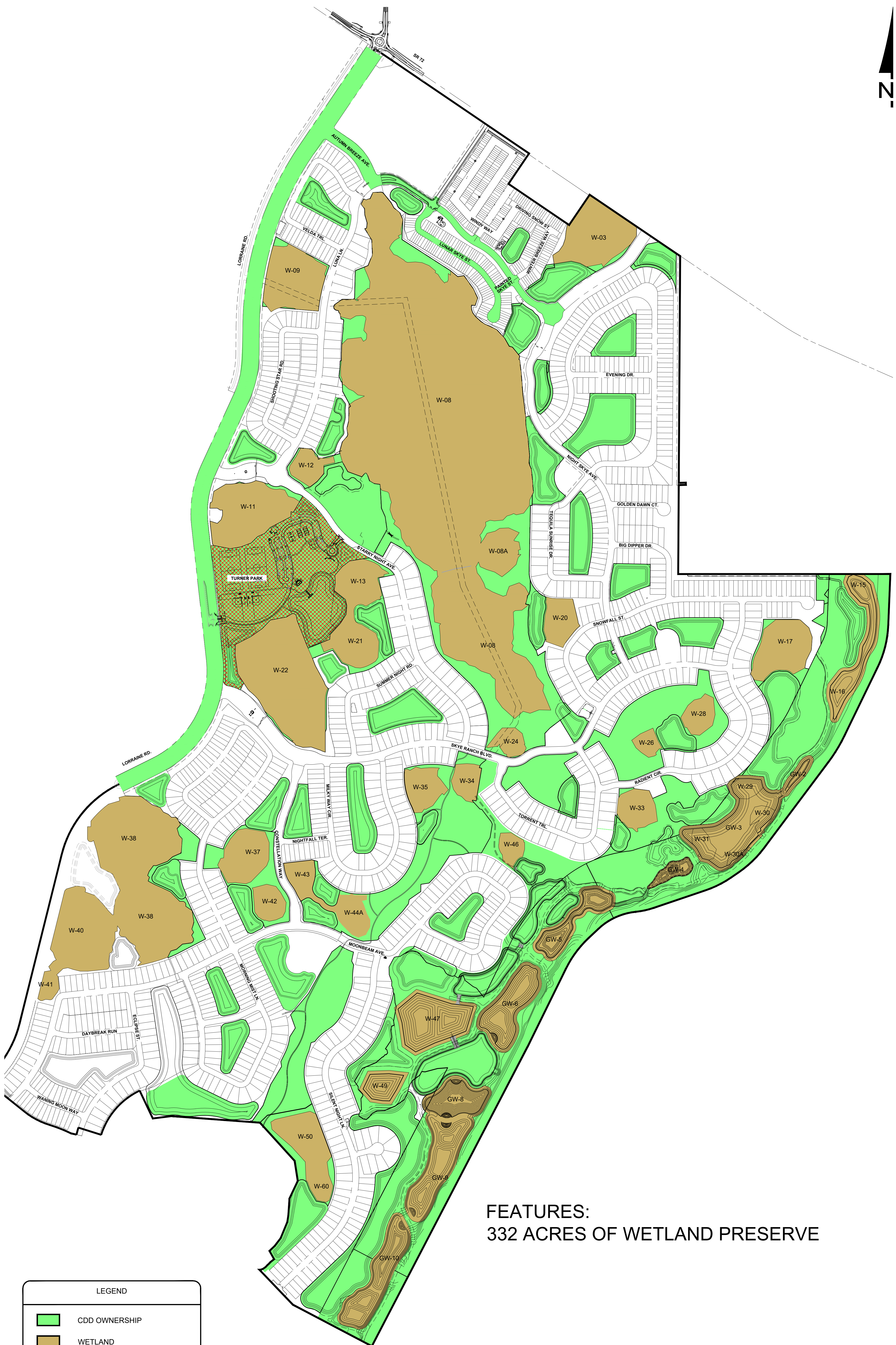
THE CDD HAS CURRENTLY ACQUIRED 107 ACRES OF LAKE, 13 MILES OF LAKE BANK AND 8 ACRES OF LITTORAL PLANTINGS.

LEGEND	
	STORM PONDS ACQUIRED TO DATE
	STORM POND LITTORAL SHELF





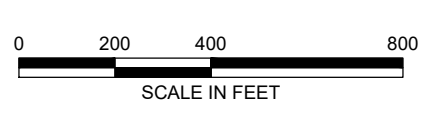
C:\Projects\386-05 (L.T. Ranch)\CDD\Drawings-Exhibits\386-05-11 CDD Environmental Maintenance Map\Current Plans\38605E11.dwg
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FEATURES:
332 ACRES OF WETLAND PRESERVE

LEGEND	
	CDD OWNERSHIP
	WETLAND



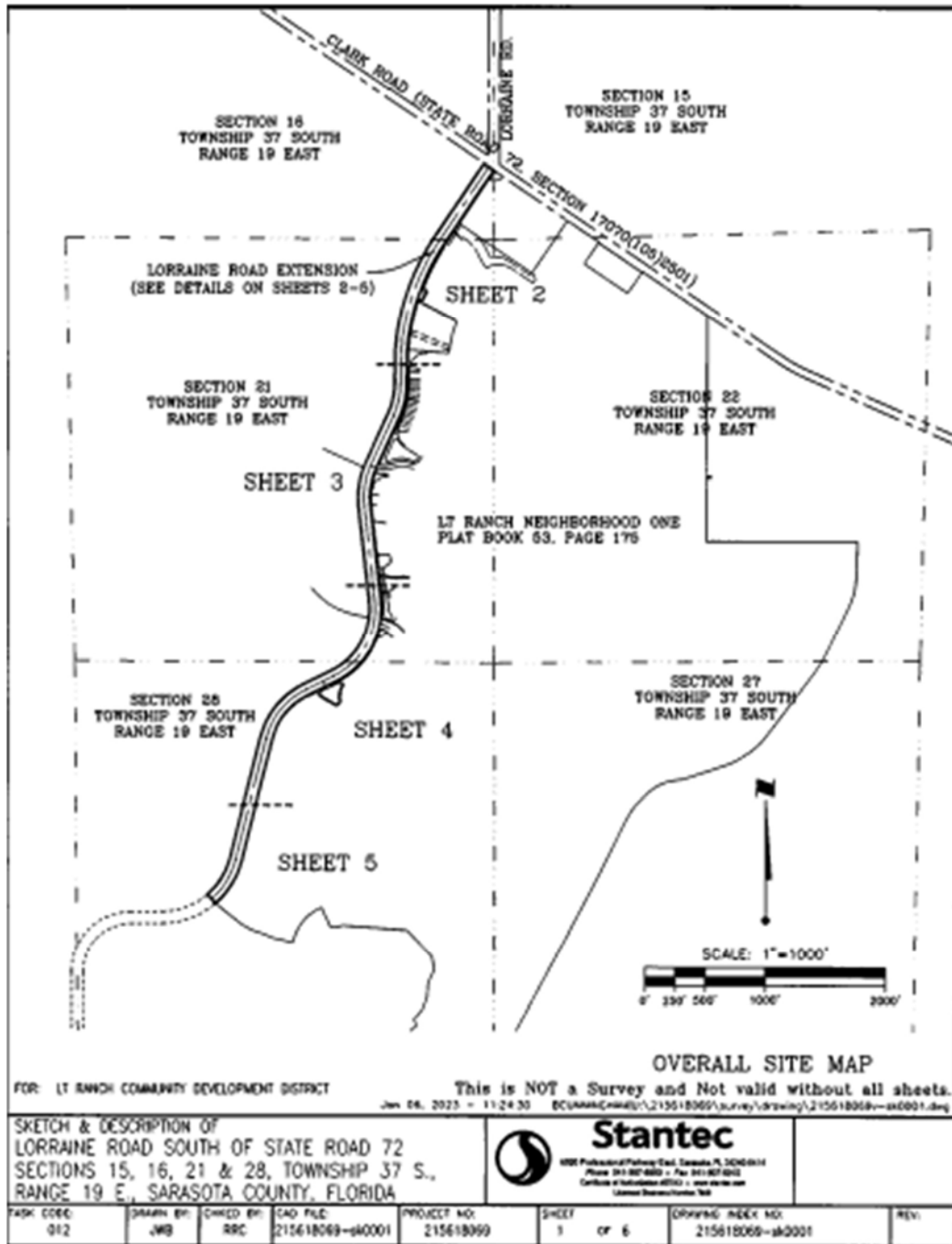
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12/5/2023 10:50:50 AM



EXHIBIT B
DESCRIPTION & LOCATION OF LORRAINE ROAD IMPROVEMENTS

Real Property:

That certain portion of Lorraine Road, also known as Tract 101, as identified in LT Ranch Neighborhood One, recorded at Plat Book 53, Pages 175 – 224, of the Official Records of Sarasota County, Florida, and further depicted below:



Tangible Property:

Landscape Improvements – All landscape, including but not limited to plants, trees, timber, shrubbery, and other landscaping and plantings; and

Irrigation Improvements - All irrigation systems, including but not limited to wells, pumps, pipes, structures, fittings, valves, spray heads and related system components; and

Hardscape Improvements – All walls and fence improvements, and monument signs,; and

Roadway Improvements - All public roads, pavement, curbing, streetlights, and other physical improvements; and

Stormwater & Drainage Improvements - All drainage and surface water management systems, including but not limited to sod, surface water control structures, curb and gutter, and pipes.

EXHIBIT C
DESCRIPTION & LOCATION OF AMENITY IMPROVEMENTS

Real Property:

Tract 502 (Future Development Area, Park CP-1) and Tract 503 (Future Development Area, Park CP-1, Pond BB1, Pond CC1, Pond DD1 and Pond EE1), as identified in LT Ranch Neighborhood One, recorded at Plat Book 53, Pages 175 – 224, of the Official Records of Sarasota County, Florida.

Tangible Property:

Stormwater & Drainage Improvements - All drainage and surface water management systems, including but not limited to sod, surface water control structures, curb and gutter, and pipes; and

Irrigation Improvements - All irrigation systems, including but not limited to wells, pumps, pipes, structures, fittings, valves, spray heads and related system components; and

Recreation Improvements – Playground with children’s playhouse, snack shack with two restrooms, one fishing pier, basketball court, tennis courts, baseball fields, soccer fields, volleyball court, guard gate, dog park and chain-link fencing.

LT RANCH COMMUNITY DEVELOPMENT DISTRICT

Monthly Asset Manager's Report
May 2024

Prepared For:
James Ward
District Manager

Prepared By:



Calvin, Giordano & Associates, Inc.

A SAFEbuilt® COMPANY

CGA Project No. 20-4050
June 1, 2024

**LT RANCH COMMUNITY DEVELOPMENT
DISTRICT**

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I. PURPOSE

The purpose of this report is to provide the District Manager with an update on recent inspection-related activities. We will continue to provide updated monthly inspection reports on the status of ongoing field activities.

II. CURRENT ASSET UPDATES

1. Landscaping
2. Lake Maintenance
3. Amenity Maintenance
4. Corrective Actions

1. Landscaping

- Shell path was trimmed of any low hanging branches and treated with weed killer.
- Several shrubs were replaced along Lorraine Boulevard due to the existing die offs.
- Weeds continue to be an issue in the turf of Lorraine Blvd.
- Few areas along Lorraine Blvd are drying out due to the construction crews hitting an irrigation line.
- All muhly grasses were trimmed.
- Vendor planted new annuals, on May 17th.
- New turf was installed in the playground area.
- More sand was added to the sandbox in the playground area.
- All shrubs and plantings were trimmed May 21st.
- New rock shell was placed on the preserve trail.



Turf installed on playground.



New annuals installed.



Japanese blueberry trees installed along tennis courts.



Turf installed in playground.



Fields aerated and top dressed.

2. Lake Maintenance

- There continues to be large amounts of algae treatments. However, the lakes have far less density than the month prior.
- Lake GG1 has had some extra attention this month. It was treated with SONAR for slender spike rush and the decay of the submersed vegetation has caused significant algae growth.
- Algae growth is to be expected this time of year as the days are longer and the waters are warming up.
- All Azola and Duckweed treatments from previous months were 100% successful.
- Shoreline grasses and broadleaf weeds continue to be in good control. We will continue to touch-up as needed.
- Reclaim water is scarce and having a hard time recharging the lakes in a timely manner.
- There continues to be large amounts of algae treatments. Vendor has begun to apply beneficial bacteria to recurring lakes in hopes of reducing growth. It can take up to six months to see results from this method.
- Azolla & Duckweed has been effectively sprayed out in lakes C2, K1, and K2.
- Reclaim water is scarce and having a hard time recharging the lakes in a timely manner.



Reclaim water.

3. Amenity Maintenance

- Dog park - Dog waste stations are serviced 3 times a week. Park is walked 5 days a week picking up any trash and filling any holes with sand. Sand in the holes in the small dog park seem to help keep them from digging. Giant hole in large dog park must be filled daily. Few ant piles in dog parks were treated with granule ant killer. New grass will be placed inside dog park early June. Purchase order was issued for a 12x12 cantilever shade structure.
- Playground - Playground is blown off and trash picked up Monday-Friday. Scott and his team were taking care of the water issue on the playground. Spraying for wasps' multiple times a week. New sod was installed and graded inside the playground area. More sand was placed inside the sandbox area in the playground. Pipe has been installed for new water fountain for the playground.
- Baseball/Soccer fields - Fields are walked Monday-Friday to pick up trash and move back benches and nets that are moved. Weeds sprayed on baseball infield. Football field painted on one of the soccer fields for flag football. Few ant piles returning to fields. Put granule ant killer on them. Aeration was completed to all grass along with a top dressing. Will start to see results in a week or two.
- Basketball/Tennis courts - Courts are blown off Monday-Friday. Trash can was installed by basketball court. Had some vandalism of the pickleball nets. Some new center rods and backup nets ordered. New Japanese blueberry trees planted alongside the tennis courts.
- Volleyball court - Volleyball court is raked Monday-Friday. Weeds were sprayed around perimeter of court. Net was sprayed and cleaned off. New sand was put into the court and continues to be cleaned.
- Snack Shack/Dock - Snack shack is blown off Monday-Friday and trash picked up. Snack Shack is cleaned 7 days a week. Dock is being checked daily and being cleaned as needed. Bathrooms are being unlocked every morning between 7-7:30 and locked around dusk. New picnic benches (8) were ordered and shipped on May 17th.
- Well Area- Inserted a pole on the path to eliminate golf carts driving thru the tight opening and contacting the gate. Vendor placed a lock on the electrical panel so the well would not be turned off.
- Bathrooms- Bathrooms were vandalized on May 18th. Mirror was taken off the wall and shattered, plumbing was ripped out of wall, paper towels and toilet paper thrown all over the bathroom. Police report was filed via the CDD. Will update if applicable.



New sand in volleyball court.



New barrier placed along path.

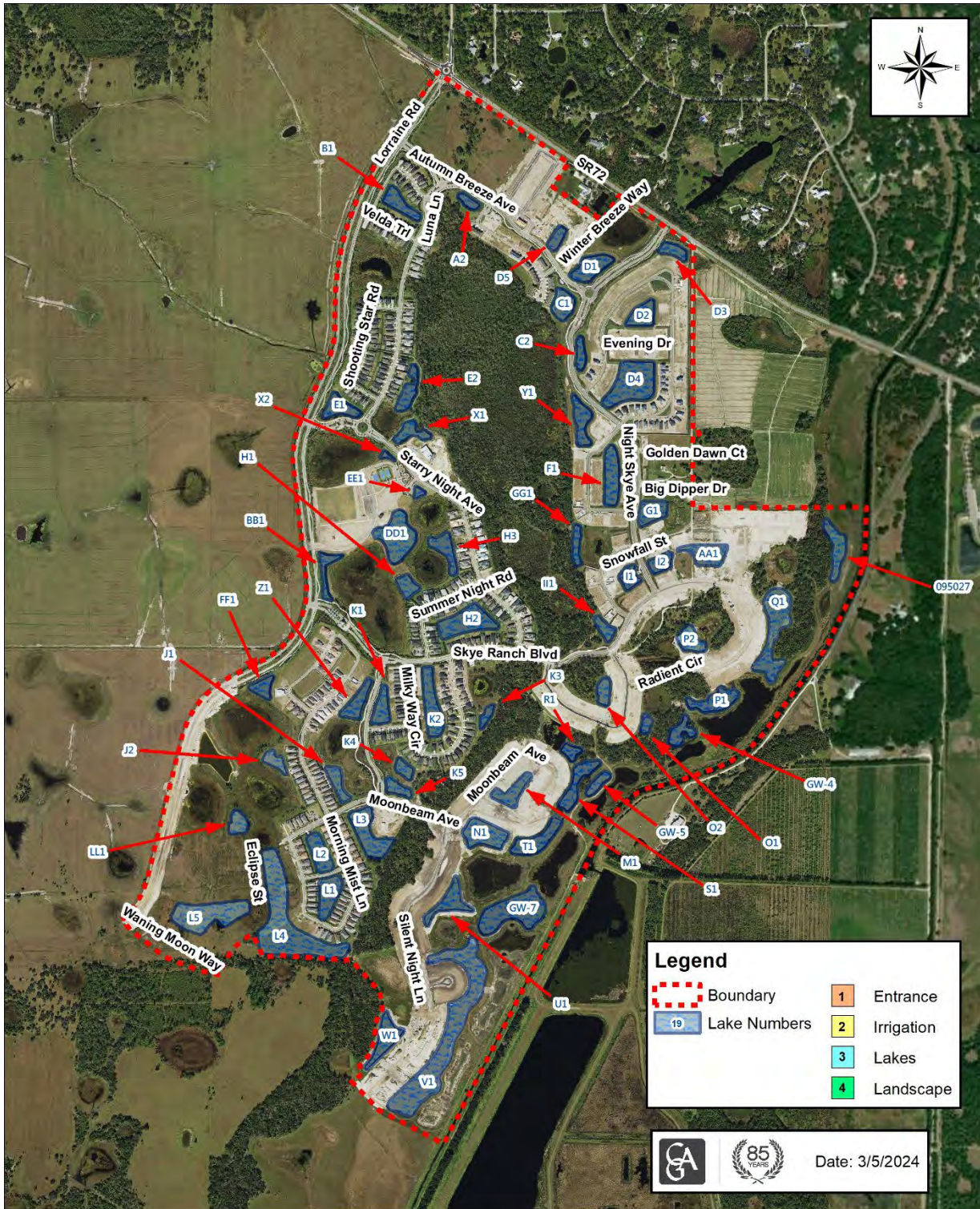


Pipe stubbed out for water fountain.

4. Corrective Actions

- Weeds in the landscape bed on Lorriane Blvd., continue to be an issue, CDD staff is staying on top of the vendor to ensure the weeds are taken care of on a weekly basis.
- Lake vendor had some algae problems this month, CDD staff noted and requested additional treatments to stay on top of the aquatic maintenance.
- Holes in the dog park continue to be an issue and the City staff is working closely with the landscape vendor to ensure the holes are filled in a timely manner.
- Wifi will be installed in Turner Park to allow a striker lock to be installed to lock the gates at dusk and open at dawn.
- New grass will be installed in dog park mid-June.
- Landscape vendor will be installing new annuals throughout the monument boxes.

III. LOCATION MAP



LT Ranch CDD - Engineer's Report Asset Map



Calvin, Giordano & Associates, Inc.

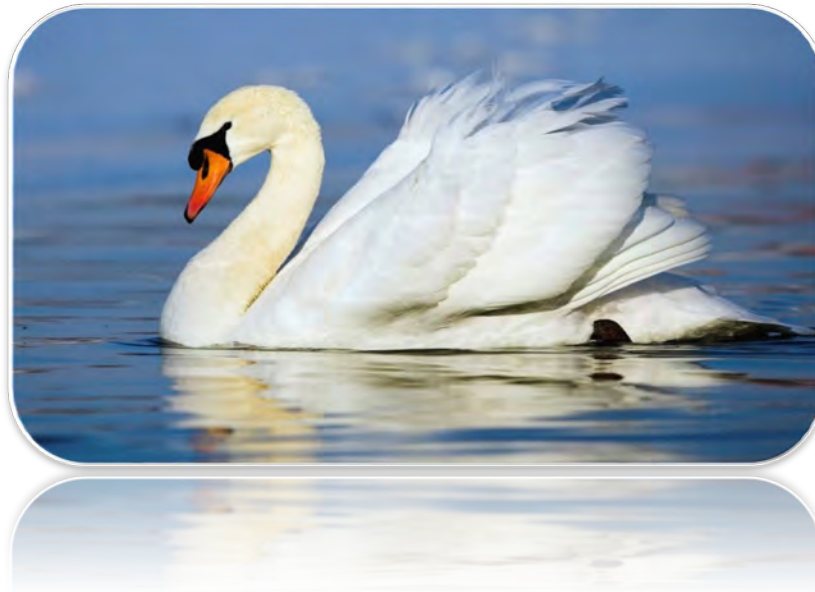
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Certificate of Authorization #514

LT RANCH COMMUNITY DEVELOPMENT DISTRICT



FINANCIAL STATEMENTS - APRIL 2024

FISCAL YEAR 2024

PREPARED BY:

JPWARD & ASSOCIATES, LLC, 2301 NORTHEAST 37TH STREET, FORT LAUDERDALE, FL 33308

T: 954-658-4900 E: JimWard@JPWardAssociates.com

LT Ranch Community Development District

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***The September 30, 2024 Financial Statements are
Subject to Audit.***

JPWard & Associates, LLC

2301 NORTHEAST 37 STREET
FORT LAUDERDALE,
FLORIDA 33308

**LT Ranch Community Development District
Balance Sheet
for the Period Ending April 30, 2024**

	Governmental Funds								Account Groups		Totals (Memorandum Only)
	Debt Service Funds			Capital Project Funds					General Long	General Fixed	
	General Fund	Series 2019	Series 2022-1	Series 2022-2	Series 2019	Series 2022-1	Series 2022-2	Lorraine Road	Term Debt	Assets	
Assets											
Cash and Investments											
General Fund - Invested Cash	\$ 1,403,231	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,403,231	
Debt Service Fund											
Interest Account	-	-	-	-	-	-	-	-	-	-	
Sinking Account	-	-	-	-	-	-	-	-	-	-	
Reserve Account	-	476,850	85,090	459,173	-	-	-	-	-	1,021,113	
Revenue Account	-	1,135,187	176,044	938,793	-	-	-	-	-	2,250,024	
Capitalized Interest	-	-	7,176	26,351	-	-	-	-	-	33,527	
Prepayment Account	-	27,468	-	-	-	-	-	-	-	27,468	
Construction Account	-	-	-	-	394	9	22,567	-	-	22,970	
Cost of Issuance Account	-	-	-	-	-	-	-	-	-	-	
Due from Other Funds											
General Fund	-	20,024	3,672	19,326	-	-	-	-	-	43,022	
Debt Service Fund(s)	-	-	-	-	-	-	-	-	-	-	
Due from Capital Projects Fund	-	-	-	-	-	-	-	-	-	-	
Other Assets - Current											
Other Assets - Non-Current	387	-	-	-	-	-	-	-	-	387	
Prepaid Expenses	-	-	-	-	-	-	-	-	-	-	
Unamortized Prem/Discount on Bonds Payable	-	-	-	-	-	19,747	61,353	-	-	81,100	
Amount Available in Debt Service Funds	-	-	-	-	-	-	-	-	3,375,154	3,375,154	
Amount to be Provided by Debt Service Funds	-	-	-	-	-	-	-	-	28,044,847	28,044,847	
Investment in General Fixed Assets (net of depreciation)	-	-	-	-	-	-	-	-	13,954,303	13,954,303	
Total Assets	\$ 1,403,618	\$ 1,659,528	\$ 271,982	\$ 1,443,643	\$ 394	\$ 19,756	\$ 83,920	\$ -	\$ 31,420,000	\$ 50,257,145	
Liabilities											
Accounts Payable & Payroll Liabilities											
Due to Developer	6,480	-	-	-	-	-	-	-	-	6,480	
Due to Other Funds											
General Fund	-	-	-	-	-	-	-	-	-	-	
Debt Service Fund(s)	43,022	-	-	-	-	-	-	-	-	43,022	
Bonds Payable											
Current Portion											
Series 2019	-	-	-	-	-	-	-	-	370,000	370,000	
Series 2022-1	-	-	-	-	-	-	-	-	30,000	30,000	
Series 2022-2	-	-	-	-	-	-	-	-	185,000	185,000	
Long Term											
Series 2019	-	-	-	-	-	-	-	-	15,390,000	15,390,000	
Series 2022-1	-	-	-	-	-	-	-	-	2,350,000	2,350,000	
Series 2022-2	-	-	-	-	-	-	-	-	13,095,000	13,095,000	
Unamortized Prem or (Disc) on Bds Pybl	-	-	-	-	54,012	-	-	-	-	54,012	
Total Liabilities	\$ 49,502	\$ -	\$ -	\$ -	\$ 54,012	\$ -	\$ -	\$ -	\$ 31,420,000	\$ 31,523,513	
Fund Equity and Other Credits											
Investment in General Fixed Assets	-	-	-	-	-	-	-	-	13,954,303	13,954,303	
Fund Balance											
Restricted											
Beginning: October 1, 2023 (Unaudited)	-	927,893	157,440	847,026	(53,630)	19,756	83,236	-	-	1,981,721	
Results from Current Operations	-	731,635	114,542	596,617	12	-	684	-	-	1,443,490	
Unassigned											
Beginning: October 1, 2023 (Unaudited)	1	-	-	-	-	-	-	-	-	1	
Results from Current Operations	1,354,116	-	-	-	-	-	-	-	-	1,354,116	
Total Fund Equity and Other Credits	\$ 1,354,117	\$ 1,659,528	\$ 271,982	\$ 1,443,643	\$ (53,618)	\$ 19,756	\$ 83,920	\$ -	\$ -	\$ 18,733,631	
Total Liabilities, Fund Equity and Other Credits	\$ 1,403,618	\$ 1,659,528	\$ 271,982	\$ 1,443,643	\$ 394	\$ 19,756	\$ 83,920	\$ -	\$ 31,420,000	\$ 50,257,144	

LT Ranch Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through April 30, 2024

Description	October	November	December	January	February	March	April	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources										
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ (189,901)	0%
Interest										
Interest - General Checking	-	-	-	-	-	-	-	-	-	N/A
Special Assessment Revenue										
Special Assessments - On-Roll	-	356,860	356,603	97,872	830,312	9,591	34,439	1,685,677	2,940,695	57%
Special Assessments - Off-Roll	-	-	-	-	-	-	-	-	-	N/A
Contributions Private Sources										
TM - Lorraine Rd Widening	-	-	-	-	-	-	-	-	-	N/A
Taylor Morrison	162,626	250,000	-	-	-	-	-	412,626	-	N/A
Note Proceeds										
Developer Funding for Carryforward	-	-	-	-	-	-	-	-	-	N/A
Developer Funding - Initial Reserve	-	-	-	-	-	-	-	-	-	N/A
Intragovernmental Transfer In	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 162,626	\$ 606,860	\$ 356,603	\$ 97,872	\$ 830,312	\$ 9,591	\$ 34,439	\$ 2,098,303	\$ 2,750,794	76%
Expenditures and Other Uses										
Executive										
Professional Management	3,750	3,750	3,750	3,750	3,750	3,750	3,750	26,250	45,000	58%
Financial and Administrative										
Audit Services	-	-	1,000	4,800	-	-	-	5,800	4,400	132%
Accounting Services	2,250	2,250	2,250	2,250	2,250	2,250	2,250	15,750	27,000	58%
Assessment Roll Services	2,125	2,125	2,125	2,125	2,125	2,125	2,125	14,875	25,500	58%
Arbitrage Rebate Services	-	-	-	-	500	500	500	1,500	500	300%
Other Contractual Services										
Legal Advertising	-	-	-	-	-	-	-	-	2,000	0%
Trustee Services	-	-	-	12,631	-	-	-	12,631	6,695	189%
Dissemination Agent Services	-	-	-	-	-	-	3,000	3,000	5,000	60%
Bond Amortization Schedules	-	-	-	-	-	-	100	100	-	N/A
Property Appraiser Fees	-	-	-	-	-	-	-	-	-	N/A
Bank Service Fees	51	95	9	-	104	-	-	259	250	104%
Communications & Freight Services										
Postage, Freight & Messenger	-	-	-	-	-	-	11	11	200	5%
Computer Services - Website Development										
	-	-	-	-	-	300	-	300	2,000	15%
Insurance										
	68,694	-	-	-	-	-	-	68,694	10,000	687%
Printing & Binding										
	-	-	-	-	-	-	-	-	600	0%
Subscription & Memberships										
	-	175	-	-	-	-	-	175	175	100%
Rentals										
	-	-	-	-	-	-	-	-	-	N/A
Legal Services										
Legal - General Counsel	-	-	4,351	-	1,382	-	-	5,733	7,500	76%
Legal - Series 2019 Bonds	-	-	-	-	-	-	-	-	-	N/A
Legal - Series 2022-1 Bonds	-	-	-	-	-	-	-	-	-	N/A
Legal - Series 2022-2 Bonds	-	-	-	-	-	-	-	-	-	N/A
Other General Government Services										
Engineering/ Field Services	-	1,890	-	-	255	4,241	9,206	15,592	7,500	208%
Stormwater Needs Analysis	-	-	-	-	-	-	-	-	-	N/A
TM - Lorraine Rd Widening	-	-	-	-	-	-	-	-	-	N/A
NPDES	-	-	-	-	-	-	-	-	-	N/A
Contingencies	-	-	-	-	-	-	-	-	-	N/A
Other Current Charges	-	-	-	-	-	-	-	-	-	N/A
Emergency & Disaster Relief Services										
Hurricane Ian	-	-	-	-	-	-	-	-	-	N/A

LT Ranch Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through April 30, 2024

Description	October	November	December	January	February	March	April	Year to Date	Total Annual Budget	% of Budget
Conservation and Resource MGMT										
Re-Use System										
Utility Services										
Re-Use Water (Sarasota County)	-	2,856	4,072	-	3,046	1,486	3,466	14,927	23,400	64%
Repairs and Maintenance										
Irrigation System (Line Distribution)	-	-	-	370	-	-	-	370	7,000	5%
Irrigation System (Pump Station)	-	2,630	-	1,144	-	-	-	3,774	14,000	27%
Stormwater Management Services										
Lake, Lake Bank and Littoral Shelf Maintenance										
Professional Services										
Asset Management	-	2,333	2,333	2,333	2,333	2,333	2,333	14,000	28,000	50%
Repairs and Maintenance										
Aquatic Weed Control	-	-	12,999	4,333	4,333	5,333	4,333	31,331	54,000	58%
Littoral Shelf - Invasive Plant Control	-	-	-	-	-	-	-	-	12,800	0%
Lake Bank Maintenance	-	-	-	-	-	-	-	-	18,000	0%
Detention Area Maintenance	-	-	-	-	925	-	-	925	4,200	22%
Water Quality Testing	-	-	-	-	-	-	-	-	-	N/A
Littoral Shelf Planting	-	-	2,184	-	-	-	-	2,184	3,000	73%
Control Structures, Catch Basins & Outfalls	-	-	-	-	3,500	-	-	3,500	27,500	13%
Preserve Services										
Shell Path Regrading	-	-	-	-	-	-	-	-	15,000	0%
Wetland Maintenance	-	-	15,675	-	-	14,750	-	30,425	70,500	43%
Enhancement Area Maintenance	-	10,675	-	10,675	-	8,500	1,875	31,725	55,000	58%
Preserve Maintenance	-	-	-	-	-	-	-	-	-	N/A
Creation Area Maintenance	-	-	-	-	-	-	4,788	4,788	4,000	120%
Green Way Maintenance	-	-	-	-	-	2,175	4,788	6,963	20,000	35%
Contingencies	-	-	-	-	-	-	-	-	28,400	0%
Operating Supplies	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay	-	-	-	-	-	-	-	-	-	N/A
Lorraine Road Maintenance										
Professional Services										
Asset Management	-	1,042	1,042	1,042	1,042	1,042	1,042	6,250	12,500	50%
SWFWMD Reporting Re-use System	-	-	-	-	-	-	-	-	3,000	0%
Utility Services										
Electric - Street Lights	751	738	776	844	860	733	696	5,397	12,600	43%
Irrigation Water	968	-	-	-	-	-	-	968	16,140	6%
Repairs and Maintenance										
Landscape Maintenance										
Periodic Maintenance	-	54,829	-	13,867	55,219	-	22,899	146,814	290,000	51%
Pressure Cleaning	-	-	-	-	1,125	-	-	1,125	20,000	6%
Frost Damage	-	-	-	-	-	-	-	-	-	N/A
Vehicular Damage	-	272	252	367	340	-	-	1,231	26,000	5%
Tree Trimming	-	-	-	-	15,363	-	-	15,363	13,000	118%
Landscape Replacements	-	-	-	-	5,532	-	-	5,532	24,000	23%
Mulch Installation	-	-	18,495	5,983	-	-	-	24,478	44,000	56%
Annuals	-	-	1,523	3,098	1,523	9,270	-	15,413	19,000	81%
Roadway Lighting	-	-	-	-	-	-	-	-	8,000	0%
Landscape Lighting	-	-	-	-	-	-	-	-	-	N/A
Fountain Services	-	-	-	-	-	-	-	-	-	N/A
Irrigation Repairs	-	-	1,135	-	-	-	650	1,785	-	N/A
Irrigation System - Line Distrib	-	-	-	-	-	-	-	-	-	N/A
Irrigation System - Pump Station	-	-	-	-	-	-	-	-	-	N/A
Contingencies	1,250	-	1,480	-	-	-	-	2,730	54,300	5%
Operating Supplies	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay	-	-	-	-	-	-	-	-	-	N/A
Contingencies	-	1,375	-	-	-	-	300	1,675	-	N/A

LT Ranch Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through April 30, 2024

Description	October	November	December	January	February	March	April	Year to Date	Total Annual Budget	% of Budget
Skye Ranch Rd, Lattimer, Luna Ln Maintenance										
Periodic Maintenance	-	16,419	-	8,209	16,419	-	8,209	49,256	99,000	50%
Community Park										
Professional Services										
Asset Management	-	1,292	1,292	1,292	1,292	1,292	1,292	7,750	15,500	50%
Park Staffing	-	3,333	3,333	3,333	3,333	3,333	3,333	20,000	40,000	50%
Utility Services										
Electric	-	-	-	-	-	-	-	-	4,000	0%
Water and Sewer	-	-	-	-	-	-	-	-	-	N/A
Repairs and Maintenance										
Sand Replacement	-	-	-	-	-	400	-	400	9,000	4%
Janitorial	4,120	4,120	4,910	-	4,180	3,980	3,980	25,290	33,000	77%
Landscape Maintenance	-	-	-	-	-	-	-	-	-	N/A
Floritam Grass Areas	-	4,302	-	4,776	14,802	-	4,776	28,657	42,000	68%
Tree Trimming	-	-	-	-	-	-	-	-	-	N/A
Bermuda Grass Area										
Mowing Area	-	-	-	3,150	12,600	-	3,150	18,900	75,600	25%
Agronomic Scope	-	-	-	3,520	14,080	-	3,520	21,120	42,240	50%
Aeration/Venticutting	-	-	-	-	-	-	-	-	22,000	0%
Topdressing	-	-	-	-	-	-	-	-	10,100	0%
Rye Seeding	-	-	-	-	5,200	-	-	5,200	12,000	43%
Bahai Maintenance										
Mowing/Edging and Weedeating	-	3,501	-	1,750	3,501	-	1,750	10,503	9,000	117%
Bed Maintenance Services	-	-	-	-	-	-	-	-	8,000	0%
Landscape Replacements	-	-	-	-	-	-	-	-	8,000	0%
Maintenance Amenity Center	-	-	-	-	-	-	-	-	12,000	0%
Mulch Installation	-	-	365	-	-	-	-	365	14,000	3%
Irrigation System - Wet Checks	-	-	-	500	2,000	-	500	3,000	11,400	26%
Snack Shack										
Utility Services										
Electric	-	-	-	-	-	-	-	-	5,000	0%
Water and Sewer	-	201	162	143	141	135	146	929	7,000	13%
Building Maintenance	-	-	-	-	-	-	-	-	2,000	0%
Miscellaneous Repairs	-	3,838	175	-	-	-	-	4,013	3,000	134%
Playground										
Miscellaneous Repairs	-	2,810	-	-	749	141	-	3,700	7,000	53%
Dog Park										
Miscellaneous Repairs	-	-	-	665	-	-	-	665	2,400	28%
Outdoor Sport Courts										
Miscellaneous Repairs	-	-	-	-	-	-	100	100	2,800	4%
Outdoor Sports Fields - Other	-	-	-	-	-	-	-	-	7,400	0%
Hurricane Repairs	-	-	-	-	-	-	-	-	-	N/A
Contingencies	-	-	-	-	-	-	-	-	66,588	0%
Reserves										
Operational Reserve (Future Years)	-	-	-	-	-	-	-	-	250,000	N/A
Other Financing Uses										
Note Payable-TM to Fund FY 2022 Operations	-	-	-	-	-	-	-	-	679,147	N/A
Other Fees and Charges										
Discounts/Collection Fees	-	-	-	-	-	-	-	-	179,959	N/A
Sub-Total:	83,959	126,851	85,686	96,951	183,803	68,069	98,867	744,187	2,750,794	27%
Total Expenditures and Other Uses:	\$ 83,959	\$ 126,851	\$ 85,686	\$ 96,951	\$ 183,803	\$ 68,069	\$ 98,867	\$ 744,187	\$ 2,750,794	27%
Net Increase/ (Decrease) in Fund Balance	78,667	480,008	270,916	921	646,509	(58,478)	(64,428)	1,354,116	-	
Fund Balance - Beginning	1	78,668	558,677	829,593	830,514	1,477,023	1,418,545	1	-	
Fund Balance - Ending	\$ 78,668	\$ 558,677	\$ 829,593	\$ 830,514	\$ 1,477,023	\$ 1,418,545	\$ 1,354,117	\$ 1,354,117	\$ -	

LT Ranch Community Development District
Debt Service Fund - Series 2019
Statement of Revenues, Expenditures and Changes in Fund Balance
Through April 30, 2024

Description	October	November	December	January	February	March	April	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources										
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Interest Income										
Interest Account	-	-	-	-	-	-	-	-	-	N/A
Sinking Fund Account	-	-	-	-	-	-	-	-	-	N/A
Reserve Account	2,097	2,167	2,082	2,140	2,120	1,984	2,121	14,711	-	N/A
Prepayment Account	-	-	-	-	-	-	-	-	-	N/A
Revenue Account	1,968	2,067	684	1,472	2,282	2,605	4,094	15,173	-	N/A
Capitalized Interest Account	-	-	-	-	-	-	-	-	-	N/A
Special Assessments - Prepayments										
Special Assessments - On Roll	-	207,486	207,336	56,905	482,762	5,576	20,024	980,089	1,021,209	96%
Special Assessments - Off Roll	-	-	-	-	-	-	-	-	-	N/A
Special Assessments - Prepayments	-	-	-	-	-	27,468	-	27,468	-	N/A
Debt Proceeds										
Intragovernmental Transfer In	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 4,065	\$ 211,720	\$ 210,102	\$ 60,517	\$ 487,164	\$ 37,633	\$ 26,239	\$ 1,037,440	\$ 1,021,209	102%
Expenditures and Other Uses										
Debt Service										
Principal Debt Service - Mandatory										
Series 2019	-	-	-	-	-	-	-	-	345,000	0%
Principal Debt Service - Early Redemptions										
Series 2019	-	-	-	-	-	-	-	-	-	N/A
Interest Expense										
Series 2019	-	305,805	-	-	-	-	-	305,805	611,610	50%
Operating Transfers Out (To Other Funds)										
Other Fees and Charges	-	-	-	-	-	-	-	-	-	N/A
Discounts for Early Payment	-	-	-	-	-	-	-	-	66,812	0%
Total Expenditures and Other Uses:	\$ -	\$ 305,805	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 305,805	\$ 1,023,422	30%
Net Increase/ (Decrease) in Fund Balance	4,065	(94,085)	210,102	60,517	487,164	37,633	26,239	731,635	(2,213)	
Fund Balance - Beginning	927,893	931,958	837,873	1,047,975	1,108,492	1,595,656	1,633,289	927,893	-	
Fund Balance - Ending	\$ 931,958	\$ 837,873	\$ 1,047,975	\$ 1,108,492	\$ 1,595,656	\$ 1,633,289	\$ 1,659,528	\$ 1,659,528	\$ (2,213)	

LT Ranch Community Development District
Debt Service Fund - Series 2022-1
Statement of Revenues, Expenditures and Changes in Fund Balance
Through April 30, 2024

Description	October	November	December	January	February	March	April	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources										
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 68,579.00	0%
Interest Income										
Interest Account	-	-	-	-	-	-	-	-	-	N/A
Sinking Fund Account	-	-	-	-	-	-	-	-	-	N/A
Reserve Account	374	387	372	382	378	354	379	2,625	-	N/A
Prepayment Account	-	-	-	-	-	-	-	-	-	N/A
Revenue Account	-	-	-	-	-	-	1	1	-	N/A
Capitalized Interest Account	318	332	22	25	26	27	30	780	-	N/A
Special Assessments - Prepayments										
Special Assessments - On Roll	-	38,046	38,018	10,434	88,522	1,023	3,672	179,715	183,003	98%
Special Assessments - Off Roll	-	-	-	-	-	-	-	-	-	N/A
Special Assessments - Prepayments	-	-	-	-	-	-	-	-	-	N/A
Debt Proceeds										
Intragovernmental Transfer In	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 692	\$ 38,764	\$ 38,412	\$ 10,841	\$ 88,927	\$ 1,403	\$ 4,081	\$ 183,121	\$ 251,582	73%
Expenditures and Other Uses										
Debt Service										
Principal Debt Service - Mandatory										
Series 2022-1	-	-	-	-	-	-	-	-	30,000	0%
Principal Debt Service - Early Redemptions										
Series 2022-1	-	-	-	-	-	-	-	-	-	N/A
Interest Expense										
Series 2022-1	-	68,579	-	-	-	-	-	68,579	137,158	50%
Operating Transfers Out (To Other Funds)										
Other Fees and Charges	-	-	-	-	-	-	-	-	-	N/A
Discounts for Early Payment	-	-	-	-	-	-	-	-	8,078	0%
Total Expenditures and Other Uses:	\$ -	\$ 68,579	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 68,579	\$ 175,236	39%
Net Increase/ (Decrease) in Fund Balance	692	(29,815)	38,412	10,841	88,927	1,403	4,081	114,542	76,346	
Fund Balance - Beginning	157,440	158,132	128,317	166,730	177,571	266,497	267,900	157,440	-	
Fund Balance - Ending	\$ 158,132	\$ 128,317	\$ 166,730	\$ 177,571	\$ 266,497	\$ 267,900	\$ 271,982	\$ 271,982	\$ 76,346	

LT Ranch Community Development District
Debt Service Fund - Series 2022-2
Statement of Revenues, Expenditures and Changes in Fund Balance
Through April 30, 2024

Description	October	November	December	January	February	March	April	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources										
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 367,573	0%
Interest Income										
Interest Account	-	-	-	-	-	-	-	-	-	N/A
Sinking Fund Account	-	-	-	-	-	-	-	-	-	N/A
Reserve Account	2,019	2,087	2,005	2,060	2,042	1,910	2,043	14,166	-	N/A
Prepayment Account	-	-	-	-	-	-	-	-	-	N/A
Revenue Account	-	-	-	1	1	2	3	7	-	N/A
Capitalized Interest Account	1,703	1,778	112	116	116	109	117	4,051	-	N/A
Special Assessments - Prepayments										
Special Assessments - On Roll	-	200,262	200,118	54,924	465,954	5,382	19,326	945,966	987,516	96%
Special Assessments - Off Roll	-	-	-	-	-	-	-	-	-	N/A
Special Assessments - Prepayments	-	-	-	-	-	-	-	-	-	N/A
Debt Proceeds										
Intragovernmental Transfer In	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 3,722	\$ 204,127	\$ 202,235	\$ 57,101	\$ 468,113	\$ 7,403	\$ 21,489	\$ 964,190	\$ 1,355,089	71%
Expenditures and Other Uses										
Debt Service										
Principal Debt Service - Mandatory										
Series 2022-2	-	-	-	-	-	-	-	-	185,000	0%
Principal Debt Service - Early Redemptions										
Series 2022-2	-	-	-	-	-	-	-	-	-	N/A
Interest Expense										
Series 2022-2	-	367,573	-	-	-	-	-	367,573	735,145	50%
Operating Transfers Out (To Other Funds)										
Other Fees and Charges	-	-	-	-	-	-	-	-	-	N/A
Discounts for Early Payment	-	-	-	-	-	-	-	-	65,832	0%
Total Expenditures and Other Uses:	\$ -	\$ 367,573	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 367,573	\$ 985,977	37%
Net Increase/ (Decrease) in Fund Balance	3,722	(163,445)	202,235	57,101	468,113	7,403	21,489	596,617	369,112	
Fund Balance - Beginning	847,026	850,749	687,303	889,538	946,639	1,414,752	1,422,155	847,026	-	
Fund Balance - Ending	\$ 850,749	\$ 687,303	\$ 889,538	\$ 946,639	\$ 1,414,752	\$ 1,422,155	\$ 1,443,643	\$ 1,443,643	\$ 369,112	

LT Ranch Community Development District
Capital Projects Fund - Series 2019
Statement of Revenues, Expenditures and Changes in Fund Balance
Through April 30, 2024

Description	October	November	December	January	February	March	April	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources										
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Interest Income										
Construction Account	2	2	2	2	2	2	2	12	-	N/A
Cost of Issuance	-	-	-	-	-	-	-	-	-	N/A
Debt Proceeds										
-	-	-	-	-	-	-	-	-	-	N/A
Developer Contributions										
-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers In (From Other Funds)										
-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 12	\$ -	N/A
Expenditures and Other Uses										
Executive										
Professional Management	-	-	-	-	-	-	-	-	-	N/A
Other Contractual Services										
Trustee Services	-	-	-	-	-	-	-	-	-	N/A
Printing & Binding										
-	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay										
Water-Sewer Combination	-	-	-	-	-	-	-	-	-	N/A
Stormwater Management	-	-	-	-	-	-	-	-	-	N/A
Landscaping	-	-	-	-	-	-	-	-	-	N/A
Roadway Improvement	-	-	-	-	-	-	-	-	-	N/A
Cost of Issuance										
Legal - Series 2019 Bonds	-	-	-	-	-	-	-	-	-	N/A
Underwriter's Discount										
-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers Out (To Other Funds)										
-	-	-	-	-	-	-	-	-	-	N/A
Total Expenditures and Other Uses:	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Net Increase/ (Decrease) in Fund Balance	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 12	\$ -	
Fund Balance - Beginning	\$ (53,630)	\$ (53,628)	\$ 703,572	\$ 703,573	\$ 703,575	\$ 703,577	\$ 703,578	\$ (53,630)	\$ -	
Fund Balance - Ending	\$ (53,628)	\$ (53,626)	\$ 703,573	\$ 703,575	\$ 703,577	\$ 703,578	\$ 703,580	\$ (53,618)	\$ -	

LT Ranch Community Development District
Capital Projects Fund - Series 2022-1
Statement of Revenues, Expenditures and Changes in Fund Balance
Through April 30, 2024

Description	October	November	December	January	February	March	April	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources										
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Interest Income										
Construction Account	-	-	-	-	-	-	-	-	-	N/A
Cost of Issuance	-	-	-	-	-	-	-	-	-	N/A
Debt Proceeds										
-	-	-	-	-	-	-	-	-	-	N/A
Developer Contributions										
-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers In (From Other Funds)										
-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Expenditures and Other Uses										
Executive										
Professional Management	-	-	-	-	-	-	-	-	-	N/A
Other Contractual Services										
Trustee Services	-	-	-	-	-	-	-	-	-	N/A
Printing & Binding										
-	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay										
Water-Sewer Combination	-	-	-	-	-	-	-	-	-	N/A
Stormwater Management	-	-	-	-	-	-	-	-	-	N/A
Landscaping	-	-	-	-	-	-	-	-	-	N/A
Roadway Improvement	-	-	-	-	-	-	-	-	-	N/A
Cost of Issuance										
Legal - Series 2022-1 Bonds	-	-	-	-	-	-	-	-	-	N/A
Underwriter's Discount	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers Out (To Other Funds)										
-	-	-	-	-	-	-	-	-	-	N/A
Total Expenditures and Other Uses:	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Net Increase/ (Decrease) in Fund Balance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Fund Balance - Beginning	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	-
Fund Balance - Ending	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	-

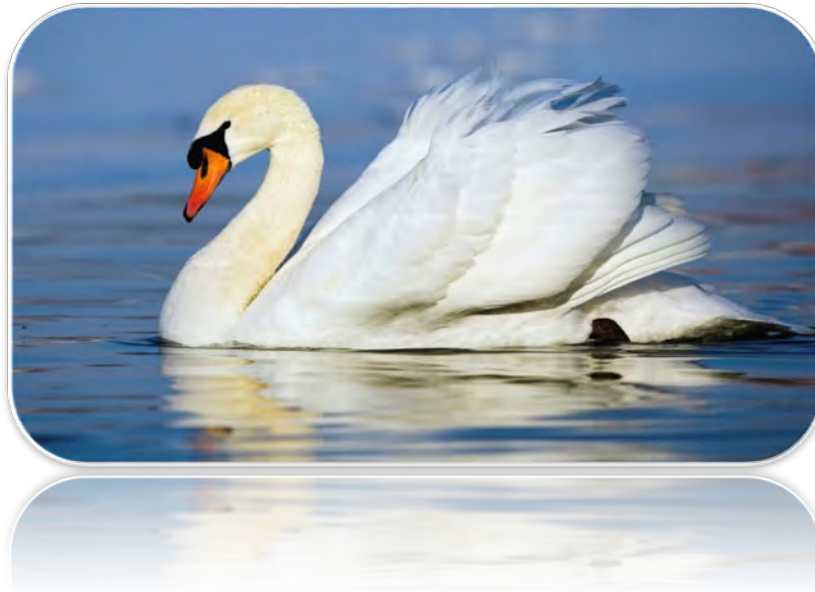
LT Ranch Community Development District
Capital Projects Fund - Series 2022-2
Statement of Revenues, Expenditures and Changes in Fund Balance
Through April 30, 2024

Description	October	November	December	January	February	March	April	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources										
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Interest Income										
Construction Account	96	100	96	99	99	93	100	684	-	N/A
Cost of Issuance	-	-	-	-	-	-	-	-	-	N/A
Debt Proceeds										
-	-	-	-	-	-	-	-	-	-	N/A
Developer Contributions										
-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers In (From Other Funds)										
-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 96	\$ 100	\$ 96	\$ 99	\$ 99	\$ 93	\$ 100	\$ 684	\$ -	N/A
Expenditures and Other Uses										
Executive										
Professional Management	-	-	-	-	-	-	-	-	-	N/A
Other Contractual Services										
Trustee Services	-	-	-	-	-	-	-	-	-	N/A
Printing & Binding										
-	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay										
Water-Sewer Combination	-	-	-	-	-	-	-	-	-	N/A
Stormwater Management	-	-	-	-	-	-	-	-	-	N/A
Landscaping	-	-	-	-	-	-	-	-	-	N/A
Roadway Improvement	-	-	-	-	-	-	-	-	-	N/A
Cost of Issuance										
Legal - Series 2022-2 Bonds	-	-	-	-	-	-	-	-	-	N/A
Underwriter's Discount	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers Out (To Other Funds)										
-	-	-	-	-	-	-	-	-	-	N/A
Total Expenditures and Other Uses:	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Net Increase/ (Decrease) in Fund Balance	\$ 96	\$ 100	\$ 96	\$ 99	\$ 99	\$ 93	\$ 100	\$ 684	\$ -	
Fund Balance - Beginning	\$ 83,236	\$ 83,332	\$ -	\$ 96	\$ 196	\$ 295	\$ 388	\$ 83,236	\$ -	
Fund Balance - Ending	\$ 83,332	\$ 83,432	\$ 96	\$ 196	\$ 295	\$ 388	\$ 488	\$ 83,920	\$ -	

LT Ranch Community Development District
 Capital Projects Fund - Lorraine Road
 Statement of Revenues, Expenditures and Changes in Fund Balance
 Through April 30, 2024

Description	October	November	December	January	February	March	April	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources										
Developer Contributions										
TM - Lorraine Rd Widening	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,129	\$ 3,129	\$ -	N/A
Total Revenue and Other Sources:	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,129	\$ 3,129	\$ -	N/A
Expenditures and Other Uses										
Professional Services										
Legal - Lorraine Rd Widening	786	-	1,513	-	-	-	-	2,299	-	N/A
Repairs & Maintenance										
Contingencies	-	830	-	-	-	-	-	830	-	-
Capital Outlay										
Engineering	-	-	-	-	-	-	-	-	-	N/A
Construction in Progress	-	-	-	-	-	-	-	-	-	N/A
Total Expenditures and Other Uses:	\$ 786	\$ 830	\$ 1,513	\$ -	\$ -	\$ -	\$ -	\$ 3,129	-	N/A
Net Increase/ (Decrease) in Fund Balance	\$ (786)	\$ (830)	\$ (1,513)	\$ -	\$ -	\$ -	\$ 3,129	\$ -	\$ -	-
Fund Balance - Beginning	\$ -	\$ (786)	\$ -	\$ (1,513)	\$ (1,513)	\$ (1,513)	\$ (1,513)	\$ -	\$ -	-
Fund Balance - Ending	\$ (786)	\$ (1,616)	\$ (1,513)	\$ (1,513)	\$ (1,513)	\$ (1,513)	\$ 1,616	\$ -	\$ -	-

LT RANCH COMMUNITY DEVELOPMENT DISTRICT



FINANCIAL STATEMENTS - MAY 2024

FISCAL YEAR 2024

PREPARED BY:

JPWARD & ASSOCIATES, LLC, 2301 NORTHEAST 37TH STREET, FORT LAUDERDALE, FL 33308

T: 954-658-4900 E: JimWard@JPWardAssociates.com

LT Ranch Community Development District

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JPWard & Associates, LLC

2301 NORTHEAST 37 STREET
FORT LAUDERDALE,
FLORIDA 33308

LT Ranch Community Development District
Balance Sheet
for the Period Ending May 31, 2024

	Governmental Funds										Account Groups		Totals (Memorandum Only)	
	General Fund	Debt Service Funds				Capital Project Funds				Lorraine Road	General Long Term Debt	General Fixed Assets		
		Series 2019	Series 2022-1	Series 2022-2	Series 2024	Series 2019	Series 2022-1	Series 2022-2	Series 2024					
Assets														
Cash and Investments														
General Fund - Invested Cash	\$ 1,346,648	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,346,648
Debt Service Fund														
Interest Account	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Sinking Account	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Reserve Account	-	476,850	85,090	459,173	268,961	-	-	-	-	-	-	-	-	1,290,073
Revenue Account	-	511,336	87,905	433,762	-	-	-	-	-	-	-	-	-	1,033,004
Capitalized Interest	-	-	806	230	204,473	-	-	-	-	-	-	-	-	205,509
Prepayment Account	-	2,468	-	-	-	-	-	-	-	-	-	-	-	2,468
Construction Account	-	-	-	-	-	396	9	-	-	-	-	-	-	405
Cost of Issuance Account	-	-	-	-	-	-	-	-	1,562	-	-	-	-	1,562
Due from Other Funds														
General Fund	-	6,696	-	-	-	-	-	-	-	-	-	-	-	6,696
Debt Service Fund(s)	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Due from Capital Projects Fund	1,825	-	-	-	-	-	-	-	-	-	-	-	-	1,825
Other Assets - Current														
Other Assets - Current	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Other Assets - Non-Current	387	-	-	-	-	-	-	-	-	-	-	-	-	387
Prepaid Expenses														
Prepaid Expenses	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Unamortized Prem/Discount on Bonds Payable														
Unamortized Prem/Discount on Bonds Payable	-	-	-	-	-	-	19,747	61,353	-	-	-	-	-	81,100
Amount Available in Debt Service Funds														
Amount Available in Debt Service Funds	-	-	-	-	-	-	-	-	-	-	-	2,064,315	-	2,064,315
Amount to be Provided by Debt Service Funds														
Amount to be Provided by Debt Service Funds	-	-	-	-	-	-	-	-	-	-	-	36,475,685	-	36,475,685
Investment in General Fixed Assets (net of depreciation)														
Investment in General Fixed Assets (net of depreciation)	-	-	-	-	-	-	-	-	-	-	-	-	13,954,303	13,954,303
Total Assets	\$ 1,348,860	\$ 997,350	\$ 173,801	\$ 893,164	\$ 473,434	\$ 396	\$ 19,756	\$ 61,353	\$ 1,562	\$ -	\$ 38,540,000	\$ 13,954,303	\$ 56,463,979	
Liabilities														
Accounts Payable & Payroll Liabilities														
Accounts Payable & Payroll Liabilities	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Due to Developer														
Due to Developer	6,480	-	-	-	-	-	-	-	1,293,146	-	-	-	-	1,299,626
Due to Other Funds														
General Fund	-	-	-	-	-	-	-	-	-	1,825	-	-	-	1,825
Debt Service Fund(s)	14,386	-	-	-	-	-	-	-	-	-	-	-	-	14,386
Bonds Payable														
Current Portion														
Series 2019	-	-	-	-	-	-	-	-	-	-	-	355,000	-	355,000
Series 2022-1	-	-	-	-	-	-	-	-	-	-	-	35,000	-	35,000
Series 2022-2	-	-	-	-	-	-	-	-	-	-	-	195,000	-	195,000
Series 2024	-	-	-	-	-	-	-	-	-	-	-	110,000	-	110,000
Long Term														
Series 2019	-	-	-	-	-	-	-	-	-	-	15,035,000	-	-	15,035,000
Series 2022-1	-	-	-	-	-	-	-	-	-	-	2,315,000	-	-	2,315,000
Series 2022-2	-	-	-	-	-	-	-	-	-	-	12,900,000	-	-	12,900,000
Series 2024	-	-	-	-	-	-	-	-	-	-	7,595,000	-	-	7,595,000
Unamortized Prem or (Disc) on Bds Paybl	-	-	-	-	-	54,012	-	-	-	-	-	-	-	54,012
Total Liabilities	\$ 20,866	\$ -	\$ -	\$ -	\$ -	\$ 54,012	\$ -	\$ -	\$ 1,293,146	\$ 1,825	\$ 38,540,000	\$ -	\$ 39,909,849	
Fund Equity and Other Credits														
Investment in General Fixed Assets														
Investment in General Fixed Assets	-	-	-	-	-	-	-	-	-	-	-	13,954,303	-	13,954,303
Fund Balance														
Restricted														
Beginning: October 1, 2023 (Unaudited)	-	927,893	157,440	847,026	-	(53,630)	19,756	83,236	-	-	-	-	-	1,981,721
Results from Current Operations	-	69,457	16,361	46,138	473,434	14	-	(21,883)	(1,291,585)	(1,825)	-	-	-	(709,889)
Unassigned														
Beginning: October 1, 2023 (Unaudited)	1	-	-	-	-	-	-	-	-	-	-	-	-	1
Results from Current Operations	1,327,993	-	-	-	-	-	-	-	-	-	-	-	-	1,327,993
Total Fund Equity and Other Credits	\$ 1,327,994	\$ 997,350	\$ 173,801	\$ 893,164	\$ 473,434	\$ (53,616)	\$ 19,756	\$ 61,353	\$ (1,291,585)	\$ (1,825)	\$ -	\$ 13,954,303	\$ 16,554,129	
Total Liabilities, Fund Equity and Other Credits	\$ 1,348,860	\$ 997,350	\$ 173,801	\$ 893,164	\$ 473,434	\$ 396	\$ 19,756	\$ 61,353	\$ 1,562	\$ -	\$ 38,540,000	\$ 13,954,303	\$ 56,463,979	

LT Ranch Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2024

Description	October	November	December	January	February	March	April	May	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources											
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ (189,901)	0%
Interest											
Interest - General Checking	-	-	-	-	-	-	-	-	-	-	N/A
Special Assessment Revenue											
Special Assessments - On-Roll	-	356,860	356,603	97,872	830,312	9,591	34,439	11,516	1,697,193	2,940,695	58%
Special Assessments - Off-Roll	-	-	-	-	-	-	-	-	-	-	N/A
Contributions Private Sources											
TM - Lorraine Rd Widening	-	-	-	-	-	-	-	-	-	-	N/A
Taylor Morrison	162,626	250,000	-	-	-	-	-	-	412,626	-	N/A
Note Proceeds											
Developer Funding for Carryforward	-	-	-	-	-	-	-	-	-	-	N/A
Developer Funding - Initial Reserve	-	-	-	-	-	-	-	-	-	-	N/A
Intragovernmental Transfer In	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 162,626	\$ 606,860	\$ 356,603	\$ 97,872	\$ 830,312	\$ 9,591	\$ 34,439	\$ 11,516	\$ 2,109,819	\$ 2,750,794	77%
Expenditures and Other Uses											
Executive											
Professional Management	3,750	3,750	3,750	3,750	3,750	3,750	3,750	3,750	30,000	45,000	67%
Financial and Administrative											
Audit Services	-	-	1,000	4,800	-	-	-	-	5,800	4,400	132%
Accounting Services	2,250	2,250	2,250	2,250	2,250	2,250	2,250	2,250	18,000	27,000	67%
Assessment Roll Services	2,125	2,125	2,125	2,125	2,125	2,125	2,125	2,125	17,000	25,500	67%
Arbitrage Rebate Services	-	-	-	-	500	500	500	-	1,500	500	300%
Other Contractual Services											
Legal Advertising	-	-	-	-	-	-	-	-	-	2,000	0%
Trustee Services	-	-	-	12,631	-	-	-	-	12,631	6,695	189%
Dissemination Agent Services	-	-	-	-	-	-	3,000	-	3,000	5,000	60%
Bond Amortization Schedules	-	-	-	-	-	-	100	-	100	-	N/A
Property Appraiser Fees	-	-	-	-	-	-	-	-	-	-	N/A
Bank Service Fees	51	95	9	-	104	-	-	-	259	250	104%
Communications & Freight Services											
Postage, Freight & Messenger	-	-	-	-	-	-	11	-	11	200	5%
Computer Services - Website Development											
Insurance	68,694	-	-	-	-	-	-	-	68,694	10,000	687%
Printing & Binding	-	-	-	-	-	-	-	-	-	600	0%
Subscription & Memberships	-	175	-	-	-	-	-	-	175	175	100%
Rentals	-	-	-	-	-	-	-	-	-	-	N/A
Legal Services											
Legal - General Counsel	-	-	4,351	-	1,382	-	-	-	5,733	7,500	76%
Legal - Series 2019 Bonds	-	-	-	-	-	-	-	-	-	-	N/A
Legal - Series 2022-1 Bonds	-	-	-	-	-	-	-	-	-	-	N/A
Legal - Series 2022-2 Bonds	-	-	-	-	-	-	-	-	-	-	N/A
Other General Government Services											
Engineering/ Field Services	-	1,890	-	-	255	4,241	9,206	-	15,592	7,500	208%
Stormwater Needs Analysis	-	-	-	-	-	-	-	-	-	-	N/A
TM - Lorraine Rd Widening	-	-	-	-	-	-	-	-	-	-	N/A
NPDES	-	-	-	-	-	-	-	-	-	-	N/A
Contingencies	-	-	-	-	-	-	-	-	-	-	N/A
Other Current Charges	-	-	-	-	-	-	-	-	-	-	N/A
Emergency & Disaster Relief Services											
Hurricane Ian	-	-	-	-	-	-	-	-	-	-	N/A

LT Ranch Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2024

Description	October	November	December	January	February	March	April	May	Year to Date	Total Annual Budget	% of Budget
Conservation and Resource MGMT											
Re-Use System											
Utility Services											
Re-Use Water (Sarasota County)	-	2,856	4,072	-	3,046	1,486	3,466	-	14,927	23,400	64%
Repairs and Maintenance											
Irrigation System (Line Distribution)	-	-	-	370	-	-	-	-	370	7,000	5%
Irrigation System (Pump Station)	-	2,630	-	1,144	-	-	-	-	3,774	14,000	27%
Stormwater Management Services											
Lake, Lake Bank and Littoral Shelf Maintenance											
Professional Services											
Asset Management	-	2,333	2,333	2,333	2,333	2,333	2,333	2,333	16,333	28,000	58%
Repairs and Maintenance											
Aquatic Weed Control	-	-	12,999	4,333	4,333	5,333	4,333	3,466	34,797	54,000	64%
Littoral Shelf - Invasive Plant Control	-	-	-	-	-	-	-	867	867	12,800	7%
Lake Bank Maintenance	-	-	-	-	-	-	-	-	-	18,000	0%
Detention Area Maintenance	-	-	-	-	925	-	-	925	1,850	4,200	44%
Water Quality Testing	-	-	-	-	-	-	-	-	-	-	N/A
Littoral Shelf Planting	-	-	2,184	-	-	-	-	-	2,184	3,000	73%
Control Structures, Catch Basins & Outfalls	-	-	-	-	3,500	-	-	-	3,500	27,500	13%
Preserve Services											
Shell Path Regrading	-	-	-	-	-	-	-	-	-	15,000	0%
Wetland Maintenance	-	-	15,675	-	-	14,750	-	-	30,425	70,500	43%
Enhancement Area Maintenance	-	10,675	-	10,675	-	8,500	1,875	8,500	40,225	55,000	73%
Preserve Maintenance	-	-	-	-	-	-	-	-	-	-	N/A
Creation Area Maintenance	-	-	-	-	-	-	4,788	1,075	5,863	4,000	147%
Green Way Maintenance	-	-	-	-	-	2,175	4,788	1,100	8,063	20,000	40%
Contingencies	-	-	-	-	-	-	-	-	-	28,400	0%
Operating Supplies	-	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay	-	-	-	-	-	-	-	-	-	-	N/A
Lorraine Road Maintenance											
Professional Services											
Asset Management	-	1,042	1,042	1,042	1,042	1,042	1,042	1,042	7,292	12,500	58%
SWFWMD Reporting Re-use System	-	-	-	-	-	-	-	-	-	3,000	0%
Utility Services											
Electric - Street Lights	751	738	776	844	860	733	696	612	6,010	12,600	48%
Irrigation Water	968	-	-	-	-	-	-	-	968	16,140	6%
Repairs and Maintenance											
Landscape Maintenance											
Periodic Maintenance	-	54,829	-	13,867	55,219	-	22,899	4,796	151,610	290,000	52%
Pressure Cleaning	-	-	-	-	1,125	-	-	-	1,125	20,000	6%
Frost Damage	-	-	-	-	-	-	-	-	-	-	N/A
Vehicular Damage	-	272	252	367	340	-	-	-	1,231	26,000	5%
Tree Trimming	-	-	-	-	15,363	-	-	-	15,363	13,000	118%
Landscape Replacements	-	-	-	-	5,532	-	-	-	5,532	24,000	23%
Mulch Installation	-	-	18,495	5,983	-	-	-	-	24,478	44,000	56%
Annuals	-	-	1,523	3,098	1,523	9,270	-	-	15,413	19,000	81%
Roadway Lighting	-	-	-	-	-	-	-	-	-	8,000	0%
Landscape Lighting	-	-	-	-	-	-	-	-	-	-	N/A
Fountain Services	-	-	-	-	-	-	-	-	-	-	N/A
Irrigation Repairs	-	-	1,135	-	-	-	650	-	1,785	-	N/A
Irrigation System - Line Distrib	-	-	-	-	-	-	-	-	-	-	N/A
Irrigation System - Pump Station	-	-	-	-	-	-	-	-	-	-	N/A
Contingencies	1,250	-	1,480	-	-	-	-	-	2,730	54,300	5%
Operating Supplies	-	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay	-	-	-	-	-	-	-	-	-	-	N/A
Contingencies	-	1,375	-	-	-	-	300	-	1,675	-	N/A

LT Ranch Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2024

Description	October	November	December	January	February	March	April	May	Year to Date	Total Annual Budget	% of Budget
Skye Ranch Rd, Lattimer, Luna Ln Maintenance											
Periodic Maintenance	-	16,419	-	8,209	16,419	-	8,209	-	49,256	99,000	50%
Community Park											
Professional Services											
Asset Management	-	1,292	1,292	1,292	1,292	1,292	1,292	1,292	9,042	15,500	58%
Park Staffing	-	3,333	3,333	3,333	3,333	3,333	3,333	3,333	23,333	40,000	58%
Utility Services											
Electric	-	-	-	-	-	-	-	-	-	4,000	0%
Water and Sewer	-	-	-	-	-	-	-	-	-	-	N/A
Repairs and Maintenance											
Sand Replacement	-	-	-	-	-	400	-	-	400	9,000	4%
Janitorial	4,120	4,120	4,910	-	4,180	3,980	3,980	-	25,290	33,000	77%
Landscape Maintenance	-	-	-	-	-	-	-	-	-	-	N/A
Floratum Grass Areas	-	4,302	-	4,776	14,802	-	4,776	-	28,657	42,000	68%
Tree Trimming	-	-	-	-	-	-	-	-	-	-	N/A
Bermuda Grass Area											
Mowing Area	-	-	-	3,150	12,600	-	3,150	-	18,900	75,600	25%
Agronomic Scope	-	-	-	3,520	14,080	-	3,520	-	21,120	42,240	50%
Aeration/Ventcutting	-	-	-	-	-	-	-	-	-	22,000	0%
Topdressing	-	-	-	-	-	-	-	-	-	10,100	0%
Rye Seeding	-	-	-	-	5,200	-	-	-	5,200	12,000	43%
Bahai Maintenance											
Mowing/Edging and Weedeating	-	3,501	-	1,750	3,501	-	1,750	-	10,503	9,000	117%
Bed Maintenance Services	-	-	-	-	-	-	-	-	-	8,000	0%
Landscape Replacements	-	-	-	-	-	-	-	-	-	8,000	0%
Maintenance Amenity Center										12,000	0%
Mulch Installation	-	-	365	-	-	-	-	-	365	14,000	3%
Irrigation System - Wet Checks	-	-	-	500	2,000	-	500	-	3,000	11,400	26%
Snack Shack											
Utility Services											
Electric	-	-	-	-	-	-	-	-	-	5,000	0%
Water and Sewer	-	201	162	143	141	135	146	173	1,101	7,000	16%
Building Maintenance	-	-	-	-	-	-	-	-	-	2,000	0%
Miscellaneous Repairs	-	3,838	175	-	-	-	-	-	4,013	3,000	134%
Playground											
Miscellaneous Repairs	-	2,810	-	-	749	141	-	-	3,700	7,000	53%
Dog Park											
Miscellaneous Repairs	-	-	-	665	-	-	-	-	665	2,400	28%
Outdoor Sport Courts											
Miscellaneous Repairs	-	-	-	-	-	-	100	-	100	2,800	4%
Outdoor Sports Fields - Other	-	-	-	-	-	-	-	-	-	7,400	0%
Hurricane Repairs	-	-	-	-	-	-	-	-	-	-	N/A
Contingencies	-	-	-	-	-	-	-	-	-	66,588	0%
Reserves											
Operational Reserve (Future Years)	-	-	-	-	-	-	-	-	-	250,000	N/A
Other Financing Uses											
Note Payable-TM to Fund FY 2022 Operations	-	-	-	-	-	-	-	-	-	679,147	N/A
Other Fees and Charges											
Discounts/Collection Fees	-	-	-	-	-	-	-	-	-	179,959	N/A
Sub-Total:	83,959	126,851	85,686	96,951	183,803	68,069	98,867	37,639	781,826	2,750,794	28%
Total Expenditures and Other Uses:	\$ 83,959	\$ 126,851	\$ 85,686	\$ 96,951	\$ 183,803	\$ 68,069	\$ 98,867	\$ 37,639	\$ 781,826	\$ 2,750,794	28%
Net Increase/ (Decrease) in Fund Balance	78,667	480,008	270,916	921	646,509	(58,478)	(64,428)	(26,123)	1,327,993	-	-
Fund Balance - Beginning	1	78,668	558,677	829,593	830,514	1,477,023	1,418,545	1,354,117	1	-	-
Fund Balance - Ending	\$ 78,668	\$ 558,677	\$ 829,593	\$ 830,514	\$ 1,477,023	\$ 1,418,545	\$ 1,354,117	\$ 1,327,994	\$ 1,327,994	\$ -	-

LT Ranch Community Development District
Debt Service Fund - Series 2019
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2024

Description	October	November	December	January	February	March	April	May	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources											
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Interest Income											
Interest Account	-	-	-	-	-	-	-	-	-	-	N/A
Sinking Fund Account	-	-	-	-	-	-	-	-	-	-	N/A
Reserve Account	2,097	2,167	2,082	2,140	2,120	1,984	2,121	2,052	16,763	-	N/A
Prepayment Account	-	-	-	-	-	-	-	-	-	-	N/A
Revenue Account	1,968	2,067	684	1,472	2,282	2,605	4,094	4,878	20,052	-	N/A
Capitalized Interest Account	-	-	-	-	-	-	-	-	-	-	N/A
Special Assessments - Prepayments											
Special Assessments - On Roll	-	207,486	207,336	56,905	482,762	5,576	20,024	6,696	986,785	1,021,209	97%
Special Assessments - Off Roll	-	-	-	-	-	-	-	-	-	-	N/A
Special Assessments - Prepayments	-	-	-	-	-	27,468	-	-	27,468	-	N/A
Debt Proceeds											
Intragovernmental Transfer In	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 4,065	\$ 211,720	\$ 210,102	\$ 60,517	\$ 487,164	\$ 37,633	\$ 26,239	\$ 13,627	\$ 1,051,067	\$ 1,021,209	103%
Expenditures and Other Uses											
Debt Service											
Principal Debt Service - Mandatory											
Series 2019	-	-	-	-	-	-	-	345,000	345,000	345,000	100%
Principal Debt Service - Early Redemptions											
Series 2019	-	-	-	-	-	-	-	25,000	25,000	-	N/A
Interest Expense											
Series 2019	-	305,805	-	-	-	-	-	305,805	611,610	611,610	100%
Operating Transfers Out (To Other Funds)											
	-	-	-	-	-	-	-	-	-	-	N/A
Other Fees and Charges											
Discounts for Early Payment	-	-	-	-	-	-	-	-	-	66,812	0%
Total Expenditures and Other Uses:	\$ -	\$ 305,805	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 675,805	\$ 981,610	\$ 1,023,422	96%
Net Increase/ (Decrease) in Fund Balance	4,065	(94,085)	210,102	60,517	487,164	37,633	26,239	(662,178)	69,457	(2,213)	
Fund Balance - Beginning	927,893	931,958	837,873	1,047,975	1,108,492	1,595,656	1,633,289	1,659,528	927,893	-	
Fund Balance - Ending	\$ 931,958	\$ 837,873	\$ 1,047,975	\$ 1,108,492	\$ 1,595,656	\$ 1,633,289	\$ 1,659,528	\$ 997,350	\$ 997,350	\$ (2,213)	

LT Ranch Community Development District
Debt Service Fund - Series 2022-1
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2024

Description	October	November	December	January	February	March	April	May	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources											
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 68,579.00	0%
Interest Income											
Interest Account	-	-	-	-	-	-	-	-	-	-	N/A
Sinking Fund Account	-	-	-	-	-	-	-	-	-	-	N/A
Reserve Account	374	387	372	382	378	354	379	366	2,991	-	N/A
Prepayment Account	-	-	-	-	-	-	-	-	-	-	N/A
Revenue Account	-	-	-	-	-	-	1	1	2	-	N/A
Capitalized Interest Account	318	332	22	25	26	27	30	31	811	-	N/A
Special Assessments - Prepayments											
Special Assessments - On Roll	-	38,046	38,018	10,434	88,522	1,023	3,672	-	179,715	183,003	98%
Special Assessments - Off Roll	-	-	-	-	-	-	-	-	-	-	N/A
Special Assessments - Prepayments	-	-	-	-	-	-	-	-	-	-	N/A
Debt Proceeds											
Intragovernmental Transfer In	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 692	\$ 38,764	\$ 38,412	\$ 10,841	\$ 88,927	\$ 1,403	\$ 4,081	\$ 398	\$ 183,518	\$ 251,582	73%
Expenditures and Other Uses											
Debt Service											
Principal Debt Service - Mandatory											
Series 2022-1	-	-	-	-	-	-	-	30,000	30,000	30,000	100%
Principal Debt Service - Early Redemptions											
Series 2022-1	-	-	-	-	-	-	-	-	-	-	N/A
Interest Expense											
Series 2022-1	-	68,579	-	-	-	-	-	68,579	137,158	137,158	100%
Operating Transfers Out (To Other Funds)											
	-	-	-	-	-	-	-	-	-	-	N/A
Other Fees and Charges											
Discounts for Early Payment	-	-	-	-	-	-	-	-	-	8,078	0%
Total Expenditures and Other Uses:	\$ -	\$ 68,579	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 98,579	\$ 167,158	\$ 175,236	95%
Net Increase/ (Decrease) in Fund Balance	692	(29,815)	38,412	10,841	88,927	1,403	4,081	(98,181)	16,361	76,346	
Fund Balance - Beginning	157,440	158,132	128,317	166,730	177,571	266,497	267,900	271,982	157,440	-	
Fund Balance - Ending	\$ 158,132	\$ 128,317	\$ 166,730	\$ 177,571	\$ 266,497	\$ 267,900	\$ 271,982	\$ 173,801	\$ 173,801	\$ 76,346	

LT Ranch Community Development District
Debt Service Fund - Series 2022-2
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2024

Description	October	November	December	January	February	March	April	May	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources											
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 367,573	0%
Interest Income											
Interest Account	-	-	-	-	-	-	-	-	-	-	N/A
Sinking Fund Account	-	-	-	-	-	-	-	-	-	-	N/A
Reserve Account	2,019	2,087	2,005	2,060	2,042	1,910	2,043	1,976	16,142	-	N/A
Prepayment Account	-	-	-	-	-	-	-	-	-	-	N/A
Revenue Account	-	-	-	1	1	2	3	4	11	-	N/A
Capitalized Interest Account	1,703	1,778	112	116	116	109	117	113	4,164	-	N/A
Special Assessments - Prepayments											
Special Assessments - On Roll	-	200,262	200,118	54,924	465,954	5,382	19,326	-	945,966	987,516	96%
Special Assessments - Off Roll	-	-	-	-	-	-	-	-	-	-	N/A
Special Assessments - Prepayments	-	-	-	-	-	-	-	-	-	-	N/A
Debt Proceeds											
Intragovernmental Transfer In	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 3,722	\$ 204,127	\$ 202,235	\$ 57,101	\$ 468,113	\$ 7,403	\$ 21,489	\$ 2,094	\$ 966,283	\$ 1,355,089	71%
Expenditures and Other Uses											
Debt Service											
Principal Debt Service - Mandatory											
Series 2022-2	-	-	-	-	-	-	-	185,000	185,000	185,000	100%
Principal Debt Service - Early Redemptions											
Series 2022-2	-	-	-	-	-	-	-	-	-	-	N/A
Interest Expense											
Series 2022-2	-	367,573	-	-	-	-	-	367,573	735,145	735,145	100%
Operating Transfers Out (To Other Funds)											
	-	-	-	-	-	-	-	-	-	-	N/A
Other Fees and Charges											
Discounts for Early Payment	-	-	-	-	-	-	-	-	-	65,832	0%
Total Expenditures and Other Uses:	\$ -	\$ 367,573	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 552,573	\$ 920,145	\$ 985,977	93%
Net Increase/ (Decrease) in Fund Balance	3,722	(163,445)	202,235	57,101	468,113	7,403	21,489	(550,479)	46,138	369,112	
Fund Balance - Beginning	847,026	850,749	687,303	889,538	946,639	1,414,752	1,422,155	1,443,643	847,026	-	
Fund Balance - Ending	\$ 850,749	\$ 687,303	\$ 889,538	\$ 946,639	\$ 1,414,752	\$ 1,422,155	\$ 1,443,643	\$ 893,164	\$ 893,164	\$ 369,112	

LT Ranch Community Development District
Debt Service Fund - Series 2024
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2024

Description	May	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources				
Carryforward	\$ -	\$ -	\$ -	N/A
Interest Income				
Interest Account	-	-	-	N/A
Sinking Fund Account	-	-	-	N/A
Reserve Account	-	-	-	N/A
Prepayment Account	-	-	-	N/A
Revenue Account	-	-	-	N/A
Capitalized Interest Account	-	-	-	N/A
Special Assessments - Prepayments				
Special Assessments - On Roll	-	-	-	N/A
Special Assessments - Off Roll	-	-	-	N/A
Special Assessments - Prepayments	-	-	-	N/A
Debt Proceeds	473,434	473,434	-	N/A
Intragovernmental Transfer In	-	-	-	N/A
Total Revenue and Other Sources:	\$ 473,434	\$ 473,434	\$ -	N/A
Expenditures and Other Uses				
Debt Service				
Principal Debt Service - Mandatory				
Series 2022-2	-	-	-	N/A
Principal Debt Service - Early Redemptions				
Series 2022-2	-	-	-	N/A
Interest Expense				
Series 2022-2	-	-	-	N/A
Operating Transfers Out (To Other Funds)	-	-	-	N/A
Other Fees and Charges				
Discounts for Early Payment	-	-	-	N/A
Total Expenditures and Other Uses:	\$ -	\$ -	\$ -	N/A
Net Increase/ (Decrease) in Fund Balance	473,434	473,434	-	
Fund Balance - Beginning	-	-	-	
Fund Balance - Ending	\$ 473,434	\$ 473,434	\$ -	

Prepared by:

JPWARD and Associates, LLC

LT Ranch Community Development District
Capital Projects Fund - Series 2019
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2024

Description	October	November	December	January	February	March	April	May	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources											
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Interest Income											
Construction Account	2	2	2	2	2	2	2	2	14	-	N/A
Cost of Issuance	-	-	-	-	-	-	-	-	-	-	N/A
Debt Proceeds											
Developer Contributions	-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers In (From Other Funds)	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 14	\$ -	N/A
Expenditures and Other Uses											
Executive											
Professional Management	-	-	-	-	-	-	-	-	-	-	N/A
Other Contractual Services											
Trustee Services	-	-	-	-	-	-	-	-	-	-	N/A
Printing & Binding											
Printing & Binding	-	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay											
Water-Sewer Combination	-	-	-	-	-	-	-	-	-	-	N/A
Stormwater Management	-	-	-	-	-	-	-	-	-	-	N/A
Landscaping	-	-	-	-	-	-	-	-	-	-	N/A
Roadway Improvement	-	-	-	-	-	-	-	-	-	-	N/A
Cost of Issuance											
Legal - Series 2019 Bonds	-	-	-	-	-	-	-	-	-	-	N/A
Underwriter's Discount	-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers Out (To Other Funds)	-	-	-	-	-	-	-	-	-	-	N/A
Total Expenditures and Other Uses:	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Net Increase/ (Decrease) in Fund Balance	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 14	\$ -	
Fund Balance - Beginning	\$ (53,630)	\$ (53,628)	\$ 703,572	\$ 703,573	\$ 703,575	\$ 703,577	\$ 703,578	\$ 703,580	\$ (53,630)	\$ -	
Fund Balance - Ending	\$ (53,628)	\$ (53,626)	\$ 703,573	\$ 703,575	\$ 703,577	\$ 703,578	\$ 703,580	\$ 703,582	\$ (53,616)	\$ -	

LT Ranch Community Development District
Capital Projects Fund - Series 2022-1
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2024

Description	October	November	December	January	February	March	April	May	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources											
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Interest Income											
Construction Account	-	-	-	-	-	-	-	-	-	-	N/A
Cost of Issuance	-	-	-	-	-	-	-	-	-	-	N/A
Debt Proceeds											
Developer Contributions	-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers In (From Other Funds)											
Total Revenue and Other Sources:	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Expenditures and Other Uses											
Executive											
Professional Management	-	-	-	-	-	-	-	-	-	-	N/A
Other Contractual Services											
Trustee Services	-	-	-	-	-	-	-	-	-	-	N/A
Printing & Binding											
Printing & Binding	-	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay											
Water-Sewer Combination	-	-	-	-	-	-	-	-	-	-	N/A
Stormwater Management	-	-	-	-	-	-	-	-	-	-	N/A
Landscaping	-	-	-	-	-	-	-	-	-	-	N/A
Roadway Improvement	-	-	-	-	-	-	-	-	-	-	N/A
Cost of Issuance											
Legal - Series 2022-1 Bonds	-	-	-	-	-	-	-	-	-	-	N/A
Underwriter's Discount											
Underwriter's Discount	-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers Out (To Other Funds)											
Total Expenditures and Other Uses:	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Net Increase/ (Decrease) in Fund Balance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Fund Balance - Beginning	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ -
Fund Balance - Ending	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ -

LT Ranch Community Development District
Capital Projects Fund - Series 2022-2
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2024

Description	October	November	December	January	February	March	April	May	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources											
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Interest Income											
Construction Account	96	100	96	99	99	93	100	97	781	-	N/A
Cost of Issuance	-	-	-	-	-	-	-	-	-	-	N/A
Debt Proceeds											
Developer Contributions	-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers In (From Other Funds)	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 96	\$ 100	\$ 96	\$ 99	\$ 99	\$ 93	\$ 100	\$ 97	\$ 781	\$ -	N/A
Expenditures and Other Uses											
Executive											
Professional Management	-	-	-	-	-	-	-	-	-	-	N/A
Other Contractual Services											
Trustee Services	-	-	-	-	-	-	-	-	-	-	N/A
Printing & Binding											
Printing & Binding	-	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay											
Water-Sewer Combination	-	-	-	-	-	-	-	22,664	22,664	-	N/A
Stormwater Management	-	-	-	-	-	-	-	-	-	-	N/A
Landscaping	-	-	-	-	-	-	-	-	-	-	N/A
Roadway Improvement	-	-	-	-	-	-	-	-	-	-	N/A
Cost of Issuance											
Legal - Series 2022-2 Bonds	-	-	-	-	-	-	-	-	-	-	N/A
Underwriter's Discount	-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers Out (To Other Funds)	-	-	-	-	-	-	-	-	-	-	N/A
Total Expenditures and Other Uses:	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 22,664	\$ 22,664	\$ -	N/A
Net Increase/ (Decrease) in Fund Balance	\$ 96	\$ 100	\$ 96	\$ 99	\$ 99	\$ 93	\$ 100	\$ (22,567)	\$ (21,883)	\$ -	
Fund Balance - Beginning	\$ 83,236	\$ 83,332	\$ -	\$ 96	\$ 196	\$ 295	\$ 388	\$ 488	\$ 83,236	\$ -	
Fund Balance - Ending	\$ 83,332	\$ 83,432	\$ 96	\$ 196	\$ 295	\$ 388	\$ 488	\$ (22,079)	\$ 61,353	\$ -	

LT Ranch Community Development District
Capital Projects Fund - Series 2024
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2024

Description	May	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources				
Carryforward	\$ -	\$ -	\$ -	N/A
Interest Income				
Construction Account	-	-	-	N/A
Cost of Issuance	-	-	-	N/A
Debt Proceeds	7,231,566	7,231,566	-	N/A
Developer Contributions	-	-	-	N/A
Operating Transfers In (From Other Funds)	-	-	-	N/A
Total Revenue and Other Sources:	\$ 7,231,566	\$ 7,231,566	\$ -	N/A
Expenditures and Other Uses				
Executive				
Professional Management	50,000	50,000	-	N/A
Other General Government Services				
Engineering Services	20,000	20,000	-	N/A
Other Contractual Services				
Trustee Services	6,075	6,075	-	N/A
Printing & Binding	2,250	2,250	-	N/A
Capital Outlay				
Water-Sewer Combination	2,409,772	2,409,772	-	N/A
Stormwater Management	5,721,369	5,721,369	-	N/A
Landscaping	-	-	-	N/A
Roadway Improvement	-	-	-	N/A
Cost of Issuance				
Legal - Series 2024 Bonds	159,585	159,585	-	N/A
Underwriter's Discount	154,100	154,100	-	N/A
Operating Transfers Out (To Other Funds)	-	-	-	N/A
Total Expenditures and Other Uses:	\$ 8,523,151	\$ 8,523,151	\$ -	N/A
Net Increase/ (Decrease) in Fund Balance	\$ (1,291,585)	\$ (1,291,585)	\$ -	
Fund Balance - Beginning	\$ -	\$ -	\$ -	
Fund Balance - Ending	\$ (1,291,585)	\$ (1,291,585)	\$ -	

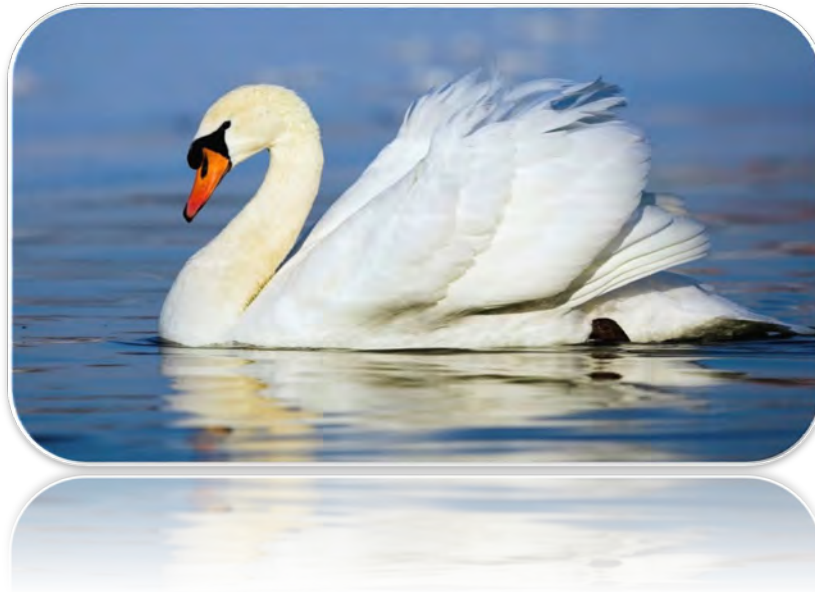
Prepared by:

JPWARD and Associates, LLC

LT Ranch Community Development District
Capital Projects Fund - Lorraine Road
Statement of Revenues, Expenditures and Changes in Fund Balance
Through May 31, 2024

Description	October	November	December	January	February	March	April	May	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources											
Developer Contributions											
TM - Lorraine Rd Widening	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,129	\$ 160,000	\$ 163,129	\$ -	N/A
Total Revenue and Other Sources:	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,129	\$ 160,000	\$ 163,129	\$ -	N/A
Expenditures and Other Uses											
Professional Services											
Legal - Lorraine Rd Widening	786	-	1,513	-	-	-	-	160,000	162,299	-	N/A
Legal - General Counsel	-	-	-	-	-	-	-	1,825	1,825	-	N/A
Repairs & Maintenance											
Contingencies	-	830	-	-	-	-	-	-	830	-	-
Capital Outlay											
Engineering	-	-	-	-	-	-	-	-	-	-	N/A
Construction in Progress	-	-	-	-	-	-	-	-	-	-	N/A
Total Expenditures and Other Uses:	\$ 786	\$ 830	\$ 1,513	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 164,954	\$ -	N/A
Net Increase/ (Decrease) in Fund Balance	\$ (786)	\$ (830)	\$ (1,513)	\$ -	\$ -	\$ -	\$ 3,129	\$ 160,000	\$ (1,825)	\$ -	-
Fund Balance - Beginning	\$ -	\$ (786)	\$ -	\$ (1,513)	\$ (1,513)	\$ (1,513)	\$ (1,513)	\$ 1,616	\$ -	\$ -	-
Fund Balance - Ending	\$ (786)	\$ (1,616)	\$ (1,513)	\$ (1,513)	\$ (1,513)	\$ (1,513)	\$ 1,616	\$ 161,616	\$ (1,825)	\$ -	-

LT RANCH COMMUNITY DEVELOPMENT DISTRICT



FINANCIAL STATEMENTS - JUNE 2024

FISCAL YEAR 2024

PREPARED BY:

JPWARD & ASSOCIATES, LLC, 2301 NORTHEAST 37TH STREET, FORT LAUDERDALE, FL 33308

T: 954-658-4900 E: JimWard@JPWardAssociates.com

LT Ranch Community Development District

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JPWard & Associates, LLC

2301 NORTHEAST 37 STREET
FORT LAUDERDALE,
FLORIDA 33308

LT Ranch Community Development District
Balance Sheet
for the Period Ending June 30, 2024

	Governmental Funds										Account Groups		Totals (Memorandum Only)
	Debt Service Funds					Capital Project Funds					General Long	General Fixed	
	General Fund	Series 2019	Series 2022-1	Series 2022-2	Series 2024	Series 2019	Series 2022-1	Series 2022-2	Series 2024	Lorraine Road	Term Debt	Assets	
Assets													
Cash and Investments													
General Fund - Invested Cash	\$ 1,014,241	-	-	-	-	-	-	-	-	-	-	-	\$ 1,014,241
Debt Service Fund	-	-	-	-	-	-	-	-	-	-	-	-	-
Interest Account	-	-	-	-	-	-	-	-	-	-	-	-	-
Sinking Account	-	-	-	-	-	-	-	-	-	-	-	-	-
Reserve Account	-	476,150	85,090	459,173	268,961	-	-	-	-	-	-	-	1,289,373
Revenue Account	-	522,401	89,134	442,269	-	-	-	-	-	-	-	-	1,053,803
Capitalized Interest	-	-	1,187	231	205,967	-	-	-	-	-	-	-	207,386
Prepayment Account	-	3,168	-	-	-	-	-	-	-	-	-	-	3,168
Construction Account	-	-	-	-	-	397	9	-	-	-	-	-	407
Cost of Issuance Account	-	-	-	-	-	-	-	1,572	-	-	-	-	1,572
Due from Other Funds	-	1,612	296	1,556	-	-	-	-	-	-	-	-	3,464
General Fund	-	1,612	296	1,556	-	-	-	-	-	-	-	-	3,464
Debt Service Fund(s)	-	-	-	-	-	-	-	-	-	-	-	-	-
Due from Capital Projects Fund	36,971	-	-	-	-	-	-	-	-	-	-	-	36,971
Other Assets - Current	-	-	-	-	-	-	-	-	-	-	-	-	-
Other Assets - Non-Current	387	-	-	-	-	-	-	-	-	-	-	-	387
Prepaid Expenses	-	-	-	-	-	-	-	-	-	-	-	-	-
Unamortized Prem/Discount on Bonds Payable	-	-	-	-	-	-	19,747	61,353	-	-	-	-	81,100
Amount Available in Debt Service Funds	-	-	-	-	-	-	-	-	-	2,082,265	-	-	2,082,265
Amount to be Provided by Debt Service Funds	-	-	-	-	-	-	-	-	-	36,457,735	-	-	36,457,735
Investment in General Fixed Assets (net of depreciation)	-	-	-	-	-	-	-	-	-	-	13,954,303	-	13,954,303
Total Assets	\$ 1,051,598	\$ 1,003,330	\$ 175,707	\$ 903,228	\$ 474,928	\$ 397	\$ 19,756	\$ 61,353	\$ 1,572	\$ -	\$ 38,540,000	\$ 13,954,303	\$ 56,186,172
Liabilities													
Accounts Payable & Payroll Liabilities	-	-	-	-	-	-	-	-	-	-	-	-	-
Due to Developer	6,480	-	-	-	-	-	-	-	1,293,146	-	-	-	1,299,626
Due to Other Funds	-	-	-	-	-	-	-	-	-	-	-	-	-
General Fund	-	-	-	-	-	-	-	-	-	36,971	-	-	36,971
Debt Service Fund(s)	3,464	-	-	-	-	-	-	-	-	-	-	-	3,464
Bonds Payable	-	-	-	-	-	-	-	-	-	-	-	-	-
Current Portion	-	-	-	-	-	-	-	-	-	-	-	-	-
Series 2019	-	-	-	-	-	-	-	-	-	-	355,000	-	355,000
Series 2022-1	-	-	-	-	-	-	-	-	-	-	35,000	-	35,000
Series 2022-2	-	-	-	-	-	-	-	-	-	-	195,000	-	195,000
Series 2024	-	-	-	-	-	-	-	-	-	-	110,000	-	110,000
Long Term	-	-	-	-	-	-	-	-	-	-	-	-	-
Series 2019	-	-	-	-	-	-	-	-	-	-	15,035,000	-	15,035,000
Series 2022-1	-	-	-	-	-	-	-	-	-	-	2,315,000	-	2,315,000
Series 2022-2	-	-	-	-	-	-	-	-	-	-	12,900,000	-	12,900,000
Series 2024	-	-	-	-	-	-	-	-	-	-	7,595,000	-	7,595,000
Unamortized Prem or (Disc) on Bds Pybl	-	-	-	-	-	54,012	-	-	-	-	-	-	54,012
Total Liabilities	\$ 9,943	\$ -	\$ -	\$ -	\$ -	\$ 54,012	\$ -	\$ -	\$ 1,293,146	\$ 36,971	\$ 38,540,000	\$ -	\$ 39,934,072
Fund Equity and Other Credits													
Investment in General Fixed Assets	-	-	-	-	-	-	-	-	-	-	-	13,954,303	13,954,303
Fund Balance	-	-	-	-	-	-	-	-	-	-	-	-	-
Restricted	-	927,893	157,440	847,026	-	(53,630)	19,756	83,236	-	-	-	-	1,981,721
Beginning: October 1, 2023 (Unaudited)	-	927,893	157,440	847,026	-	(53,630)	19,756	83,236	-	-	-	-	1,981,721
Results from Current Operations	-	75,437	18,267	56,202	474,928	15	-	(21,883)	(1,291,574)	(36,971)	-	-	(725,579)
Unassigned	-	-	-	-	-	-	-	-	-	-	-	-	-
Beginning: October 1, 2023 (Unaudited)	1	-	-	-	-	-	-	-	-	-	-	-	1
Results from Current Operations	-	-	-	-	-	-	-	-	-	-	-	-	-
Total Fund Equity and Other Credits	\$ 1,041,654	\$ 1,003,330	\$ 175,707	\$ 903,228	\$ 474,928	\$ (53,614)	\$ 19,756	\$ 61,353	\$ (1,291,574)	\$ (36,971)	\$ -	\$ 13,954,303	\$ 16,252,100
Total Liabilities, Fund Equity and Other Credits	\$ 1,051,598	\$ 1,003,330	\$ 175,707	\$ 903,228	\$ 474,928	\$ 397	\$ 19,756	\$ 61,353	\$ 1,572	\$ -	\$ 38,540,000	\$ 13,954,303	\$ 56,186,172

LT Ranch Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through June 30, 2024

Description	October	November	December	January	February	March	April	May	June	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources												
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ (189,901)	0%
Interest												
Interest - General Checking	-	-	-	-	-	-	-	-	-	-	-	N/A
Special Assessment Revenue												
Special Assessments - On-Roll	-	356,860	356,603	97,872	830,312	9,591	34,439	11,516	2,773	1,699,966	2,940,695	58%
Special Assessments - Off-Roll	-	-	-	-	-	-	-	-	-	-	-	N/A
Contributions Private Sources												
TM - Lorraine Rd Widening	-	-	-	-	-	-	-	-	-	-	-	N/A
Taylor Morrison	162,626	250,000	-	-	-	-	-	-	-	412,626	-	N/A
Note Proceeds												
Developer Funding for Carryforward	-	-	-	-	-	-	-	-	-	-	-	N/A
Developer Funding - Initial Reserve	-	-	-	-	-	-	-	-	-	-	-	N/A
Intragovernmental Transfer In	-	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 162,626	\$ 606,860	\$ 356,603	\$ 97,872	\$ 830,312	\$ 9,591	\$ 34,439	\$ 11,516	\$ 2,773	\$ 2,112,592	\$ 2,750,794	77%
Expenditures and Other Uses												
Executive												
Professional Management	3,750	3,750	3,750	3,750	3,750	3,750	3,750	3,750	3,750	33,750	45,000	75%
Financial and Administrative												
Audit Services	-	-	1,000	4,800	-	-	-	-	-	5,800	4,400	132%
Accounting Services	2,250	2,250	2,250	2,250	2,250	2,250	2,250	2,250	2,250	20,250	27,000	75%
Assessment Roll Services	2,125	2,125	2,125	2,125	2,125	2,125	2,125	2,125	2,125	19,125	25,500	75%
Arbitrage Rebate Services	-	-	-	-	500	500	500	-	-	1,500	500	300%
Other Contractual Services												
Legal Advertising	-	-	-	-	-	-	-	-	159	159	2,000	8%
Trustee Services	-	-	-	12,631	-	-	-	-	-	12,631	6,695	189%
Dissemination Agent Services	-	-	-	-	-	-	-	-	3,000	3,000	5,000	60%
Bond Amortization Schedules	-	-	-	-	-	-	-	-	100	100	-	N/A
Property Appraiser Fees	-	-	-	-	-	-	-	-	-	-	-	N/A
Bank Service Fees	51	95	9	-	104	-	-	-	-	259	250	104%
Communications & Freight Services												
Postage, Freight & Messenger	-	-	-	-	-	-	11	-	3	13	200	7%
Computer Services - Website Development												
Computer Services - Website Development	-	-	-	-	-	300	-	-	-	300	2,000	15%
Insurance												
Insurance	68,694	-	-	-	-	-	-	-	-	68,694	10,000	687%
Printing & Binding												
Printing & Binding	-	-	-	-	-	-	-	-	-	-	600	0%
Subscription & Memberships												
Subscription & Memberships	-	175	-	-	-	-	-	-	-	175	175	100%
Rentals												
Rentals	-	-	-	-	-	-	-	-	-	-	-	N/A
Legal Services												
Legal - General Counsel	-	-	4,351	-	1,382	-	-	-	1,448	7,181	7,500	96%
Legal - Series 2019 Bonds	-	-	-	-	-	-	-	-	-	-	-	N/A
Legal - Series 2022-1 Bonds	-	-	-	-	-	-	-	-	-	-	-	N/A
Legal - Series 2022-2 Bonds	-	-	-	-	-	-	-	-	-	-	-	N/A
Other General Government Services												
Engineering/ Field Services	-	1,890	-	-	255	4,241	9,206	-	5,963	21,554	7,500	287%
Stormwater Needs Analysis	-	-	-	-	-	-	-	-	-	-	-	N/A
TM - Lorraine Rd Widening	-	-	-	-	-	-	-	-	-	-	-	N/A
NPDES	-	-	-	-	-	-	-	-	-	-	-	N/A
Contingencies	-	-	-	-	-	-	-	-	-	-	-	N/A
Other Current Charges	-	-	-	-	-	-	-	-	-	-	-	N/A
Emergency & Disaster Relief Services												
Hurricane Ian	-	-	-	-	-	-	-	-	-	-	-	N/A

LT Ranch Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through June 30, 2024

Description	October	November	December	January	February	March	April	May	June	Year to Date	Total Annual Budget	% of Budget
Conservation and Resource MGMT												
Re-Use System												
Utility Services												
Re-Use Water (Sarasota County)	968	2,856	4,072	-	3,046	1,486	3,466	-	8,614	24,508	23,400	105%
Repairs and Maintenance												
Irrigation System (Line Distribution)	-	-	-	370	-	-	-	-	-	370	7,000	5%
Irrigation System (Pump Station)	-	2,630	-	1,144	-	-	-	-	-	3,774	14,000	27%
Stormwater Management Services												
Lake, Lake Bank and Littoral Shelf Maintenance												
Professional Services												
Asset Management	-	2,333	2,333	2,333	2,333	2,333	2,333	2,333	2,333	18,667	28,000	67%
Repairs and Maintenance												
Aquatic Weed Control	-	-	12,999	4,333	4,333	5,333	4,333	3,466	-	34,797	54,000	64%
Littoral Shelf - Invasive Plant Control	-	-	-	-	-	-	-	867	866	1,733	12,800	14%
Lake Bank Maintenance	-	-	-	-	-	-	-	-	3,467	3,467	18,000	19%
Detention Area Maintenance	-	-	-	-	925	-	-	925	-	1,850	4,200	44%
Water Quality Testing	-	-	-	-	-	-	-	-	-	-	-	N/A
Littoral Shelf Planting	-	-	2,184	-	-	-	-	-	-	2,184	3,000	73%
Control Structures, Catch Basins & Outfalls	-	-	-	-	3,500	-	-	-	-	3,500	27,500	13%
Preserve Services												
Shell Path Regrading	-	-	-	-	-	-	-	-	4,875	4,875	15,000	33%
Wetland Maintenance	-	-	15,675	-	-	14,750	-	-	-	30,425	70,500	43%
Enhancement Area Maintenance	-	10,675	-	10,675	-	8,500	1,875	8,500	-	40,225	55,000	73%
Preserve Maintenance	-	-	-	-	-	-	-	-	14,750	14,750	-	N/A
Creation Area Maintenance	-	-	-	-	-	-	4,788	1,075	-	5,863	4,000	147%
Green Way Maintenance	-	-	-	-	-	2,175	4,788	1,100	-	8,063	20,000	40%
Contingencies	-	-	-	-	-	-	-	-	-	-	28,400	0%
Operating Supplies	-	-	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay	-	-	-	-	-	-	-	-	-	-	-	N/A
Lorraine Road Maintenance												
Professional Services												
Asset Management	-	1,042	1,042	1,042	1,042	1,042	1,042	1,042	1,042	8,333	12,500	67%
SWFWMD Reporting Re-use System	-	-	-	-	-	-	-	-	-	-	3,000	0%
Utility Services												
Electric - Street Lights	751	738	776	844	860	733	696	612	554	6,563	12,600	52%
Irrigation Water	-	-	-	-	-	-	-	-	-	-	16,140	0%
Repairs and Maintenance												
Landscape Maintenance												
Periodic Maintenance	-	54,829	-	13,867	55,219	-	22,899	4,796	68,696	220,306	290,000	76%
Pressure Cleaning	-	-	-	-	1,125	-	-	-	-	1,125	20,000	6%
Frost Damage	-	-	-	-	-	-	-	-	-	-	-	N/A
Vehicular Damage	-	272	252	367	340	-	-	-	-	1,231	26,000	5%
Tree Trimming	-	-	-	-	15,363	-	-	-	-	15,363	13,000	118%
Landscape Replacements	-	-	-	-	5,532	-	-	-	40,582	46,114	24,000	192%
Mulch Installation	-	-	18,495	5,983	-	-	-	-	11,005	35,483	44,000	81%
Annuals	-	-	1,523	3,098	1,523	9,270	-	-	5,765	21,178	19,000	111%
Roadway Lighting	-	-	-	-	-	-	-	-	-	-	8,000	0%
Landscape Lighting	-	-	-	-	-	-	-	-	-	-	-	N/A
Fountain Services	-	-	-	-	-	-	-	-	-	-	-	N/A
Irrigation Repairs	-	-	1,135	-	-	-	650	-	-	1,785	-	N/A
Irrigation System - Line Distrib	-	-	-	-	-	-	-	-	-	-	-	N/A
Irrigation System - Pump Station	-	-	-	-	-	-	-	-	-	-	-	N/A
Contingencies	1,250	-	1,480	-	-	-	-	-	-	2,730	54,300	5%
Operating Supplies	-	-	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay	-	-	-	-	-	-	-	-	-	-	-	N/A
Contingencies	-	1,375	-	-	-	-	300	-	-	1,675	-	N/A

LT Ranch Community Development District
General Fund
Statement of Revenues, Expenditures and Changes in Fund Balance
Through June 30, 2024

Description	October	November	December	January	February	March	April	May	June	Year to Date	Total Annual Budget	% of Budget
Skye Ranch Rd, Lattimer, Luna Ln Maintenance												
Periodic Maintenance	-	16,419	-	8,209	16,419	-	8,209	-	24,628	73,884	99,000	75%
Community Park												
Professional Services												
Asset Management	-	1,292	1,292	1,292	1,292	1,292	1,292	1,292	1,292	10,333	15,500	67%
Park Staffing	-	3,333	3,333	3,333	3,333	3,333	3,333	3,333	3,333	26,667	40,000	67%
Utility Services												
Electric	-	-	-	-	-	-	-	-	-	-	4,000	0%
Water and Sewer	-	-	-	-	-	-	-	-	-	-	-	N/A
Repairs and Maintenance												
Sand Replacement	-	-	-	-	-	400	-	-	-	400	9,000	4%
Janitorial	4,120	4,120	4,910	-	4,180	3,980	3,980	-	8,100	33,390	33,000	101%
Landscape Maintenance	-	-	-	-	-	-	-	-	-	-	-	N/A
Floritam Grass Areas	-	4,302	-	4,776	14,802	-	4,776	-	14,329	42,986	42,000	102%
Tree Trimming	-	-	-	-	-	-	-	-	-	-	-	N/A
Bermuda Grass Area												
Mowing Area	-	-	-	3,150	12,600	-	3,150	-	9,450	28,350	75,600	38%
Agronomic Scope	-	-	-	3,520	14,080	-	3,520	-	10,560	31,680	42,240	75%
Aeration/Ventcutting	-	-	-	-	-	-	-	-	-	-	22,000	0%
Topdressing	-	-	-	-	-	-	-	-	-	-	10,100	0%
Rye Seeding	-	-	-	-	5,200	-	-	-	-	5,200	12,000	43%
Bahai Maintenance												
Mowing/Edging and Weedeating	-	3,501	-	1,750	3,501	-	1,750	-	5,251	15,754	9,000	175%
Bed Maintenance Services	-	-	-	-	-	-	-	-	-	-	8,000	0%
Landscape Replacements	-	-	-	-	-	-	-	-	15,264	15,264	8,000	191%
Maintenance Amenity Center	-	-	-	-	-	-	-	-	-	-	12,000	0%
Mulch Installation	-	-	365	-	-	-	-	-	-	365	14,000	3%
Irrigation System - Wet Checks	-	-	-	500	2,000	-	500	-	1,500	4,500	11,400	39%
Snack Shack												
Utility Services												
Electric	-	-	-	-	-	-	-	-	-	-	5,000	0%
Water and Sewer	-	201	162	143	141	135	146	173	158	1,259	7,000	18%
Building Maintenance	-	-	-	-	-	-	-	-	200	200	2,000	10%
Miscellaneous Repairs	-	3,838	175	-	-	-	-	-	-	4,013	3,000	134%
Playground												
Miscellaneous Repairs	-	2,810	-	-	749	141	-	-	-	3,700	7,000	53%
Dog Park												
Miscellaneous Repairs	-	-	-	665	-	-	-	-	-	665	2,400	28%
Outdoor Sport Courts												
Miscellaneous Repairs	-	-	-	-	-	-	100	-	1,005	1,105	2,800	39%
Outdoor Sports Fields - Other	-	-	-	-	-	-	-	-	-	-	7,400	0%
Hurricane Repairs	-	-	-	-	-	-	-	-	-	-	-	N/A
Contingencies	-	-	-	-	-	-	-	-	15,795	15,795	66,588	24%
Reserves												
Operational Reserve (Future Years)	-	-	-	-	-	-	-	-	-	-	250,000	N/A
Other Financing Uses												
Note Payable-TM to Fund FY 2022 Operations	-	-	-	-	-	-	-	-	-	-	679,147	N/A
Other Fees and Charges												
Discounts/Collection Fees	-	-	-	-	-	-	-	-	-	-	179,959	N/A
Sub-Total:	83,959	126,851	85,686	96,951	183,803	68,069	95,767	37,639	292,212	1,070,938	2,750,794	39%
Total Expenditures and Other Uses:	\$ 83,959	\$ 126,851	\$ 85,686	\$ 96,951	\$ 183,803	\$ 68,069	\$ 95,767	\$ 37,639	\$ 292,212	\$ 1,070,938	\$ 2,750,794	39%
Net Increase/ (Decrease) in Fund Balance	78,667	480,008	270,916	921	646,509	(58,478)	(61,328)	(26,123)	(289,439)	1,041,654	-	
Fund Balance - Beginning	1	78,668	558,677	829,593	830,514	1,477,023	1,418,545	1,357,217	1,331,094	1	-	
Fund Balance - Ending	\$ 78,668	\$ 558,677	\$ 829,593	\$ 830,514	\$ 1,477,023	\$ 1,418,545	\$ 1,357,217	\$ 1,331,094	\$ 1,041,655	\$ 1,041,655	\$ -	

LT Ranch Community Development District
Debt Service Fund - Series 2019
Statement of Revenues, Expenditures and Changes in Fund Balance
Through June 30, 2024

Description	October	November	December	January	February	March	April	May	June	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources												
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Interest Income												
Interest Account	-	-	-	-	-	-	-	-	-	-	-	N/A
Sinking Fund Account	-	-	-	-	-	-	-	-	-	-	-	N/A
Reserve Account	2,097	2,167	2,082	2,140	2,120	1,984	2,121	2,052	2,121	18,884	-	N/A
Prepayment Account	-	-	-	-	-	-	-	-	-	-	-	N/A
Revenue Account	1,968	2,067	684	1,472	2,282	2,605	4,094	4,878	2,248	22,299	-	N/A
Capitalized Interest Account	-	-	-	-	-	-	-	-	-	-	-	N/A
Special Assessments - Prepayments												
Special Assessments - On Roll	-	207,486	207,336	56,905	482,762	5,576	20,024	6,696	1,612	988,397	1,021,209	97%
Special Assessments - Off Roll	-	-	-	-	-	-	-	-	-	-	-	N/A
Special Assessments - Prepayments	-	-	-	-	-	27,468	-	-	-	27,468	-	N/A
Debt Proceeds												
Intragovernmental Transfer In	-	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 4,065	\$ 211,720	\$ 210,102	\$ 60,517	\$ 487,164	\$ 37,633	\$ 26,239	\$ 13,627	\$ 5,980	\$ 1,057,047	\$ 1,021,209	104%
Expenditures and Other Uses												
Debt Service												
Principal Debt Service - Mandatory												
Series 2019	-	-	-	-	-	-	-	345,000	-	345,000	345,000	100%
Principal Debt Service - Early Redemptions												
Series 2019	-	-	-	-	-	-	-	25,000	-	25,000	-	N/A
Interest Expense												
Series 2019	-	305,805	-	-	-	-	-	305,805	-	611,610	611,610	100%
Operating Transfers Out (To Other Funds)												
Other Fees and Charges	-	-	-	-	-	-	-	-	-	-	-	N/A
Other Fees and Charges												
Discounts for Early Payment	-	-	-	-	-	-	-	-	-	-	66,812	0%
Total Expenditures and Other Uses:	\$ -	\$ 305,805	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 675,805	\$ -	\$ 981,610	\$ 1,023,422	96%
Net Increase/ (Decrease) in Fund Balance	4,065	(94,085)	210,102	60,517	487,164	37,633	26,239	(662,178)	5,980	75,437	(2,213)	
Fund Balance - Beginning	927,893	931,958	837,873	1,047,975	1,108,492	1,595,656	1,633,289	1,659,528	997,350	927,893	-	
Fund Balance - Ending	\$ 931,958	\$ 837,873	\$ 1,047,975	\$ 1,108,492	\$ 1,595,656	\$ 1,633,289	\$ 1,659,528	\$ 997,350	\$ 1,003,330	\$ 1,003,330	\$ (2,213)	

LT Ranch Community Development District
Debt Service Fund - Series 2022-1
Statement of Revenues, Expenditures and Changes in Fund Balance
Through June 30, 2024

Description	October	November	December	January	February	March	April	May	June	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources												
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 68,579.00	0%
Interest Income												
Interest Account	-	-	-	-	-	-	-	-	-	-	-	N/A
Sinking Fund Account	-	-	-	-	-	-	-	-	-	-	-	N/A
Reserve Account	374	387	372	382	378	354	379	366	378	3,370	-	N/A
Prepayment Account	-	-	-	-	-	-	-	-	-	-	-	N/A
Revenue Account	-	-	-	-	-	-	1	1	-	2	-	N/A
Capitalized Interest Account	318	332	22	25	26	27	30	31	4	814	-	N/A
Special Assessments - Prepayments												
Special Assessments - On Roll	-	38,046	38,018	10,434	88,522	1,023	3,672	1,228	296	181,238	183,003	99%
Special Assessments - Off Roll	-	-	-	-	-	-	-	-	-	-	-	N/A
Special Assessments - Prepayments	-	-	-	-	-	-	-	-	-	-	-	N/A
Debt Proceeds												
Intragovernmental Transfer In	-	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 692	\$ 38,764	\$ 38,412	\$ 10,841	\$ 88,927	\$ 1,403	\$ 4,082	\$ 1,626	\$ 678	\$ 185,424	\$ 251,582	74%
Expenditures and Other Uses												
Debt Service												
Principal Debt Service - Mandatory												
Series 2022-1	-	-	-	-	-	-	-	30,000	-	30,000	30,000	100%
Principal Debt Service - Early Redemptions												
Series 2022-1	-	-	-	-	-	-	-	-	-	-	-	N/A
Interest Expense												
Series 2022-1	-	68,579	-	-	-	-	-	68,579	-	137,158	137,158	100%
Operating Transfers Out (To Other Funds)												
Discounts for Early Payment	-	-	-	-	-	-	-	-	-	-	8,078	0%
Total Expenditures and Other Uses:	\$ -	\$ 68,579	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 98,579	\$ -	\$ 167,158	\$ 175,236	95%
Net Increase/ (Decrease) in Fund Balance	692	(29,815)	38,412	10,841	88,927	1,403	4,082	(96,953)	678	18,267	76,346	
Fund Balance - Beginning	157,440	158,132	128,317	166,730	177,571	266,497	267,900	271,982	175,029	157,440	-	
Fund Balance - Ending	\$ 158,132	\$ 128,317	\$ 166,730	\$ 177,571	\$ 266,497	\$ 267,900	\$ 271,982	\$ 175,029	\$ 175,707	\$ 175,707	\$ 76,346	

LT Ranch Community Development District
Debt Service Fund - Series 2022-2
Statement of Revenues, Expenditures and Changes in Fund Balance
Through June 30, 2024

Description	October	November	December	January	February	March	April	May	June	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources												
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 367,573	0%
Interest Income												
Interest Account	-	-	-	-	-	-	-	-	-	-	-	N/A
Sinking Fund Account	-	-	-	-	-	-	-	-	-	-	-	N/A
Reserve Account	2,019	2,087	2,005	2,060	2,042	1,910	2,043	1,976	2,042	18,184	-	N/A
Prepayment Account	-	-	-	-	-	-	-	-	-	-	-	N/A
Revenue Account	-	-	-	1	1	2	3	4	2	13	-	N/A
Capitalized Interest Account	1,703	1,778	112	116	116	109	117	113	1	4,165	-	N/A
Special Assessments - Prepayments												
Special Assessments - On Roll	-	200,262	200,118	54,924	465,954	5,382	19,326	6,463	1,556	953,985	987,516	97%
Special Assessments - Off Roll	-	-	-	-	-	-	-	-	-	-	-	N/A
Special Assessments - Prepayments	-	-	-	-	-	-	-	-	-	-	-	N/A
Debt Proceeds												
Debt Proceeds	-	-	-	-	-	-	-	-	-	-	-	N/A
Intragovernmental Transfer In												
Intragovernmental Transfer In	-	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 3,722	\$ 204,127	\$ 202,235	\$ 57,101	\$ 468,113	\$ 7,403	\$ 21,489	\$ 8,556	\$ 3,601	\$ 976,347	\$ 1,355,089	72%
Expenditures and Other Uses												
Debt Service												
Principal Debt Service - Mandatory												
Series 2022-2	-	-	-	-	-	-	-	185,000	-	185,000	185,000	100%
Principal Debt Service - Early Redemptions												
Series 2022-2	-	-	-	-	-	-	-	-	-	-	-	N/A
Interest Expense												
Series 2022-2	-	367,573	-	-	-	-	-	367,573	-	735,145	735,145	100%
Operating Transfers Out (To Other Funds)												
Operating Transfers Out (To Other Funds)	-	-	-	-	-	-	-	-	-	-	-	N/A
Other Fees and Charges												
Discounts for Early Payment	-	-	-	-	-	-	-	-	-	-	65,832	0%
Total Expenditures and Other Uses:	\$ -	\$ 367,573	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 552,573	\$ -	\$ 920,145	\$ 985,977	93%
Net Increase/ (Decrease) in Fund Balance	3,722	(163,445)	202,235	57,101	468,113	7,403	21,489	(544,016)	3,601	56,202	369,112	
Fund Balance - Beginning	847,026	850,749	687,303	889,538	946,639	1,414,752	1,422,155	1,443,643	899,627	847,026	-	
Fund Balance - Ending	\$ 850,749	\$ 687,303	\$ 889,538	\$ 946,639	\$ 1,414,752	\$ 1,422,155	\$ 1,443,643	\$ 899,627	\$ 903,228	\$ 903,228	\$ 369,112	

LT Ranch Community Development District
Debt Service Fund - Series 2024
Statement of Revenues, Expenditures and Changes in Fund Balance
Through June 30, 2024

Description	May	June	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources					
Carryforward	\$ -	\$ -	\$ -	\$ -	N/A
Interest Income					
Interest Account	-	-	-	-	N/A
Sinking Fund Account	-	-	-	-	N/A
Reserve Account	-	849	849	-	N/A
Prepayment Account	-	-	-	-	N/A
Revenue Account	-	-	-	-	N/A
Capitalized Interest Account	-	645	645	-	N/A
Special Assessments - Prepayments					
Special Assessments - On Roll	-	-	-	-	N/A
Special Assessments - Off Roll	-	-	-	-	N/A
Special Assessments - Prepayments	-	-	-	-	N/A
Debt Proceeds	473,434	-	473,434	-	N/A
Intragovernmental Transfer In	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 473,434	\$ 1,494	\$ 474,928	\$ -	N/A
Expenditures and Other Uses					
Debt Service					
Principal Debt Service - Mandatory					
Series 2022-2	-	-	-	-	N/A
Principal Debt Service - Early Redemptions					
Series 2022-2	-	-	-	-	N/A
Interest Expense					
Series 2022-2	-	-	-	-	N/A
Operating Transfers Out (To Other Funds)	-	-	-	-	N/A
Other Fees and Charges					
Discounts for Early Payment	-	-	-	-	N/A
Total Expenditures and Other Uses:	\$ -	\$ -	\$ -	\$ -	N/A
Net Increase/ (Decrease) in Fund Balance	473,434	1,494	474,928	-	
Fund Balance - Beginning	-	473,434	-	-	
Fund Balance - Ending	\$ 473,434	\$ 474,928	\$ 474,928	\$ -	

Prepared by:

JPWARD and Associates, LLC

LT Ranch Community Development District
Capital Projects Fund - Series 2019
Statement of Revenues, Expenditures and Changes in Fund Balance
Through June 30, 2024

Description	October	November	December	January	February	March	April	May	June	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources												
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Interest Income												
Construction Account	2	2	2	2	2	2	2	2	2	15	-	N/A
Cost of Issuance	-	-	-	-	-	-	-	-	-	-	-	N/A
Debt Proceeds	-	-	-	-	-	-	-	-	-	-	-	N/A
Developer Contributions	-	-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers In (From Other Funds)	-	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 15	\$ -	N/A
Expenditures and Other Uses												
Executive												
Professional Management	-	-	-	-	-	-	-	-	-	-	-	N/A
Other Contractual Services												
Trustee Services	-	-	-	-	-	-	-	-	-	-	-	N/A
Printing & Binding	-	-	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay												
Water-Sewer Combination	-	-	-	-	-	-	-	-	-	-	-	N/A
Stormwater Management	-	-	-	-	-	-	-	-	-	-	-	N/A
Landscaping	-	-	-	-	-	-	-	-	-	-	-	N/A
Roadway Improvement	-	-	-	-	-	-	-	-	-	-	-	N/A
Cost of Issuance												
Legal - Series 2019 Bonds	-	-	-	-	-	-	-	-	-	-	-	N/A
Underwriter's Discount	-	-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers Out (To Other Funds)	-	-	-	-	-	-	-	-	-	-	-	N/A
Total Expenditures and Other Uses:	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Net Increase/ (Decrease) in Fund Balance	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 2	\$ 15	\$ -	
Fund Balance - Beginning	\$ (53,630)	\$ (53,628)	\$ 703,572	\$ 703,573	\$ 703,575	\$ 703,577	\$ 703,578	\$ 703,580	\$ 703,582	\$ (53,630)	\$ -	
Fund Balance - Ending	\$ (53,628)	\$ (53,626)	\$ 703,573	\$ 703,575	\$ 703,577	\$ 703,578	\$ 703,580	\$ 703,582	\$ 703,583	\$ (53,614)	\$ -	

LT Ranch Community Development District
Capital Projects Fund - Series 2022-1
Statement of Revenues, Expenditures and Changes in Fund Balance
Through June 30, 2024

Description	October	November	December	January	February	March	April	May	June	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources												
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Interest Income												
Construction Account	-	-	-	-	-	-	-	-	-	-	-	N/A
Cost of Issuance	-	-	-	-	-	-	-	-	-	-	-	N/A
Debt Proceeds												
Developer Contributions	-	-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers In (From Other Funds)	-	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Expenditures and Other Uses												
Executive												
Professional Management	-	-	-	-	-	-	-	-	-	-	-	N/A
Other Contractual Services												
Trustee Services	-	-	-	-	-	-	-	-	-	-	-	N/A
Printing & Binding	-	-	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay												
Water-Sewer Combination	-	-	-	-	-	-	-	-	-	-	-	N/A
Stormwater Management	-	-	-	-	-	-	-	-	-	-	-	N/A
Landscaping	-	-	-	-	-	-	-	-	-	-	-	N/A
Roadway Improvement	-	-	-	-	-	-	-	-	-	-	-	N/A
Cost of Issuance												
Legal - Series 2022-1 Bonds	-	-	-	-	-	-	-	-	-	-	-	N/A
Underwriter's Discount	-	-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers Out (To Other Funds)	-	-	-	-	-	-	-	-	-	-	-	N/A
Total Expenditures and Other Uses:	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Net Increase/ (Decrease) in Fund Balance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Fund Balance - Beginning	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ -
Fund Balance - Ending	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ 19,756	\$ -

LT Ranch Community Development District
Capital Projects Fund - Series 2022-2
Statement of Revenues, Expenditures and Changes in Fund Balance
Through June 30, 2024

Description	October	November	December	January	February	March	April	May	June	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources												
Carryforward	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	N/A
Interest Income												
Construction Account	96	100	96	99	99	93	100	97	-	781	-	N/A
Cost of Issuance	-	-	-	-	-	-	-	-	-	-	-	N/A
Debt Proceeds	-	-	-	-	-	-	-	-	-	-	-	N/A
Developer Contributions	-	-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers In (From Other Funds)	-	-	-	-	-	-	-	-	-	-	-	N/A
Total Revenue and Other Sources:	\$ 96	\$ 100	\$ 96	\$ 99	\$ 99	\$ 93	\$ 100	\$ 97	\$ -	\$ 781	\$ -	N/A
Expenditures and Other Uses												
Executive												
Professional Management	-	-	-	-	-	-	-	-	-	-	-	N/A
Other Contractual Services												
Trustee Services	-	-	-	-	-	-	-	-	-	-	-	N/A
Printing & Binding	-	-	-	-	-	-	-	-	-	-	-	N/A
Capital Outlay												
Water-Sewer Combination	-	-	-	-	-	-	-	22,664	-	22,664	-	N/A
Stormwater Management	-	-	-	-	-	-	-	-	-	-	-	N/A
Landscaping	-	-	-	-	-	-	-	-	-	-	-	N/A
Roadway Improvement	-	-	-	-	-	-	-	-	-	-	-	N/A
Cost of Issuance												
Legal - Series 2022-2 Bonds	-	-	-	-	-	-	-	-	-	-	-	N/A
Underwriter's Discount	-	-	-	-	-	-	-	-	-	-	-	N/A
Operating Transfers Out (To Other Funds)	-	-	-	-	-	-	-	-	-	-	-	N/A
Total Expenditures and Other Uses:	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 22,664	\$ -	\$ 22,664	\$ -	N/A
Net Increase/ (Decrease) in Fund Balance	\$ 96	\$ 100	\$ 96	\$ 99	\$ 99	\$ 93	\$ 100	\$ (22,567)	\$ -	\$ (21,883)	\$ -	
Fund Balance - Beginning	\$ 83,236	\$ 83,332	\$ -	\$ 96	\$ 196	\$ 295	\$ 388	\$ 488	\$ (22,079)	\$ 83,236	\$ -	
Fund Balance - Ending	\$ 83,332	\$ 83,432	\$ 96	\$ 196	\$ 295	\$ 388	\$ 488	\$ (22,079)	\$ (22,079)	\$ 61,353	\$ -	

LT Ranch Community Development District
Capital Projects Fund - Series 2024
Statement of Revenues, Expenditures and Changes in Fund Balance
Through June 30, 2024

Description	May	June	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources					
Carryforward	\$ -	\$ -	\$ -	\$ -	N/A
Interest Income					
Construction Account	-	-	-	-	N/A
Cost of Issuance	-	10	10	-	N/A
Debt Proceeds	7,231,566	-	7,231,566	-	N/A
Developer Contributions	-	-	-	-	N/A
Operating Transfers In (From Other Funds)	-	-	-	-	N/A
Total Revenue and Other Sources:	<u>\$ 7,231,566</u>	<u>\$ 10</u>	<u>\$ 7,231,576</u>	<u>\$ -</u>	<u>N/A</u>
Expenditures and Other Uses					
Executive					
Professional Management	50,000	-	50,000	-	N/A
Other General Government Services					
Engineering Services	20,000	-	20,000	-	N/A
Other Contractual Services					
Trustee Services	6,075	-	6,075	-	N/A
Printing & Binding	2,250	-	2,250	-	N/A
Capital Outlay					
Water-Sewer Combination	2,409,772	-	2,409,772	-	N/A
Stormwater Management	5,721,369	-	5,721,369	-	N/A
Landscaping	-	-	-	-	N/A
Roadway Improvement	-	-	-	-	N/A
Cost of Issuance					
Legal - Series 2024 Bonds	159,585	-	159,585	-	N/A
Underwriter's Discount	154,100	-	154,100	-	N/A
Operating Transfers Out (To Other Funds)	-	-	-	-	N/A
Total Expenditures and Other Uses:	<u>\$ 8,523,151</u>	<u>\$ -</u>	<u>\$ 8,523,151</u>	<u>\$ -</u>	<u>N/A</u>
Net Increase/ (Decrease) in Fund Balance	\$ (1,291,585)	\$ 10	\$ (1,291,574)	\$ -	
Fund Balance - Beginning	\$ -	\$ (1,291,585)	\$ -	\$ -	
Fund Balance - Ending	<u>\$ (1,291,585)</u>	<u>\$ (1,291,574)</u>	<u>\$ (1,291,574)</u>	<u>\$ -</u>	

LT Ranch Community Development District
Capital Projects Fund - Lorraine Road
Statement of Revenues, Expenditures and Changes in Fund Balance
Through June 30, 2024

Description	October	November	December	January	February	March	April	May	June	Year to Date	Total Annual Budget	% of Budget
Revenue and Other Sources												
Developer Contributions												
TM - Lorraine Rd Widening	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,129	\$ 160,000	\$ -	\$ 163,129	\$ -	N/A
Total Revenue and Other Sources:	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,129	\$ 160,000	\$ -	\$ 163,129	\$ -	N/A
Expenditures and Other Uses												
Professional Services												
Legal - Lorraine Rd Widening	786	-	1,513	-	-	-	-	160,000	34,628	196,927	-	N/A
Legal - General Counsel	-	-	-	-	-	-	-	1,825	518	2,343	-	N/A
Repairs & Maintenance												
Contingencies	-	830	-	-	-	-	-	-	-	830	-	-
Capital Outlay												
Engineering	-	-	-	-	-	-	-	-	-	-	-	N/A
Construction in Progress	-	-	-	-	-	-	-	-	-	-	-	N/A
Total Expenditures and Other Uses:	\$ 786	\$ 830	\$ 1,513	\$ -	\$ -	\$ -	\$ -	\$ 161,825	\$ 35,146	\$ 200,099	-	N/A
Net Increase/ (Decrease) in Fund Balance	\$ (786)	\$ (830)	\$ (1,513)	\$ -	\$ -	\$ -	\$ 3,129	\$ (1,825)	\$ (35,146)	\$ (36,971)	\$ -	-
Fund Balance - Beginning	\$ -	\$ (786)	\$ -	\$ (1,513)	\$ (1,513)	\$ (1,513)	\$ (1,513)	\$ 1,616	\$ (209)	\$ -	\$ -	-
Fund Balance - Ending	\$ (786)	\$ (1,616)	\$ (1,513)	\$ (1,513)	\$ (1,513)	\$ (1,513)	\$ 1,616	\$ (209)	\$ (35,355)	\$ (36,971)	\$ -	-